



January 12, 2026

REVISED February 2, 2026

City of Sanibel
Planning Department
Craig Chandler, Deputy Planning Director
2475 Library Way
Sanibel, Florida 33957

RE: Riverview II Community Housing & Resources Redevelopment Project
1523/31 Periwinkle Way, Sanibel, FL 33957
Conditional Use / Change of Use VARIANCES Permit Application

Dear Mr. Chandler,

Please accept this application package on behalf of Community Housing & Resources, Inc. requesting conditional and change of use approval for the redevelopment and improvements of the community housing mixed-use project located at 1523/1531 Periwinkle Way. The intent is to achieve Sanibel's BMRH charter goals with **39** new one-bedroom, one-bathroom apartments and a proposed future 2,447 sf building area for low-intensity retail/office/medical office supportive services.

The residential building(s) are designed to mimic the Old Florida style of the Harkey House Riverview I project, however, they're more Island Contemporary style with concrete precast construction and faux-siding façade via stucco details. This updated design lends itself to better facilitate compliance with height restrictions while providing better interior ceiling heights, elevator structural needs, reduces wood materials to mitigate pest control and long-term maintenance expenses, and strengthens the buildings' overall resiliency.

In accordance with Mixed-Use Development standards (126-1032), the development is designed to minimize the potential detrimental influence of commercial or institutional uses on residents by separating the residential from the commercial building; and putting the common elements of the residential structure (elevator and walkway access, utilities/storage closets) closest to the north side to create an intentional separation.

The reduction of commercial floor area criteria is not applicable since all apartments are designated for BMRH in perpetuity.

The property is adjacent to CHR's existing 15-apartment property, Harkey House at Riverview (Riverview I), currently under construction which has limited access along the eastern 7-Eleven property. The proposed layout of Riverview II will improve first responder access and traffic



flow with an intra-connection driveway. Intra-connection driveways are preferred in the Sanibel LDC. Accordingly, this aids in reducing congestion on Periwinkle and improves safety and access issues that continually exist with the access drive at the 7-Eleven property.

CHR intends to provide a recorded easement agreement for this intra-connection drive prior to occupancy the Riverview II buildings, as well as dedicate the IWCD area to the City as was an approved condition for the Harkey House at Riverview I.

This submittal is proposed with the following variance requests:

- **Maximum number of dwelling units (Sec.86-163).** The limitation for BMRH is 12 units per building. The request is to make “each” building’s number of units over the standard by 9 and 6 units. The two apartment buildings are designed with a connecting walkway and common ingress/egress elevator which makes them “one building” which would be exceeding the requirement by 27 units when completed.

The connecting of both buildings is to address multiple issues:

- CDBG-DR projects cannot be phased, have a \$250K/unit cap on the per unit cost allocations and requires ADA compliance standards for all units.
 - The connecting of two buildings makes the costs work for the grant award by eliminating the need for two elevators to serve all the units while facilitating HUD ADA requirements.
- This also reduces the long-term maintenance costs which are funded in part with the City’s tax base.

Further, the apartments are designed to comply with CDBG-DR housing requirements such that ADA can easily be met by simplified future conversions for any of the units without having to add another elevator.

- **Reduced setback/landscape buffer on the East side (Sec. 126-494.d).** There are two properties adjoining the eastern property line, the commercial 7-Eleven site and the multifamily BMRH site. The commercial property line is currently non-conforming with an eastern ingress/egress drive and covered restaurant entry overhang.

The design intent is to provide a 15’ compliant setback/landscape buffer along the property line of 7-Eleven with minor impacts from required utilities. Adjacent to the Riverview I property, the intent is also to provide a setback/landscape buffer but reduced partially by 6.5’ with permeable stone parking spaces.

- The design intent is to ensure compliance with the structures, parking and utilities requirements without impacting the Interior Wetlands Conservation District area to the south of the property; as well as accommodating the Fire Dept’s fire truck access throughout the development.
- CHR will work on a modification to the current dumpster maintenance agreement with 7-Eleven’s ownership and franchisee to relocate the dumpster enclosure. CHR proposes that this approval be allowed, stipulating that a recorded agreement



would be required as a condition to occupancy release as was conditioned for the Riverview I project (vs. a condition to variance approval).

- Adjustments for landscape buffers sizes are made by relocating plantings, not just ground cover requirements.
- **Site access and internal circulation/number of access driveways (Sec. 126-1029.d & 126-104.a.1).** The site has an existing non-compliant, two driveway ingress egress set within setbacks/buffer areas which is attributed to it being two properties that make up this single development.

As reviewed with the Fire Marshall and Chief, maintaining multiple points of ingress egress, as well as intra-connection to the adjacent Riverview I property, facilitates improved life safety conditions for emergency services access.

The shared dumpster enclosure is redesigned for closest access for 7-Eleven and centralized for the CHR buildings' residents and future commercial users. Additionally, when trash service trucks access from the east they can access the dumpsters with a 2-point turn vs. a 4-point turn if accessing from the west. This will ensure more efficient services which occur multiple times per week, and reduced time for blocking the inbound driveway.

The multiple drives and direction of the traffic flow is to facilitate east and west setbacks/buffers, reduce entry widths to minimize non-compliant directional traffic, maximize access, reduce congestion on Periwinkle, and to maximize efficiency for garbage and recycling service pick ups (which has also historically been a significant source of congestion at the 7-Eleven/Riverview I properties).

- **Limitation on principal buildings (Sec. 86-164).** City Staff noted that the limitation for two dwelling units vertically at any point in the building was a “belt and suspenders” provision to a lower height restriction that was relatively recently modified to facilitate floodplain changes. The design of this proposed development meets the current height restriction limit of 45’, which allows for 3 stories vertically over flood.

The proposed development is designed to coordinate for administrative approvals for the following:

- **Removal of strangler fig tree.** Currently a strangler fig tree exists within the proposed footprint of the building. It has survived the recent storms; however, it's suffered extensive damage and has signs of rot. A replacement of 3:1 ratio is proposed.
- **Reduction of plantings to 85% for use of all native species.** Calculations were used meeting the standards applicable to the property using all native species for resiliency and limited need for maintenance and irrigation, ensuring best opportunity for plantings to thrive.



- **Outdoor lighting.** The intent is to finalize design with both buildings, parking and site lighting in a manner that complies with Sec. 126-997 and in design consistent with the Harkey House Riverview I project.

As you know, community housing is still a much-needed resource on Sanibel and Captiva for its continued support of its businesses that continue to compete for employees. Community Housing and Resources, with these approvals, can continue to serve and improve the community and provide a supportive services component that can continue a tax base contribution to the City.

On behalf of Community Housing and Resources, I thank you for your time and consideration with this submittal.

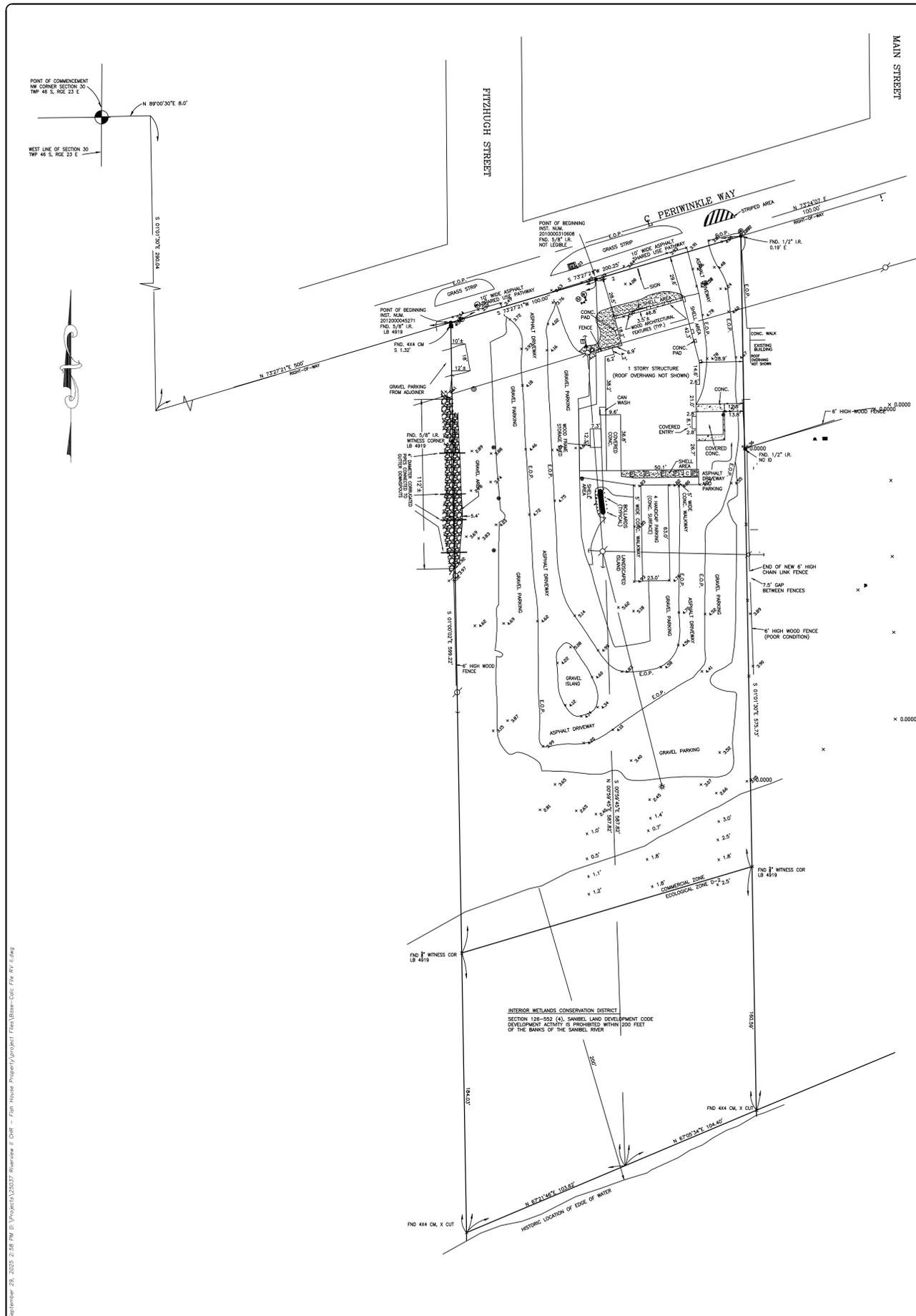
Respectfully,

Rachel Lee Bielert

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Project Manager for Community Housing & Resources, Inc.

CC: Nicole Decker-McHale, CHR
Steve Fehlhaber, DRMP
Chris Lee, Christopher Lee Architects
Jeremy Walsh, RS Walsh Landscaping



- AL = ARC LENGTH
- CB = CHORD BEARING
- CH = CHORD LENGTH
- CUE = COUNTY UTILITY EASEMENT
- (D) = DEED BEARING OR DISTANCE
- DE = DRAINAGE EASEMENT
- EL = ELEVATION
- FCM = FOUND CONCRETE MONUMENT, AS NOTED
- FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
- FIPC = FOUND CAPPED IRON PIN, AS NOTED
- FIRM = FLOOD INSURANCE RATE MAP
- FP = FOUND PIN, AS NOTED
- FPKD = FOUND PK & DISK, AS NOTED
- FPL = FLORIDA POWER & LIGHT CO.
- INST. = INSTRUMENT NUMBER
- IE = IRRIGATION EASEMENT
- ILL = ILLEGIBLE
- INV. = INVERT
- LME = LAKE MAINTENANCE EASEMENT
- (M) = MEASURED BEARING OR DISTANCE
- NAVD = NORTH AMERICAN VERTICAL DATUM
- NGVD = NATIONAL GEODETIC VERTICAL DATUM
- OR = OFFICIAL RECORDS BOOK
- PCP = PERMANENT CONTROL POINT
- PC = PAGE
- PK = PARKER KALON NAIL
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- PUE = PUBLIC UTILITY EASEMENT
- R = RADIUS
- (R) = RECORD BEARING OR DISTANCE
- SPC = SET IRON PIN, LB6952
- SPKD = SET PK WITH DISC, LB 6952

- NOTES:
- THIS PLAT OF SURVEY WAS PREPARED AS A BOUNDARY AND LIMITED TOPOGRAPHIC SURVEY.
 - DATE OF LAST FIELDWORK: SEPTEMBER 15, 2025.
 - BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83, 2011 ADJUSTMENT) WHERE THE SOUTHERLY RIGHT OF WAY LINE OF PERIWINKLE WAY, CITY OF SANIBEL, LEE COUNTY, FLORIDA, BEARS N73°27'21"E.
 - THIS SURVEY DOES NOT MAKE ANY REPRESENTATION AS TO THE ZONING REGULATIONS AND OR DEVELOPMENT RESTRICTIONS ON THE SUBJECT PARCEL.
 - DIMENSIONS AND ELEVATIONS ARE IN FEET AND DECIMAL PARTS THEREOF. UNLESS A DIRECT COMPARISON IS MADE, MEASURED BEARINGS AND DISTANCES ARE IDENTICAL WITH PLAT OR RECORD VALUES.
 - SURVEYED PARCEL IS IN F.E.M.A. FLOOD ZONE "AE 10" EL.10, AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S DIGITAL FLOOD INSURANCE RATE MAP (D.F.I.R.M.) MAP NUMBER, PANEL CITY OF SANIBEL 120402 12071 C 0533 G EFFECTIVE DATE: 11/17/2022
 - ELEVATIONS SHOWN HEREON ARE IN FEET AND ARE BASED ON THE [DATUM]. ELEVATIONS AND OR SITE BENCHMARKS WERE DERIVED BY DIFFERENTIAL LEVELING FROM LOCAL BENCHMARKS AS SHOWN ON THE BOUNDARY SURVEY BY BEAN WHITTAKER LUTZ AND KAREH, WITH AN ELEVATION OF 4.57', AND TIED AND VERIFIED TO BENCHMARK ON ADJOINING PARCEL.
 - NO ENVIRONMENTAL ASSESSMENT OR AUDIT WAS PERFORMED ON THE SURVEYED PARCEL BY THIS FIRM.
 - THIS SURVEY IS NOT INTENDED TO DELINEATE OR DEFINE ANY WETLANDS, ENVIRONMENTALLY SENSITIVE AREAS, WILDLIFE HABITATS OR JURISDICTIONAL LINES OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY, BOARD, COMMISSION OR OTHER ENTITY.
 - THIS SURVEY DOES NOT DETERMINE PROPERTY OWNERSHIP OR PROPERTY RIGHTS. PLEASE NOTE THERE ARE EXISTING ADJOINING PROPERTY ENCROACHMENTS ON THE WESTERN PROPERTY LINE. THESE HAVE BEEN VERIFIED AS STILL BEING IN USE.
 - THIS SURVEY REPRESENTS THE BOUNDARY AND THE LOCATED IMPROVEMENTS OR FEATURES, IF ANY, IN ACCORDANCE WITH AND IN RELATION TO THE LEGAL DESCRIPTION AS DEPICTED HEREON. ALL THE EXISTING IMPROVEMENTS ARE SHOWN AS DEPICTED ON THE SURVEY BY B,W,L&K INC. DATED JUNE 2016, AND VERIFIED 09/15/2025.
 - PARCEL INFORMATION SHOWN HEREON WERE TAKEN FROM 2025 LEE COUNTY GEOGRAPHIC INFORMATION SYSTEM, AS DOWNLOADED ON THE DATE OF SURVEY.
 - THIS SURVEY IS FOR THE EXCLUSIVE USE OF THE PARTY(IES) IT WAS ORIGINALLY PREPARED FOR, AS DEPICTED HEREON, AND IS NOT TRANSFERABLE. ANY ADDITIONS OR DELETIONS TO THIS SURVEY AND OR THE ACCOMPANYING SURVEYOR'S REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.
 - THE OWNERSHIP OF FENCES IS UNKNOWN, UNLESS OTHERWISE NOTED.
 - ONLY THOSE SURFACE AND AERIAL IMPROVEMENTS, AS DEPICTED HEREON, HAVE BEEN FIELD LOCATED. SUBSURFACE AND AERIAL IMPROVEMENTS, IF ANY, HAVE NOT BEEN LOCATED. BUILDING FOUNDATIONS BENEATH THE SURFACE WERE NOT LOCATED UNLESS OTHERWISE NOTED.
 - AN ABSTRACT OF TITLE, TITLE COMMITMENT, AND OR OWNERSHIP AND ENCUMBRANCE REPORT FOR THE SUBJECT PROPERTY WAS NOT PROVIDED. THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.

1523 Periwinkle Way
STRAP: 30-46-23-11-00004.0070 FLOOD ID: 10128025

A TRACK OR PARCEL OF LAND LYING IN GOVERNMENT LOT 4, OF SECTION 30, TOWNSHIP 46 SOUTH, RANGE 23 EAST WHICH LOT OR PARCEL IS DESCRIBED AS FOLLOWS:
FROM THE CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF SECTION 30 SET BY GUY R. WEALE IN 1906 IN ACCORDANCE WITH RETRACEMENT OF A.W. GILCHRIST U.S. DEPUTY SURVEYOR IN 1897 RUN NORTH 89 DEGREES 00'30" EAST ALONG THE NORTH LINE OF SAID SECTION 30 FOR 8 FEET; THENCE SOUTH 1 DEG. 01'30" EAST PARALLEL WITH AND 8 FEET EAST OF THE WEST LINE OF SAID SECTION 30 FOR 290.04 FEET TO A CONCRETE MONUMENT ON THE SOUTH LINE (25 FEET FROM THE CENTER LINE) OF THE SANIBEL-CAPTIVA ROAD (STATE ROAD NO. 5-807) THENCE RUN NORTH 73 DEG. 29'40" EAST ALONG SAID SOUTH LINE 600 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED; FROM SAID POB SOUTH 1 DEG. 01'30" EAST PARALLEL WITH 586.52 FEET EAST OF SAID WEST LINE FOR 585.86 FEET; THENCE RUN NORTH 67 DEG. 17'30" EAST FOR 103.79 FEET; THENCE RUN NORTHEAST TO A POINT UPON THE SOUTH LINE (25 FEET FROM THE CENTER LINE) OF THE SANIBEL-CAPTIVA ROAD, WHICH IS 100 FEET NORTHEASTERLY FROM POB OF SAID LANDS HEREIN DESCRIBED; THENCE RUN 73 DEG. 35'40" WEST ALONG SAID SOUTH LINE OF THE SANIBEL-CAPTIVA ROAD 100 FEET TO THE POB OF THE LANDS HEREIN DESCRIBED.

1531 Periwinkle
STRAP: 30-46-23-11-00004.0060 FLOOD ID: 10128024

A TRACK OR PARCEL OF LAND LYING IN GOVERNMENT LOT 4 OF SECTION 30, TOWNSHIP 46 SOUTH, RANGE 23 EAST, WHICH TRACK OR PARCEL IS DESCRIBED AS FOLLOWS:
FROM THE CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF SECTION 30 SET BY GUY R. WEALE IN 1906 IN ACCORDANCE WITH THE RETRACEMENTS OF A.W. GILCHRIST, U.S. DEPUTY SURVEYOR IN 1897, RUN NORTH 89 DEGREES 00'30" EAST ALONG THE NORTH LINE OF SAID SECTION 30 FOR 8 FEET; THENCE RUN SOUTH 1 DEGREE 01'30" EAST PARALLEL WITH AND 8 FEET EAST OF THE WEST LINE OF SAID SECTION 30 FOR 290.04 FEET TO A CONCRETE MONUMENT ON THE SOUTH LINE (25 FEET FROM THE CENTER LINE) OF THE SANIBEL-CAPTIVA ROAD (STATE ROAD NO. 5-807); THENCE RUN NORTH 73 DEGREES 27'21" EAST ALONG SAID SOUTH LINE FOR 500 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED; FROM SAID POINT OF BEGINNING RUN SOUTH 1 DEGREE 01'30" EAST PARALLEL WITH AND 490.10 FEET EAST OF SAID WEST LINE FOR 599.22 FEET; THENCE RUN NORTH 67 DEGREES 17'30" EAST FOR 103.79 FEET; THENCE RUN NORTH 1 DEGREE 01'30" WEST PARALLEL WITH AND 586.52 FEET EAST OF SAID WEST LINE FOR 585.86 FEET TO AN INTERSECTION WITH SAID SOUTH LINE OF THE SANIBEL-CAPTIVA ROAD; THENCE RUN SOUTH 73 DEGREES 27'21" WEST ALONG SAID SOUTH LINE FOR 100 FEET TO THE POINT OF BEGINNING.

INTERIOR WETLANDS CONSERVATION DISTRICT
SECTION 126-652 (4), SANIBEL LAND DEVELOPMENT CODE
DEVELOPMENT ACTIVITY IS PROHIBITED WITHIN 200 FEET
OF THE BOUNDS OF THE SANIBEL RIVER

MICHAEL A. WARD DATE
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATE NO. LS 5301
THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MICHAEL A. WARD, PLS.
I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF
THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE
APPLICABLE PROVISIONS FOR CH. 54-17, FLORIDA ADMINISTRATIVE
CODE, PURSUANT TO CHAPTER 472, FLORIDA STATUTES

REV #	REVISION	DRAWN:	CHECKED:	DATE

FIELD:	NAME	DATE
DRAWN:	WARD	9/28/25
CHECKED:	WARD	9/29/25



THE WARD SURVEY GROUP
1666 MCGREGOR RESERVE Dr
Fort Myers, Florida 33901
Phone: (239) 245-4555
LB No.: 8654

DATE:
29 SEPT 2025
HORIZ. SCALE:
1" = 40'
VERT. SCALE:
1" = 4'
SEC. TWP. RGE:
18 46 23

CLIENT:
COMMUNITY HOUSING AND RESOURCES, INC.
TITLE:
BOUNDARY AND LIMITED
TOPOGRAPHIC SURVEY

CROSS REFERENCE:	PROJECT NO.:	SHEET NUMBER:	FILE NO.:
30-46-23-11-00004.0070 30-46-23-11-00004.0060	TWSG 25037	1 of 1	25037 DS.DWG

CONSTRUCTION PLANS

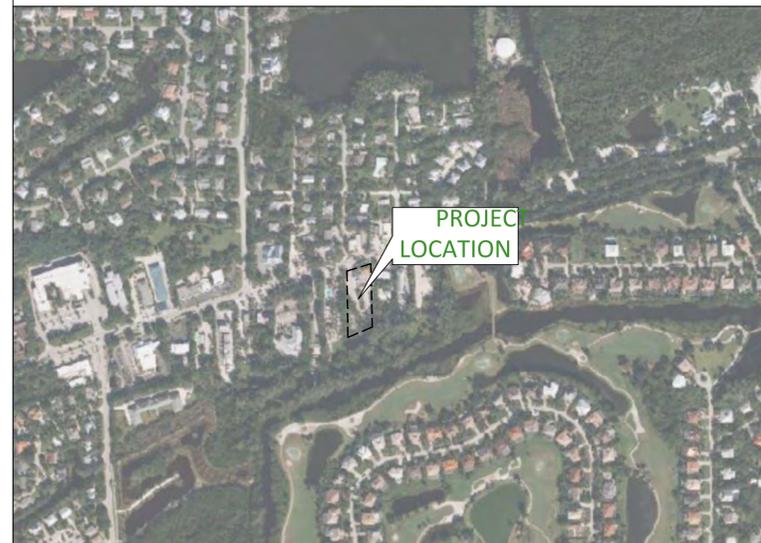
for

RIVERVIEW II AT 1523 PERIWINKLE WAY

SANIBEL, FLORIDA

VICINITY MAP

SCALE: 1" = 500'



PROJECT SHEET INDEX

- C1.0 COVER SHEET
- C2.0 GENERAL NOTES
- C3.0 EXISTING CONDITIONS
- C4.0 SITE PLAN
- C5.0 PAVING, GRADING, AND DRAINAGE PLAN
- C6.0 UTILITY PLAN
- C7.0 GENERAL DETAILS
- C7.1 UTILITY DETAILS
- C7.2 DRAINAGE DETAILS
- C7.3 LIFT STATION DETAILS
- c8.0 EROSION AND SEDIMENT CONTROL PLAN

UTILITY CONTACTS:

CATV, FIBER, TELEPHONE
CENTURYLINK
1319 BLAIRSTOWN ROAD
TALLAHASSEE, FL 32301
BILL MCCLOUD 850-815-3144

ELECTRIC
LEE COUNTY ELECTRIC CO-OP
PO BOX 3455
NORTH FORT MYERS, FL 33918
TOM BAILEY 239-656-2414

CONSULTANT CONTACTS:

SURVEY
THE WARD SURVEY GROUP, INC.
MICHAEL A. WARD, PLS 239-245-4555

CIVIL ENGINEERING
DRMP, INC.
1404 DEAN STREET, SUITE 101
FORT MYERS, FL 33901
STEPHEN C. FEHLHABER, P.E. 239-206-5093

WATER
THE ISLAND WATER ASSOCIATION, INC.
3651 SANIBEL CAPTIVA ROAD
SANIBEL, FL 33957
DAN PAOLINO 239-472-1502 x115

SEWER
CITY OF SANIBEL
800 DUNLOP ROAD
SANIBEL, FL 3395
OISIN DOLLEY 239-472-6397 x503

ARCHITECT
CHRISTOPHER J. LEE ARCHITECTS, INC.
13180 NORTH CLEVELAND AVENUE, SUITE 112
NORTH FORT MYERS, FL 33903
CHRISTOPHER J. LEE, RA 239-482-4272

COMMUNITY HOUSING AND RESOURCES, INC.
2340 PERIWINKLE WAY, SUITE K-2
SANIBEL, FL 33957
ATTN. NICOLE DECKER-MCHALE



1715 MONROE STREET, SUITE 500, FORT MYERS, FL 33901

JANUARY, 2026

DRMP PROJECT NO. 301.2501366.000

NOTE:
ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN
ALTERED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.

CALL 48 HOURS
BEFORE YOU DIG

IT'S THE LAW!
DIAL 811



**Know what's below.
Call before you dig.**

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

STEPHEN C. FEHLHABER, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE No. 98609.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY STEPHEN C. FEHLHABER, P.E. ON

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE
SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE CODE 61G15-23.004(3)(e), A DIGITAL
SIGNATURE APPLIED TO AN ITEM IN ELECTRONIC FORM SHALL HAVE THE SAME FORCE
AND EFFECT AS SIGNING ALL OF THE INDIVIDUAL SHEETS OR PAGES CONTAINED WITHIN
THAT ITEM.

PERMITTING SET

GENERAL NOTES

1. UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL BE PERFORMED CONSISTENT WITH THE FOLLOWING SPECIFICATIONS:
 - CITY OF SANIBEL PLANNING DEPARTMENT
 - CITY OF SANIBEL UTILITY DEPARTMENT
 - THE ISLAND WATER ASSOCIATION, INC.
 - SOUTH FLORIDA WATER MANAGEMENT DISTRICT
 - FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2. THIS DESIGN HAS BEEN BASED UPON GROUND-RUN TOPOGRAPHIC SURVEYS BY HALEY WARD. DRMP, INC. MAKES NO ASSURANCES REGARDING THE ACCURACY OF EITHER SUCH EVALUATION.
3. ALL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
4. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE, INCLUDING ALL SURFACE AND SUBSURFACE CONDITIONS, THE WORK REQUIRED AND ALL OTHER CONDITIONS THAT MAY AFFECT THE SUCCESSFUL COMPLETION OF THE JOB PRIOR TO COMMENCEMENT OF WORK.
5. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND PERMIT CONDITIONS BEARING ON THE CONDUCT OF THE WORK, AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, HE SHALL PROMPTLY NOTIFY THE ENGINEER, IN WRITING, AND ANY NECESSARY CHANGES SHALL BE ADJUSTED, AS PROVIDED IN THE AGREEMENT FOR CHANGES IN THE WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER AND THE ENGINEER FOR THE ACTS AND OMISSIONS OF CONTRACTOR'S EMPLOYEES AND ALL HIS SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS WITH GOVERNMENTAL DEPARTMENTS, PUBLIC UTILITIES, PUBLIC CARRIERS, SERVICE COMPANIES, AND CORPORATIONS OWNING OR CONTROLLING ROADWAYS, RAILWAYS, WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, AND TELEGRAPH FACILITIES SUCH AS PAVEMENTS, TRACKS, PIPING, WIRES, CABLES, CONDUITS, POLES, GUYS, OR OTHER SIMILAR FACILITIES, INCLUDING INCIDENTAL STRUCTURES CONNECTED THEREWITH THAT ARE ENCOUNTERED IN THE WORK IN ORDER THAT SUCH ITEMS MAY BE PROPERLY SUPPORTED, PROTECTED OR LOCATED.
8. UNLESS OTHERWISE SPECIFIED IN THE GENERAL CONDITIONS, ALL CONSTRUCTION IS TO BE GOVERNED BY THE PLANS, APPLICABLE PERMITS, AND SPECIFICATIONS HEREIN, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING AND SAFETY CODES, LAWS AND ORDINANCES.
9. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC OR UTILITY RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMIT FROM JURISDICTION RESPONSIBLE FOR SUCH RIGHT-OF-WAY. IN ADDITION, CONTRACTOR SHALL OBTAIN GAS I.D. NUMBER FROM LOCAL GAS COMPANY AND NOTIFY UNDERGROUND UTILITIES, NOTIFICATION CENTER AT 1-800-432-4770 AT LEAST 72 HOURS PRIOR TO START OF WORK.
10. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN CONSISTENT WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, AND SUBMIT TO THE ENGINEER FOR APPROVAL.
11. IN THE EVENT THE CONTRACTOR DISCOVERS ANY ERRORS OR OMISSIONS IN THE PLANS HE SHALL IMMEDIATELY NOTIFY THE OWNER OR OWNER'S AGENT.
12. CONTRACTOR SHALL PRESERVE AND PROTECT ALL PERMANENT REFERENCE MONUMENTS, PERMANENT CONTROL POINTS, PERMANENT BENCH MARKS AND PROPERTY CORNERS. IN THE EVENT THE MONUMENTS, POINTS OR MARKERS ARE DISTURBED THE CONTRACTOR SHALL EMPLOY A FLORIDA REGISTERED LAND SURVEYOR TO RESET OR REPLACE THEM.
13. THE OWNER, OWNER'S AGENT AND INSPECTORS OF APPLICABLE GOVERNMENT JURISDICTIONS, SHALL AT ALL TIMES HAVE ACCESS TO THE WORK WHEREVER AND WHENEVER IT IS IN PREPARATION OR PROGRESS; AND THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS AND FOR THE INSPECTION.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL REASONABLE AND PRUDENT PRECAUTIONS TO INSURE THAT ALL COMPLETED WORK, MATERIALS AND EQUIPMENT STORED ON SITE ARE SAFE AND SECURED FROM UNAUTHORIZED ACCESS OR USE. SUCH PRECAUTIONS MAY INCLUDE INSTALLATION OF SIGNS, FENCES, OR POSTING OF SECURITY GUARDS.
15. CONTRACTOR SHALL, AT ALL TIMES, UTILIZE ALL NORMALLY ACCEPTED AND REASONABLY EXPECTED SAFETY PRACTICES AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND GUIDELINES PERTAINING TO SAFE UTILIZATION OF EQUIPMENT OR MATERIALS AS PUBLISHED BY MANUFACTURER.
16. PRIOR TO INITIATING ANY EXCAVATION (INCLUDING BUT NOT LIMITED TO TUNNELS, DITCHES, STORM WATER PONDS, CANALS, ARTIFICIAL LAKES) CONTRACTOR SHALL INSTALL FENCES AND TAKE ALL OTHER REASONABLE AND PRUDENT STEPS TO INSURE THAT ACCESS TO EXCAVATION BY UNAUTHORIZED PERSONNEL IS PREVENTED.
17. CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE PROVISIONS OF THE FLORIDA STATE TRENCH SAFETY ACT.
18. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO:
 - A. ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY;
 - B. ALL THE WORK AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE, UNDER THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR ANY OF ITS SUBCONTRACTORS;

C. OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS, ROADWAY, STRUCTURES AND UTILITIES NOT DESIGNATED FOR DEMOLITION IN THE COURSE OF CONSTRUCTION.

19. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY CODES AND WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC, QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THEIR PROTECTION AGAINST DAMAGE, INJURY OR LOSS, OR DESIGNED TO PROTECT THE ENVIRONMENT. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES OF THE EXISTENCE OF HAZARDS AND OF THE SAFETY REGULATIONS.
20. ALL DAMAGE OR LOSS TO ANY PROPERTY REFERRED TO IN CLAUSES 17.1(B) AND 17.1(C) CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR BY ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SHALL BE REMEDIED BY THE CONTRACTOR, EXCEPT DAMAGE OR LOSS PROPERLY ATTRIBUTABLE SOLELY TO THE ACTS OR OMISSIONS OF THE OWNER, OR THE ENGINEER OR ANYONE EMPLOYED BY THEM, OR FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, AND NOT PROPERLY ATTRIBUTABLE IN WHOLE OR IN PART, TO THE FAULT OR NEGLIGENCE OF THE CONTRACTOR.
21. UNTIL FINAL ACCEPTANCE OF THE WORK BY OWNER, THE CONTRACTOR SHALL HAVE THE CHARGE AND CARE OF AND SHALL BEAR THE RISK OF INJURY OR DAMAGE, LOSS OR EXPENSE TO ANY PART THEREOF, OR TO ANY MATERIALS STORED ON SITE, BY THE ACTION OF THE ELEMENTS OR FROM ANY OTHER CAUSE WHETHER ARISING FROM THE EXECUTION OR NON-EXECUTION OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD ALL INJURIES OR DAMAGES TO ANY PORTION OF THE WORK OCCASIONED BY ANY OF THE ABOVE CAUSES BEFORE FINAL ACCEPTANCE AND SHALL BEAR THE EXPENSES THEREOF.
22. THE CONTRACTOR SHALL NOT LOAD OR PERMIT ANY PART OF THE WORK TO BE LOADED SO AS TO ENDANGER ITS SAFETY. NO LOAD SHALL BE PLACED ON A ROOF WITHOUT THE APPROVAL OF THE OWNER OR ENGINEER.
23. THOSE PARTS OF WORK IN PLACE WHICH ARE SUBJECT TO DAMAGE BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
24. PERMANENT OPENINGS USED AS THOROUGHFARES FOR THE INTRODUCTION OF WORK AND MATERIALS TO THE STRUCTURE SHALL HAVE HEADS, JAMBS AND SILLS WELL BLOCKED AND BOARDED BY THE CONTRACTOR. OWNER RETAINS THE AUTHORITY, BUT ASSUMES NO DUTY, TO ESTABLISH STANDARDS OF PROTECTION, AND TO REVIEW THE EFFICIENCY OF PROTECTIVE MEASURES TAKEN BY THE CONTRACTOR.
25. MAINTENANCE OF TRAFFIC IS TO BE PROVIDED BY CONTRACTOR.
26. THE CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ACT OF 1970 AND ALL RULES AND REGULATIONS NOW OR HEREAFTER IN EFFECT UNDER SAID ACT, AND THE CONTRACTOR FURTHER AGREES TO COMPLY WITH ANY AND ALL APPLICABLE STATE LAWS AND REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH.
27. THE CONTRACTOR SHALL PROTECT AND KEEP OWNER (INCLUDING THEIR AGENTS AND EMPLOYEES) FREE AND HARMLESS FROM ANY AND ALL LIABILITY, PUBLIC OR PRIVATE, PENALTIES, CONTRACTUAL OR OTHERWISE, LOSSES, DAMAGES, COSTS, ATTORNEY'S FEES, EXPENSES, CAUSES OF ACTION, CLAIMS OR JUDGMENTS RESULTING FROM THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AS AMENDED OR ANY RULE OR REGULATION PROMULGATED THEREUNDER OR OF ANY STATE LAWS OR REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, AND CONTRACTOR SHALL INDEMNIFY OWNER FROM ANY SUCH CLAIMS, PENALTIES, SUITS OR ACTIONS, PUBLIC OR PRIVATE, ADMINISTRATIVE OR JUDICIAL, INCLUDING ATTORNEY'S FEES PAID OR INCURRED BY OR ON BEHALF OF OWNER, JOINTLY OR SEVERALLY, AND/OR THEIR AGENTS AND EMPLOYEES. THE CONTRACTOR FURTHER AGREES, IN THE EVENT OF A CLAIMED VIOLATION OF ANY FEDERAL OR STATE SAFETY AND HEALTH LAW OR REGULATION ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, OWNER MAY IMMEDIATELY TAKE WHATEVER ACTION IS DEEMED NECESSARY BY OWNER TO REMEDY THE CLAIMED VIOLATION. ANY AND ALL COSTS OR EXPENSES PAID OR INCURRED BY OWNER IN TAKING SUCH ACTION SHALL BE BORNE BY CONTRACTOR, AND CONTRACTOR AGREES TO PROTECT, HOLD HARMLESS AND INDEMNIFY OWNER AGAINST ANY AND ALL SUCH COSTS OR EXPENSES.
28. ALL WORK PERFORMED UNDER THE CONTRACT, AND ALL EQUIPMENT, APPLIANCES, TOOLS AND LIKE ITEMS USED IN THE WORK SHALL CONFORM TO APPLICABLE SAFETY CODES AND REGULATIONS OF ANY PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION. IN THE EVENT OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT INTERPRETATION OR REGULATION SHALL GOVERN.
29. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT AN EROSION CONTROL PLAN TO MINIMIZE EROSION AND INSURE FUNCTIONING OF STORMWATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION.
30. CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL HAZARDOUS MATERIALS (AS DEFINED PARAGRAPH 20.8) IN COMPLIANCE WITH ALL PRESENT FEDERAL, STATE AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAW, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW.
31. CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIAL CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.
32. CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS CONTRACT, REMOVE ALL SUPPLIES, MATERIALS, AND WASTE CONTAINING AND HAZARDOUS MATERIAL FROM THE JOB SITE. CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY, AS BETWEEN THE PARTIES OF

THIS CONTRACT, FOR THE COMPLIANCE OF CONTRACTOR AND ITS SUBCONTRACTORS WITH THE PROVISIONS OF PARAGRAPH 21.7.

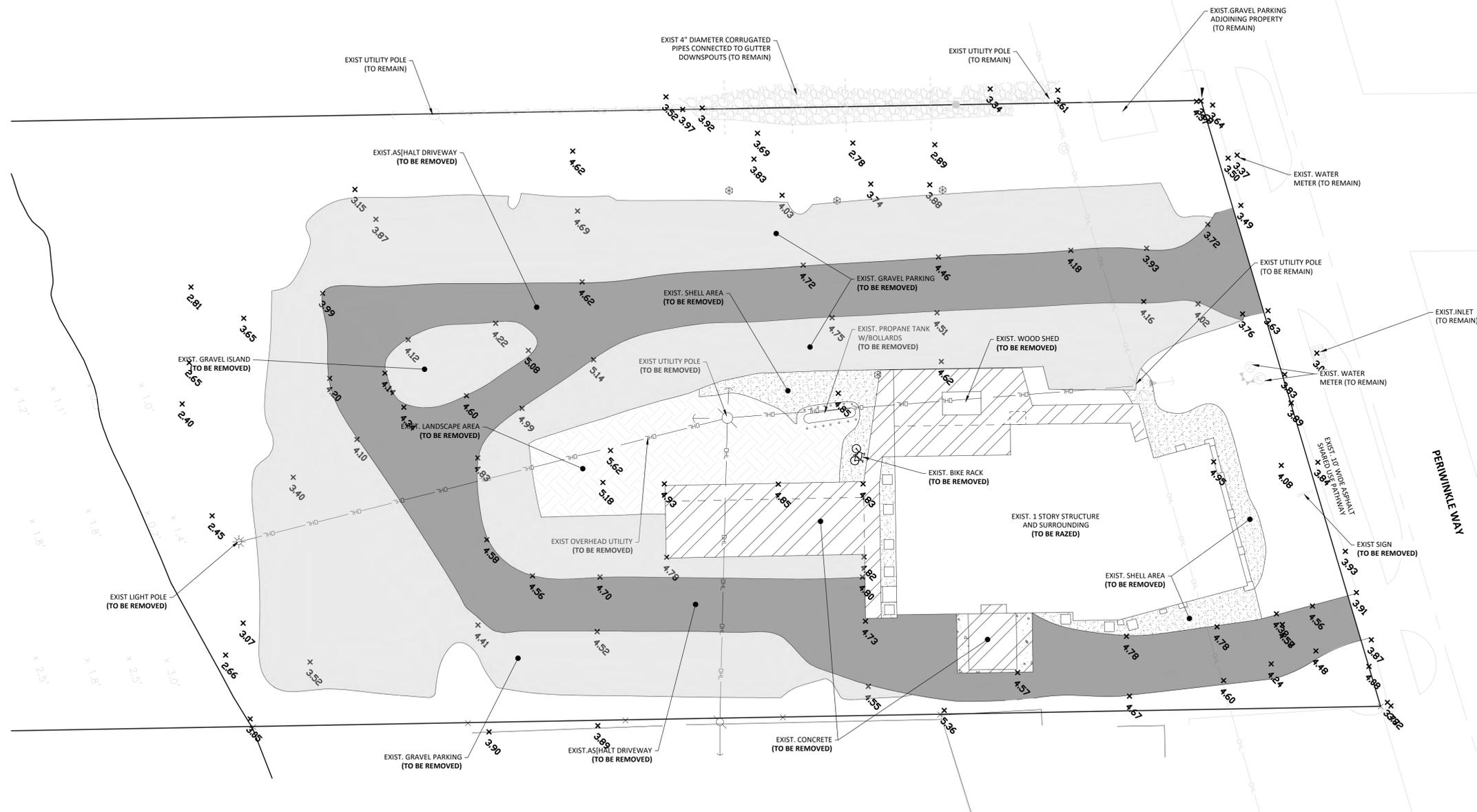
33. CONTRACTOR AGREES TO INDEMNIFY, DEFEND, PROTECT AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY CLAIMS INCLUDING, WITHOUT LIMITATION, ACTUAL ATTORNEY'S FEES AND ANY COSTS OF INVESTIGATION, SOILS TESTING, GOVERNMENTAL APPROVALS, REMEDIATION AND CLEANUP ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE FAILURE OF CONTRACTOR OR ITS SUBCONTRACTORS, OR THEIR AGENTS, EMPLOYEES, OFFICERS, OR REPRESENTATIVES, TO COMPLY WITH THE TERMS OF THIS ARTICLE 21.
34. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSE OF ANY HAZARDOUS MATERIAL ON OR ABOUT THE JOB SITE IN VIOLATION OF THIS PARAGRAPH, CONTRACTOR SHALL IMMEDIATELY SO INFORM OWNER IN WRITING. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.
35. IN THE EVENT CONTRACTOR OR ITS SUBCONTRACTORS ENCOUNTER ON THE PREMISES ANY PIPELINE, UNDERGROUND STORAGE TANK OR OTHER CONTAINER, OF ANY KIND, THAT MAY CONTAIN A HAZARDOUS MATERIAL, OR ENCOUNTER MATERIAL REASONABLY BELIEVED TO BE A HAZARDOUS MATERIAL, CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO OWNER IN WRITING.
36. IF CONTRACTOR OR ITS SUBCONTRACTORS DO NOT COMPLY WITH THE REQUIREMENTS OF THIS PARAGRAPH, OWNER MAY, BUT IS NOT OBLIGATED TO, GIVE WRITTEN NOTICE OF VIOLATION TO CONTRACTOR. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS FAIL TO COMPLY WITH THE REQUIREMENTS OF THE PARAGRAPH WITHIN TWENTY-FOUR (24) HOURS FROM THE TIME OWNER ISSUES SUCH WRITTEN NOTICE OF NONCOMPLIANCE OR WITHIN THE TIME OF AN ABATEMENT PERIOD SPECIFIED BY ANY GOVERNMENTAL AGENCY, WHICHEVER PERIOD IS SHORTER, CONTRACTOR SHALL BE IN MATERIAL DEFAULT OF THIS CONTRACT.
37. "HAZARDOUS MATERIAL" MEANS ANY SUBSTANCE: (A) THE PRESENCE OF WHICH REQUIRES INVESTIGATION OR REMEDIATION UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, ORDINANCE, RULE, CODE, ORDER, ACTION, POLICY OR COMMON LAW, OR (B) WHICH IS OR BECOMES DEFINED AS A "HAZARDOUS WASTE," "HAZARDOUS SUBSTANCE," POLLUTANT OR CONTAMINANT UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, RULE OR ORDINANCE OR AMENDMENTS THERETO INCLUDING, WITHOUT LIMITATION, THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (42 U.S.C. SECTIONS 9601 ET SEQ.) AND/OR THE RESOURCE CONSERVATION AND RECOVERY ACT (42 U.S.C. SECTIONS 6901 ET SEQ.), OR (C) WHICH IS TOXIC, EXPLOSIVE, CORROSIVE, FLAMMABLE, INFECTIOUS, RADIOACTIVE, CARCINOGENIC, MUTAGENIC, OR OTHERWISE HAZARDOUS AND IS REGULATED BY ANY GOVERNMENTAL AUTHORITY, AGENCY, DEPARTMENT, COMMISSION, BOARD, AGENCY OR INSTRUMENTALITY OF THE UNITED STATES, THE STATE IN WHICH THE PREMISES ARE LOCATED OR ANY POLITICAL SUBDIVISION THEREOF, OR (D) THE PRESENCE OF WHICH ON THE PREMISES CAUSES OR THREATENS TO CAUSE A NUISANCE UPON THE PREMISES OR TO ADJACENT PROPERTIES OR POSES OR THREATENS TO POSE A HAZARD TO THE HEALTH OR SAFETY OF PERSONS ON OR ABOUT THE PREMISES, OR (E) WHICH CONTAINS GASOLINE, DIESEL FUEL OR OTHER PETROLEUM HYDROCARBONS, OR (F) WHICH CONTAINS POLYCHLORINATED BIPHENYLS (PCBS), ASBESTOS, LEAD OR UREA FORMALDEHYDE FOAM INSULATION.
38. THE EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AS TO SIZE, LOCATION, AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
39. ANY EXISTING LANDSCAPING TO BE PRESERVED UNLESS OTHERWISE NOTED IN LANDSCAPE PLANS.

P:\Projects\25\301.2500789.000_Riverview_II_Housing_and_Urban_Developme\06_CAD_Plans\C2_0_GENERAL_NOTES.dwg Plotted: Jan 13, 2026 1:12:20pm by gfehrhaber

		DESIGNED BY	SCF	OWNER / DEVELOPER: COMMUNITY HOUSING AND RESOURCES, INC. 2340 PERIWINKLE WAY, SUITE K-2 SANIBEL, FL 33957	 ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS 1715 Monroe Street, Suite 500 - Fort Myers, Florida 33901 Phone: 239.206.5093 WWW.DRMP.COM	CONSTRUCTION PLAN FOR		GENERAL NOTES	PROJECT NO.:	301.2501366.000
		DRAWN BY	SCF			DATE:	JANUARY 2026			
		CHECKED BY	SCF			SCALE:	NA			
NO.	REVISIONS	DATE	APPROVED BY			SCF	SHEET:		C2.0	DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

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LEGEND

- = EXIST. OVERHEAD ELECTRIC
- = EXIST. ASPHALT DRIVEWAY (TO BE REMOVED)
- = EXIST. GRAVEL PARKING (TO BE REMOVED)
- = EXIST. CONCRETE (TO BE REMOVED)
- = EXIST. SHELL (TO BE REMOVED)
- = EXIST. LANDSCAPE AREA (TO BE REMOVED)
- = EXIST. SPOT GRADE

NOTE:
 1,200 GAL GREASE TRAP TO BE REMOVED.
 ALL FOUNDATIONS TO BE REMOVED.

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 SANIBEL, FL 33957

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CONSTRUCTION PLAN FOR
RIVERVIEW II AT 1523 PERIWINKLE WAY
 CITY OF SANIBEL, LEE COUNTY, FLORIDA

EXISTING CONDITIONS AND DEMOLITION PLAN

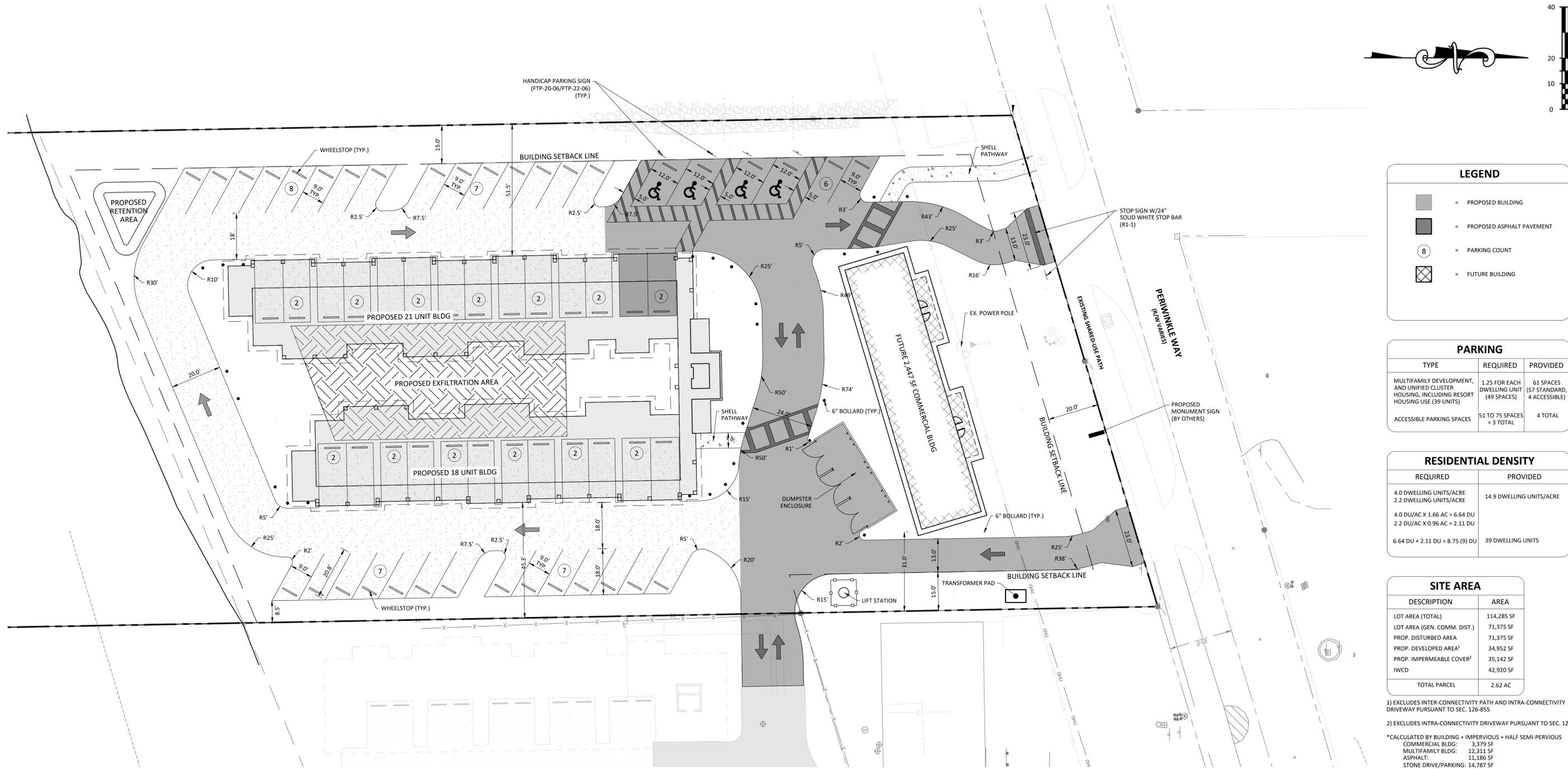
Stephen C. Felhaber, PE
 Florida P.E. No. 98609

PROJECT NO.:	301.2501366.000
DATE:	JANUARY 2026
SCALE:	1" = 30'
SHEET:	C3.0

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LEGEND	
	= PROPOSED BUILDING
	= PROPOSED ASPHALT PAVEMENT
8	= PARKING COUNT
	= FUTURE BUILDING

PARKING		
TYPE	REQUIRED	PROVIDED
MULTIFAMILY DEVELOPMENT, AND UNIFIED CLUSTER HOUSING, INCLUDING RESORT HOUSING USE (39 UNITS)	1.25 FOR EACH DWELLING UNIT (49 SPACES)	61 SPACES (57 STANDARD, 4 ACCESSIBLE)
ACCESSIBLE PARKING SPACES	51 TO 75 SPACES = 3 TOTAL	4 TOTAL

RESIDENTIAL DENSITY	
REQUIRED	PROVIDED
4.0 DWELLING UNITS/ACRE	14.9 DWELLING UNITS/ACRE
2.2 DWELLING UNITS/ACRE	
4.0 DU/AC X 1.66 AC = 6.64 DU	39 DWELLING UNITS
2.2 DU/AC X 0.96 AC = 2.11 DU	
6.64 DU + 2.11 DU = 8.75 (9) DU	

SITE AREA	
DESCRIPTION	AREA
LOT AREA (TOTAL)	114,285 SF
LOT AREA (GEN. COMM. DIST.)	71,375 SF
PROP. DISTURBED AREA	71,375 SF
PROP. DEVELOPED AREA ¹	34,952 SF
PROP. IMPERMEABLE COVER ²	35,142 SF
IWCD	42,920 SF
TOTAL PARCEL	2.62 AC

1) EXCLUDES INTER-CONNECTIVITY PATH AND INTRA-CONNECTIVITY DRIVEWAY PURSUANT TO SEC. 126-855
 2) EXCLUDES INTRA-CONNECTIVITY DRIVEWAY PURSUANT TO SEC. 126-855

*CALCULATED BY BUILDING + IMPERVIOUS + HALF SEMI-PERVIOUS
 COMMERCIAL BLDG: 3,379 SF
 MULTIFAMILY BLDG: 12,311 SF
 ASPHALT: 11,380 SF
 STONE DRIVE/PARKING: 14,787 SF
 *50%: 7,394 SF
 DUMPSTER ENCL.: 682 SF
 TOTAL DEVELOPED AREA: 34,952 SF
 VEGETATION AREA: 35,761 SF
 INTRA-CONNECTIVITY DRIVE: 282 SF
 INTER-CONNECTIVITY PATH: 380 SF
 *50%: 190 SF

INCLUDING IWCD AREA: 35,142/114,285 = 0.307 = 30.7%
 EXCLUDING IWCD AREA: 35,142/71,375 = 0.492 = 49.2%

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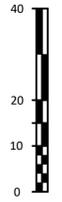
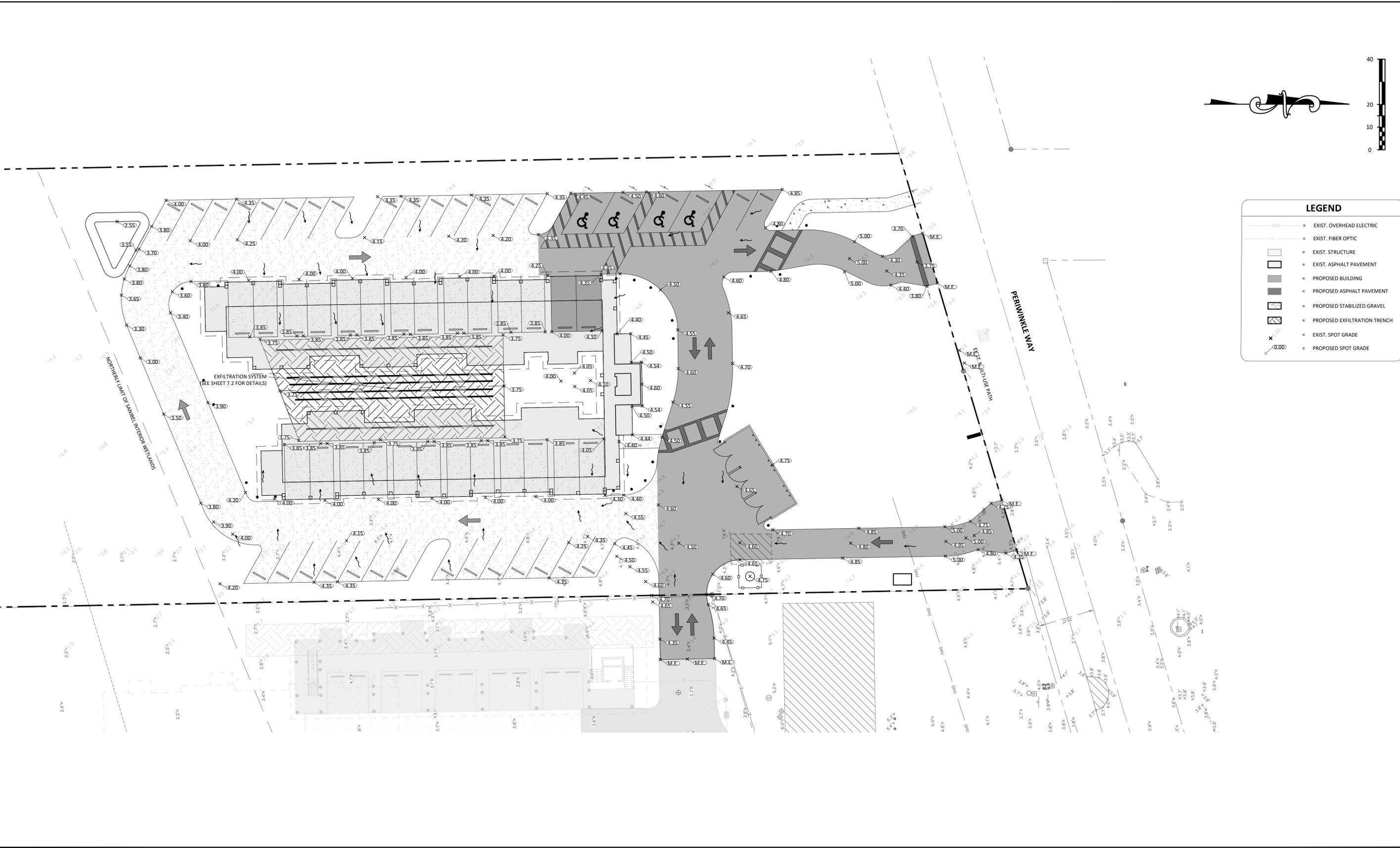
CONSTRUCTION PLAN FOR
RIVERVIEW II AT 1523 PERIWINKLE WAY
 CITY OF SANIBEL, LEE COUNTY, FLORIDA
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SITE PLAN

PROJECT NO.:	301.2501366.000
DATE:	JANUARY 2026
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SHEET:	C4.0

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LEGEND	
	= EXIST. OVERHEAD ELECTRIC
	= EXIST. FIBER OPTIC
	= EXIST. STRUCTURE
	= EXIST. ASPHALT PAVEMENT
	= PROPOSED BUILDING
	= PROPOSED ASPHALT PAVEMENT
	= PROPOSED STABILIZED GRAVEL
	= PROPOSED EXFILTRATION TRENCH
	= EXIST. SPOT GRADE
	= PROPOSED SPOT GRADE

NO.	REVISIONS	DATE

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CONSTRUCTION PLAN FOR
RIVERVIEW II AT 1523 PERIWINKLE WAY
 CITY OF SANIBEL, LEE COUNTY, FLORIDA

**PAVING, GRADING,
 AND DRAINAGE PLAN**

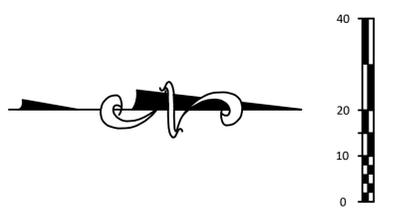
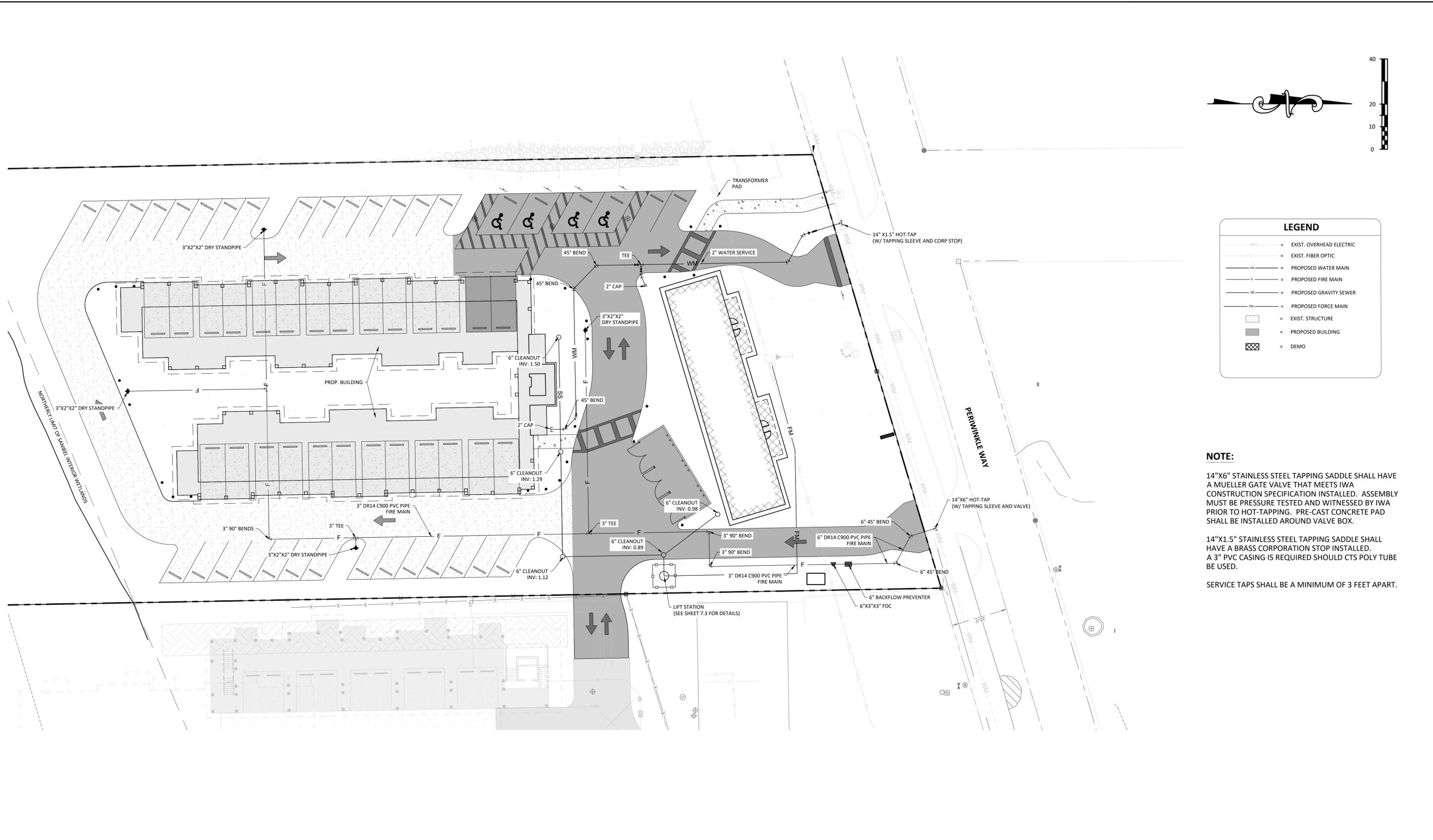
Stephen C. Fehhaber, PE
 Florida P.E. No. 98609

PROJECT NO.:	301.2501366.000
DATE:	JANUARY 2026
SCALE:	1" = 20'
SHEET:	C5.0

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LEGEND	
	EXIST. OVERHEAD ELECTRIC
	EXIST. FIBER OPTIC
	PROPOSED WATER MAIN
	PROPOSED FIRE MAIN
	PROPOSED GRAVITY SEWER
	PROPOSED FORCE MAIN
	EXIST. STRUCTURE
	PROPOSED BUILDING
	DEMO

NOTE:

14"X6" STAINLESS STEEL TAPPING SADDLE SHALL HAVE A MUELLER GATE VALVE THAT MEETS IWA CONSTRUCTION SPECIFICATION INSTALLED. ASSEMBLY MUST BE PRESSURE TESTED AND WITNESSED BY IWA PRIOR TO HOT-TAPPING. PRE-CAST CONCRETE PAD SHALL BE INSTALLED AROUND VALVE BOX.

14"X1.5" STAINLESS STEEL TAPPING SADDLE SHALL HAVE A BRASS CORPORATION STOP INSTALLED. A 3" PVC CASING IS REQUIRED SHOULD CTS POLY TUBE BE USED.

SERVICE TAPS SHALL BE A MINIMUM OF 3 FEET APART.

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CONSTRUCTION PLAN FOR
RIVERVIEW II AT 1523 PERIWINKLE WAY
 CITY OF SANIBEL, LEE COUNTY, FLORIDA

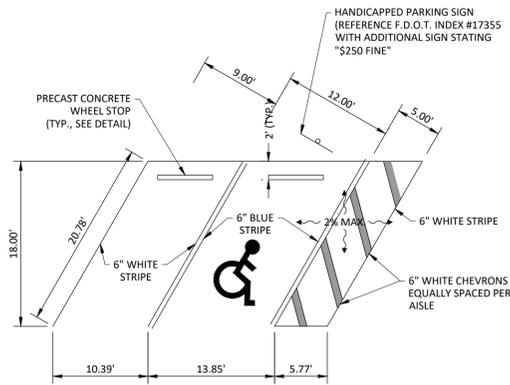
UTILITY PLAN

PROJECT NO.:	301.2501366.000
DATE:	JANUARY 2026
SCALE:	1" = 20'
SHEET:	C6.0

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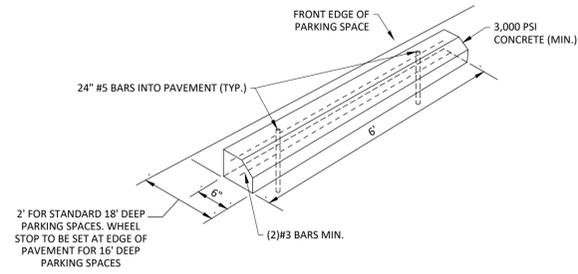
Stephen C. Felhaber, PE
 Florida P.E. No. 98609

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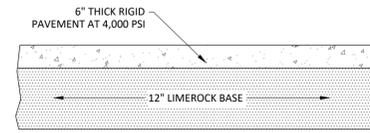


- NOTES:**
1. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS PER ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 4.6.

PARKING SPACE DETAIL
NTS

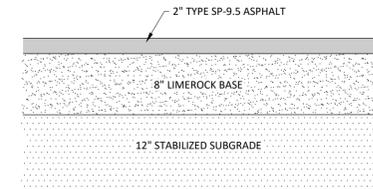


WHEEL STOP DETAIL
NTS



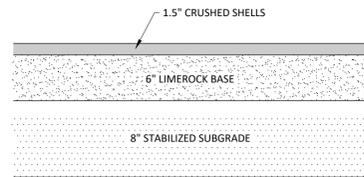
- NOTES:**
1. 12\" LIMEROCK BASE, PRIMED AND COMPACTED TO 98% OF MAX. DENSITY (DETERMINED BY AASHTO T-180).
 2. WHEN NO CURB IS PROPOSED LIMEROCK TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT.

TYPICAL RIGID PAVEMENT SECTION
NTS



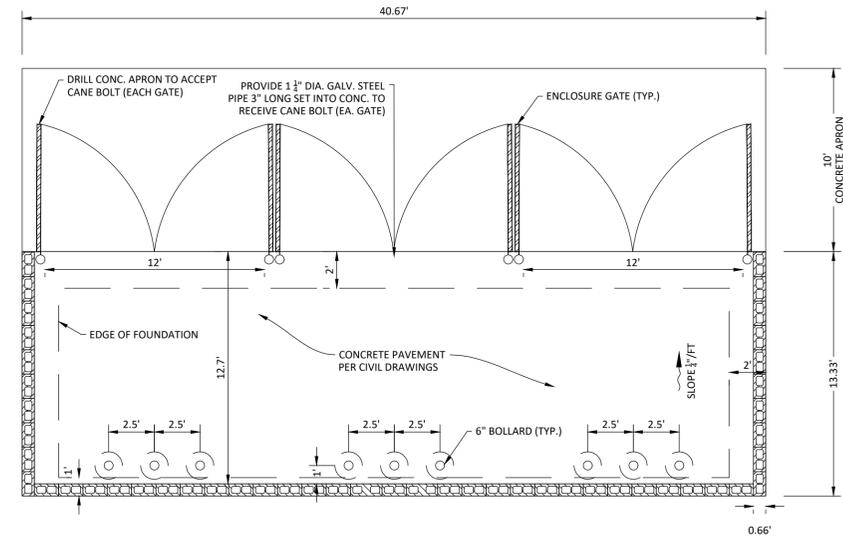
- NOTES:**
1. 8\" LIMEROCK BASE, PRIMED AND COMPACTED TO 98% OF MAX. DENSITY (AASHTO T-180).
 2. 12\" STABILIZED SUBGRADE (MIN. LBR 40).
 3. STABILIZED SUBGRADE TO EXTEND 12 INCHES BEYOND BACK OF CURB AND WHEN NO CURB IS PRESENT, LIMEROCK TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT.
 4. BID ALTERNATE FOR REPLACEMENT OF ASPHALT IN LIEU OF MILLING AND RESURFACING.

TYPICAL ASPHALT PAVEMENT SECTION
NTS



- NOTES:**
1. 8\" LIMEROCK BASE, PRIMED AND COMPACTED TO 98% OF MAX. DENSITY (AASHTO T-180).
 2. 12\" STABILIZED SUBGRADE (MIN. LBR 40).
 3. STABILIZED SUBGRADE TO EXTEND 12 INCHES BEYOND BACK OF CURB AND WHEN NO CURB IS PRESENT, LIMEROCK TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT.
 4. BID ALTERNATE FOR REPLACEMENT OF ASPHALT IN LIEU OF MILLING AND RESURFACING.

TYPICAL CRUSHED SHELLS SECTION
NTS



DUMPSTER ENCLOSURE DETAIL
NTS

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 SANIBEL, FL 33957



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CONSTRUCTION PLAN FOR
RIVERVIEW II AT 1523 PERIWINKLE WAY

CITY OF SANIBEL, LEE COUNTY, FLORIDA

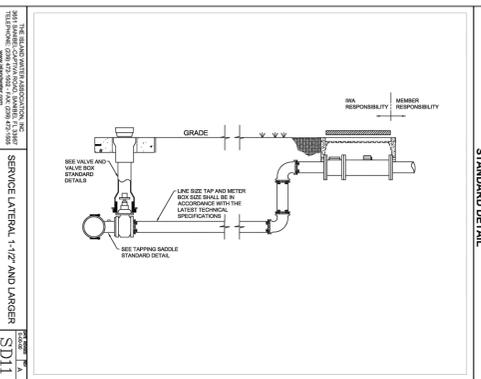
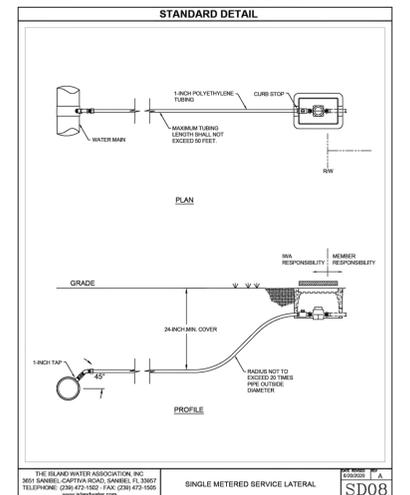
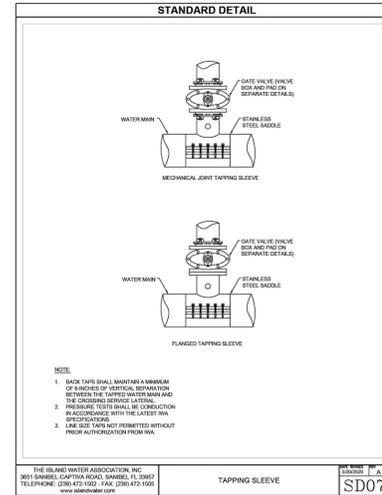
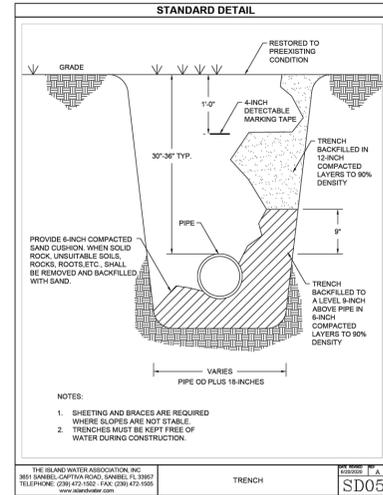
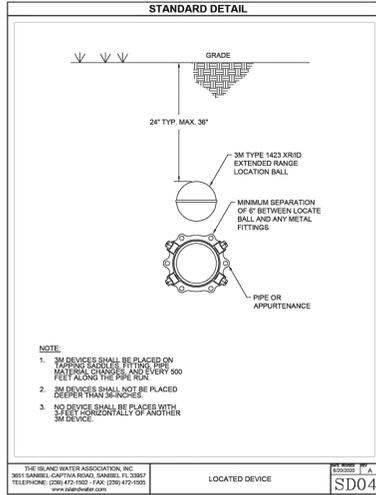
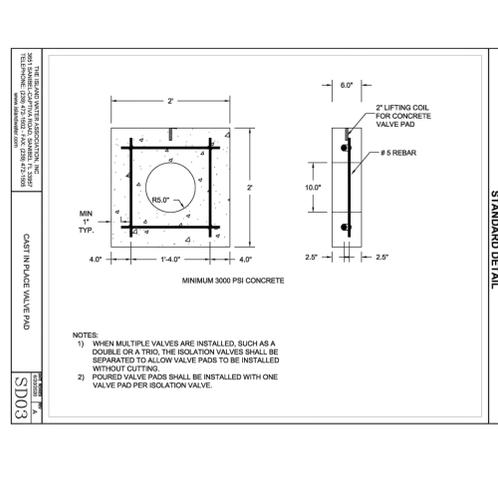
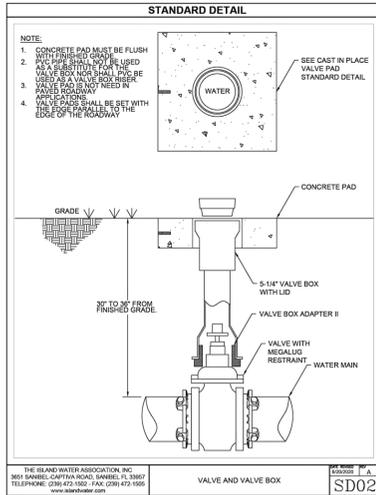
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GENERAL DETAILS

Stephen C. Fehhaber, PE
 Florida P.E. No. 98609

PROJECT NO.:	301.2501366.000
DATE:	JANUARY 2026
SCALE:	NA
SHEET:	C7.0

PERMIT SET



STANDARD DETAIL

Restraint Length in feet for Ductile Iron (poly wrapped)

Size	90	45	22.5	11.25	Dead End	Tee
4	24	10	5	3	69	1
6	34	14	7	4	97	1
8	43	18	9	5	126	10
10	51	22	11	5	151	33
12	60	25	12	6	177	58
14	67	28	14	7	201	80
16	75	31	15	8	225	104
20	89	37	18	9	272	147

Restraint Length in feet for PVC

Size	90	45	22.5	11.25	Dead End	Tee
4	21	9	5	2	45	1
6	28	12	6	3	63	1
8	37	16	8	4	83	7
10	44	18	9	5	99	21
12	51	21	11	5	116	36
14	57	24	12	6	132	50
16	64	27	13	7	149	65
20	76	32	16	8	179	92

Soil type =SP
1.5 safety factor
30" cover
150 psi test pressure

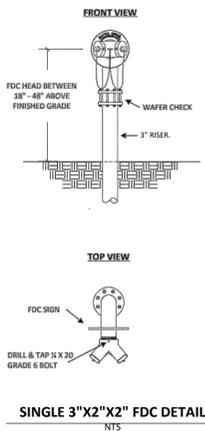
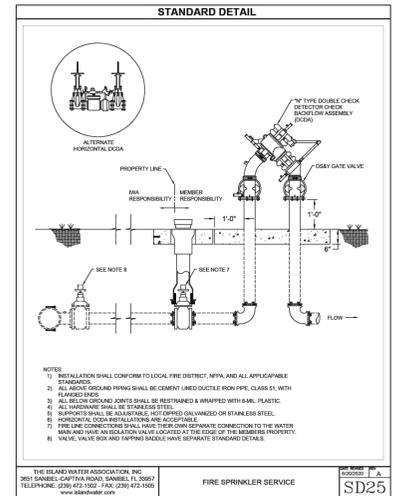
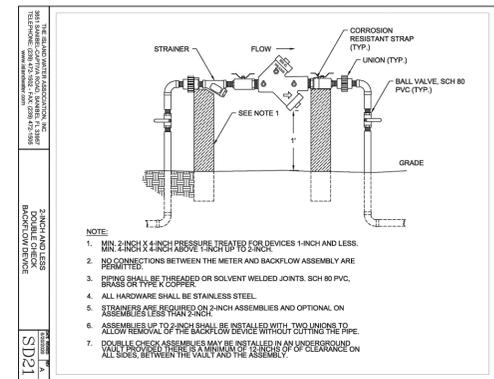
STANDARD DETAIL

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Other Pipe	Horizontal Separation	Crossing (1)	Joint Spacing @ Crossings
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 5 ft. Minimum	Water Main 12 inches is the minimum except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. Minimum	Water Main 12 inches is preferred 6 inches minimum	Alternate 3 ft. minimum
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. Minimum (3)	Water Main 12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum
Other Sewage Treatment & Disposal System	10 ft. Minimum	-	-

(1) Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
(2) Reclaimed Water regulated under Part III of Chapter 62-610, F.A.C.
(3) 3 ft. for gravity sanitary sewer when the bottom of the water main is laid at least 65 inches above the top of the gravity sanitary sewer.
(4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.
(5) Additional information under paragraph 3(a) of 62-604, F.A.C.

Disclaimer - This document is for your convenience only. Please refer to F.A.C. Rule 62-555.314 for additional requirements.



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NO.	REVISIONS	DATE	APPROVED BY	SCF

DESIGNED BY: SCF
DRAWN BY: SCF
CHECKED BY: SCF
APPROVED BY: SCF

OWNER / DEVELOPER:
COMMUNITY HOUSING AND RESOURCES, INC.
2340 PERIWINKLE WAY, SUITE K-2
SANIBEL, FL 33957

1715 Monroe Street, Suite 500 - Fort Myers, Florida 33901
Phone: 239.206.5093 WWW.DRMP.COM

CONSTRUCTION PLAN FOR
RIVERVIEW II AT 1523 PERIWINKLE WAY
CITY OF SANIBEL, LEE COUNTY, FLORIDA

UTILITY DETAILS

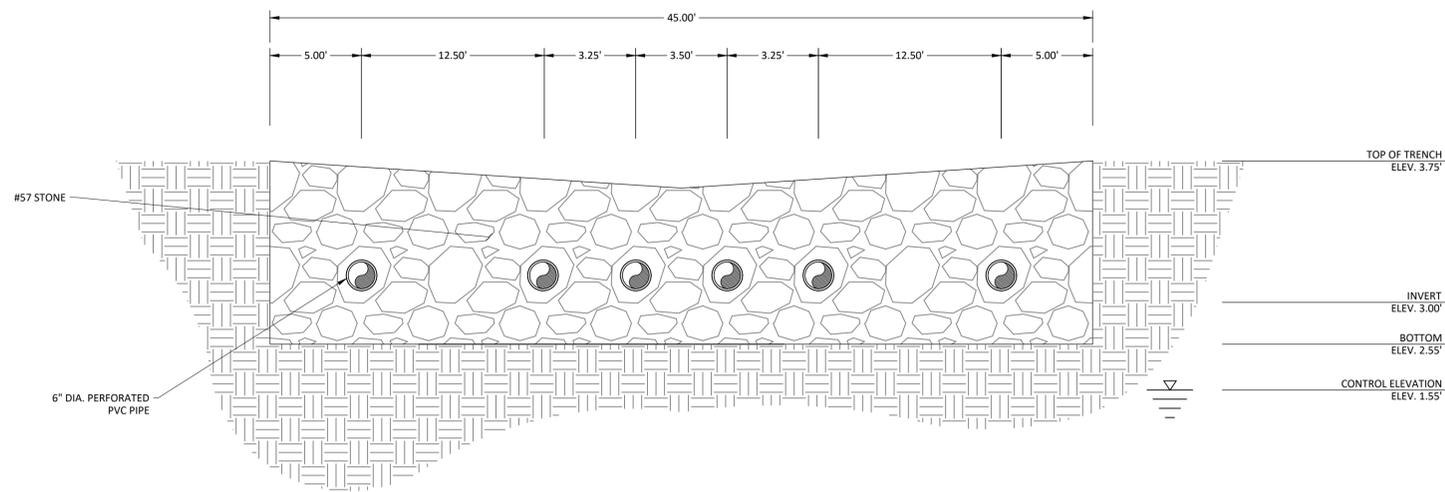
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PROJECT NO.: 301.2501366.000
DATE: JANUARY 2026
SCALE: NA
SHEET: C7.1

Stephen C. Fehhaber, PE
Florida P.E. No. 98609

PERMIT SET

P:\Projects\25_301_2500789_000_Riverview_II_Housing_and_Urban_Development\06-CAD\Plans\07-0_DETALS.dwg Plotted: Jan 12, 2026 11:59pm by sfehhaber



EXFILTRATION TRENCH DETAIL
NTS



Riverview II
RETENTION CALCULATIONS

DRAINAGE DATA

Roof Area	7250 sf
Net Impervious Area	1985 sf
Permeous Disturbed Area	5655 sf
Average Site Grade (H - NAVD)	4.10 ft (NAVD)
Control Elevation (HWT) (H - NAVD)	1.55 ft (NAVD)
Average Depth to Water Table (H)	2.55 ft
2-Hour 2-Year Design Storm Event	2.80 in

ACCUMULATED DIRECT RUNOFF, Q

Accumulated Rainfall	P = 2.80 inches
Soil Storage Effect	
- Impervious Available Soil Storage	S = 0.00 inches
- Permeous Disturbed Available Soil Storage	S = 3.56 inches
- Permeous Undisturbed Available Soil Storage	S = 4.71 inches

EQUATIONS

$Q = (P - 0.2(3)) \times (I + U)$

$Q = (2.80 - 0.6) \times (1.985 + 5.640)$

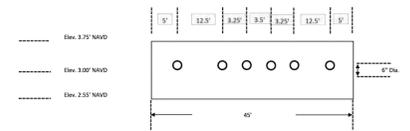
$Q = 2.20 \times 7.625 = 16.775 \text{ cfs}$

RUNOFF CALCULATIONS

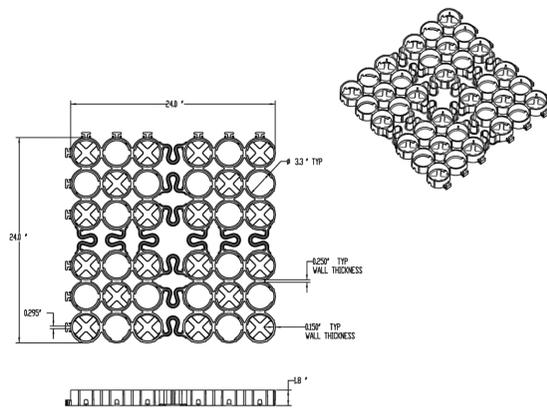
Impervious Surface	Q = 2.80
Q x A =	3766.1 cf
Permeous Disturbed Surface	Q = 0.77
Q x A =	3968.0 cf
Permeous Undisturbed Surface	Q = 0.53
Q x A =	0.0 cf
Required Retention Volume =	7034.1 cf
Is proposed storage acceptable?	Yes

Proposed Retention Volume

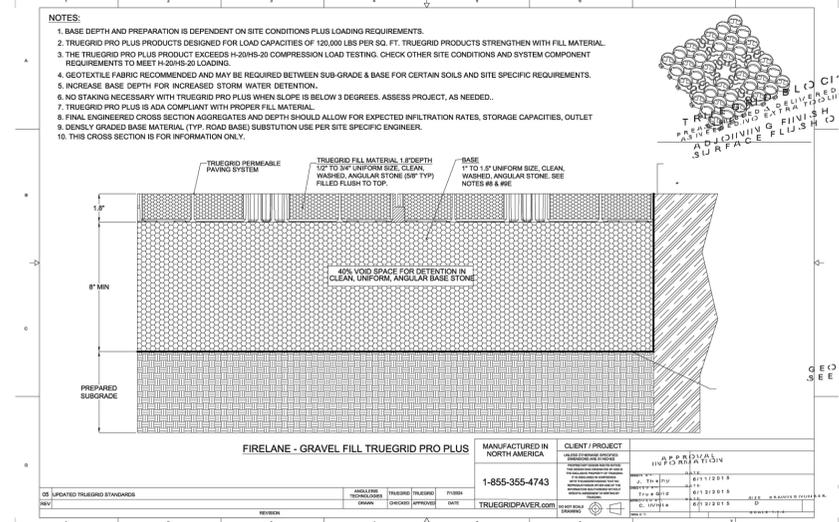
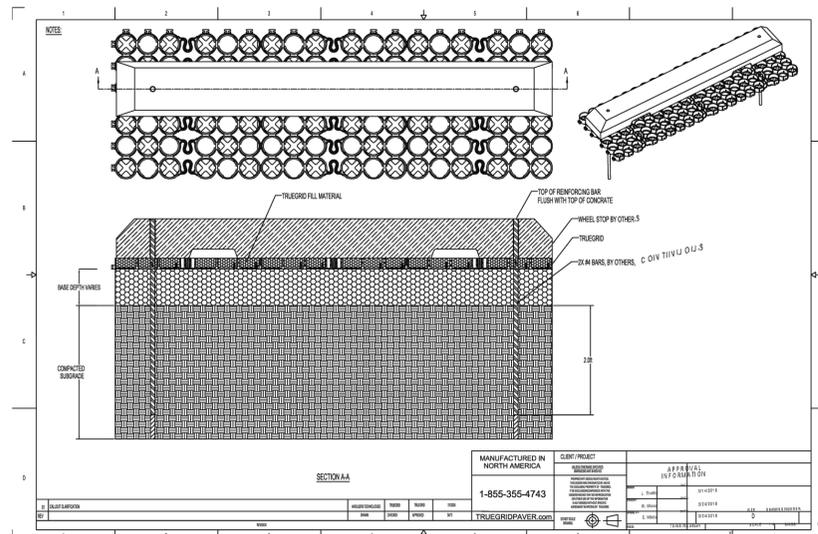
Storage Area	16,400 sf
Trench Length	18.0 ft
Trench Storage	5,379 cf
Stone Void Ratio	0.4
Trench Length	300 ft
Pipe Length	88.5 ft
Number of Pipes	5
Pipe Cross-sectional Area	0.982 sf
Trench Cross-sectional Area	24.338 sf
Trench Storage	2,020 cf
Detection Area (Bottom)	231 sf
Detection Area (Top)	545 sf
Detection Depth	1 ft
Detection Area Volume	388 cf
Total Available Storage	8,386 cf



True to your project. True to the environment.
MADE IN U.S.A.
TRUEGRID PRO PLUS 24" X 24" X 1.8"
US PATENT NO. 8,738,649
PROPRIETARY FEATURES:
1) 4-ANCHORS FOR STAKING NEEDED
2) 3-POINT MULTIFUNCTION LOKING TABS
3) 5-FLEX JOINTS BUILT IN EXPANSION JOINTS FOR SOIL MOVEMENT AND SEASONAL CHANGES
4) DEEP STRENGTH DESIGN
OTHER:
1) 100% POST-CONSUMER RECYCLED HDPE
2) DELIVERED IN PREASSEMBLED 4' X 4' SHEETS THAT CAN BE RECONFIGURED, AS NEEDED



FOR PRICING OR ORDERING CALL 1-855-355-GRID (4743). IN STOCK. FACTORY DIRECT.



- NOTES:**
1. BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
 2. TRUeGRID PRO PLUS PRODUCTS DESIGNED FOR LOAD CAPACITIES OF 120,000 LBS PER SQ. FT. TRUeGRID PRODUCTS STRENGTHEN WITH FILL MATERIAL.
 3. THE TRUeGRID PRO PLUS PRODUCT EXCEEDS H-20HS-20 COMPRESSION LOAD TESTING. CHECK OTHER SITE CONDITIONS AND SYSTEM COMPONENT REQUIREMENTS TO MEET H-20HS-20 LOADING.
 4. GEOTEXTILE FABRIC RECOMMENDED AND MAY BE REQUIRED BETWEEN SUB-GRADE & BASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS.
 5. INCREASE BASE DEPTH FOR INCREASED STORM WATER DETENTION.
 6. NO STAKING NECESSARY WITH TRUeGRID PRO PLUS WHEN SLOPE IS BELOW 3 DEGREES. ASSESS PROJECT, AS NEEDED.
 7. TRUeGRID PRO PLUS IS ADA COMPLIANT WITH PROPER FILL MATERIAL.
 8. FINAL ENGINEERED CROSS SECTION AGGREGATES AND DEPTH SHOULD ALLOW FOR EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET
 9. DENSELY GRADED BASE MATERIAL (TYP. ROAD BASE) SUBSTITUTION USE PER SITE SPECIFIC ENGINEER.
 10. THIS CROSS SECTION IS FOR INFORMATION ONLY.

NO.	REVISIONS	DATE	APPROVED BY	SCF

OWNER / DEVELOPER:
COMMUNITY HOUSING AND RESOURCES, INC.
2340 PERIWINKLE WAY, SUITE K-2
SANIBEL, FL 33957

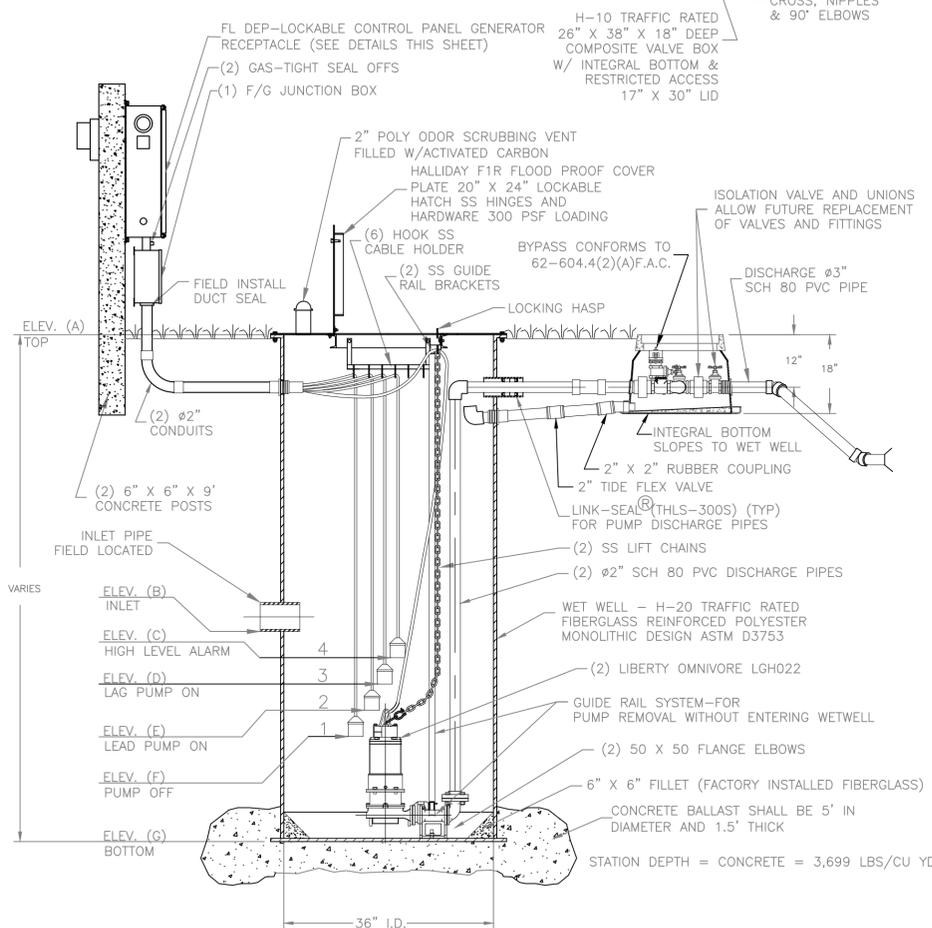
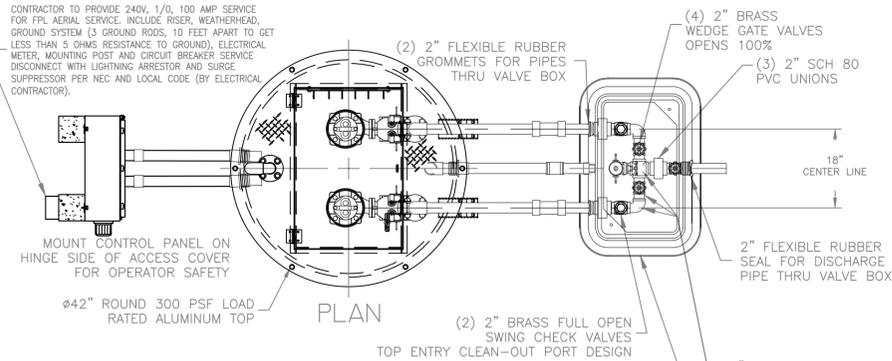
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CONSTRUCTION PLAN FOR
RIVERVIEW II AT 1523 PERIWINKLE WAY
CITY OF SANIBEL, LEE COUNTY, FLORIDA
DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFFERENCE

DRAINAGE DETAILS
Stephen C. Fehhaber, PE
Florida P.E. No. 98609

PROJECT NO.:	301.2501366.000
DATE:	JANUARY 2026
SCALE:	NA
SHEET:	C7.2

PERMIT SET

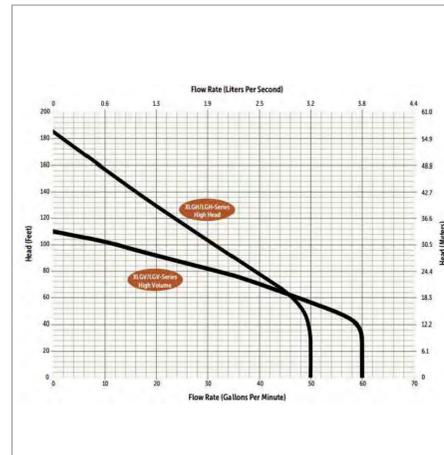


LIFT STATION SEWAGE GRINDER PUMP 36" DUPLEX STATION - 2" PIPING WITH SLIDE RAIL SYSTEM

- CONCRETE BALLAST SHALL BE 5' IN DIAMETER AND 1.5' THICK
 - GROUT FILLET (1 TO 1 SLOPE TO "HOPPER" BOTTOM)
- FIELD INSTALL BY CONTRACTOR

GENERAL NOTES

- SEWAGE GRINDER PUMP:** RATED FOR TWENTY (20) STARTS PER HOUR.
- AIR FILLED MOTOR DESIGNED FOR SEWAGE APPLICATION WITH CLASS F INSULATION.
 - DUAL MECHANICAL SHAFT SEALS (SILICON CARBIDE / SILICON CARBIDE) LOCATED OUT OF THE PUMPAGE, IN A SEPARATE OIL FILLED CHAMBER.
 - HIGH TEMPERATURE BALL BEARINGS B-10 RATING OF 60,000 HOURS, UPPER BEARING - SINGLE ROW AND LOWER BEARINGS - DOUBLE ROW TYPE.
 - PUMP SHAFT HORSEPOWER (BHP) SHALL NOT EXCEED MOTOR RATED HORSEPOWER THROUGHOUT THE ENTIRE OPERATING RANGE OF THE PUMP PERFORMANCE CURVE.
 - SINGLE PHASE MOTORS SHALL BE DUAL WOUND, CAPACITOR START-RUN AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (190 TO 260). THREE PHASE MOTORS SHALL BE DUAL WOUND AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (190 TO 260) OR OPERATE ON 480 VOLT BY CHANGING THE MOTOR LEADS INSIDE THE PUMP.
- FIBERGLASS WET WELL:** SHALL BE A ONE PIECE UNIT WITH INTEGRAL BOTTOM, WALL AND UPPER FLANGE. THE ENTIRE FIBERGLASS WET WELL SHALL HAVE A DYNAMIC LOAD RATING OF 16,000 FT/LBS. EACH UNIT MUST BE SERIAL NUMBERED TO IDENTIFY THE TEST PROCEDURE. ASTM D 3753 & H-20 SPECIFICATIONS SHALL BE REQUIRED AS MINIMUM.
- ALUMINUM HATCH:** INSTALL HALLIDAY F1R BOLTED COVER PLATE WITH 20" X 24" LOCKABLE/WATERPROOF HATCH, REINFORCED FOR LOAD RATING OF 300 LBS/FT WITH HOLD OPEN SAFETY ARM, LOCKING DEVICE FOR HASP TYPE PADLOCK AND STAINLESS STEEL HARDWARE.
- VALVE BOX:** FIBERGLASS COMPOSITE (H-10 TRAFFIC RATED) WITH INTEGRAL BOTTOM. (FOR 1 1/4" AND 2" DISCHARGE PIPING SXS HEADER SYSTEM) SHALL BE 26" X 38" X 18" WITH 17" X 30" LIMITED ACCESS LID
- ACCESSORIES:** #304 S/S - GUIDE RAILS, UPPER GUIDE RAIL BRACKETS, CABLE HOLDER, ANCHOR BOLTS AND PUMP LIFTING CHAINS.
- VALVES:** SHALL BE SEWAGE SERVICE DESIGN BRASS SWING CHECK VALVES WITH TOP ENTRY CLEAN-OUT PORT AND BRASS WEDGE GATE VALVES OPEN 100%.
- PIPING:** 3 SCHEDULE 80 PVC.
- FLOAT SWITCHES:** UL LISTED SJ ELECTRO MODEL (SJ 30 SWENO) OR EQUAL. PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, CONTROL PANEL, JUNCTION BOX, FLOAT SWITCHES, FRP WET WELL, HATCH AND ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY.



LOCATION	MODEL	HP	GPM	FT/TDH	VOLTAGE	PHASE	DISCHARGE	IMPELLER
L.S. 1	LGH-022	2.5	49	7.4	230	1	2"	OPEN

LOCATION	ELEV. (A)	ELEV. (B)	ELEV. (C)	ELEV. (D)	ELEV. (E)	ELEV. (F)	ELEV. (G)
L.S. 1	4.75	0.83	0.33	-0.17	-0.67	-1.67	-3.17

CONTROL PANEL -SHALL CONFORM TO FL DEP 62-604.42(A) CONTRACTOR TO VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT.

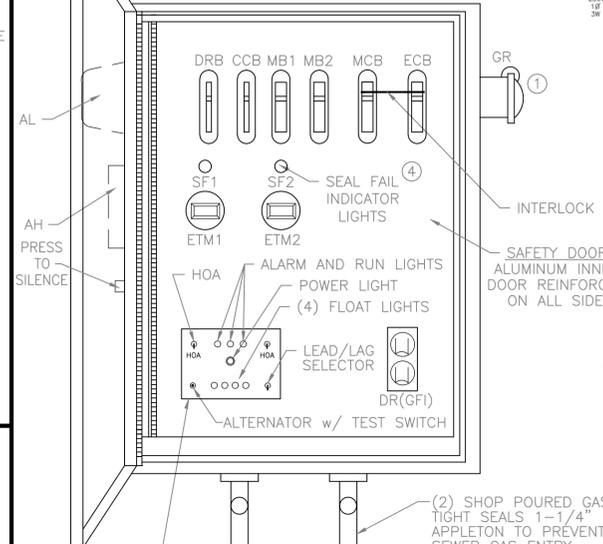
CONTROL PANEL SHALL BE IN NEMA 4X FIBERGLASS ENCLOSURE. THE PANEL SHALL MEET STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP), ENVIRONMENTAL PROTECTION COMMISSION (EPC) AND LOCAL CODE REQUIREMENTS GOVERNING PRIVATE LIFT STATIONS.

FLOAT SWITCHES AND CONTROL SYSTEM SHALL BE UL LISTED AND INTRINSICALLY SAFE. ALL COMPONENTS SHALL BE UL LISTED.

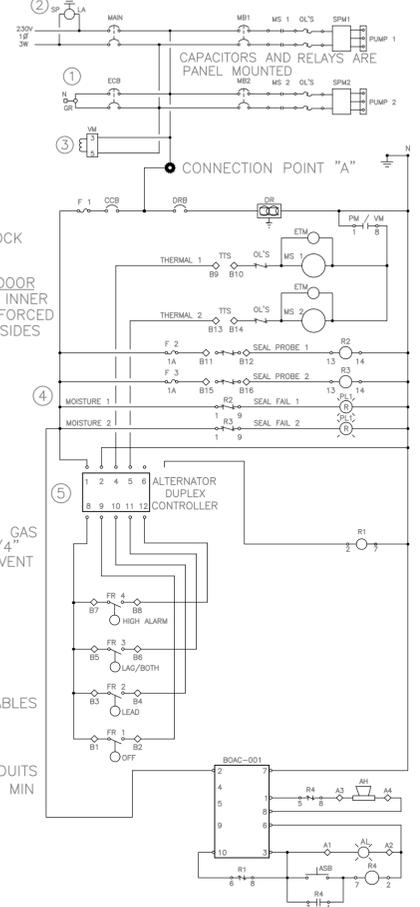
A JUNCTION BOX IS REQUIRED, WITH SHOP POURED SEALS BETWEEN BOX AND CONTROL PANEL TO PREVENT SEWER GAS ENTRY INTO CONTROL PANEL.

CONTRACTOR TO PROVIDE 240V, 1/0, 100 AMP SERVICE FOR FPL AERIAL SERVICE. INCLUDE RISER, WEATHERHEAD, GROUND SYSTEM (3 GROUND RODS, 10 FEET APART TO GET LESS THAN 5 OHMS RESISTANCE TO GROUND), ELECTRICAL METER, MOUNTING POST AND CIRCUIT BREAKER SERVICE DISCONNECT WITH LIGHTNING ARRESTOR AND SURGE SUPPRESSOR PER NEC AND LOCAL CODE (BY ELECTRICAL CONTRACTOR). CONTRACTOR TO SUBMIT TO ENGINEER AND OWNER THE FINAL LOCATIONS OF TRANSFORMER AND ELECTRICAL SERVICE CONDUIT. THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING.

CONTROL PANEL LAYOUT



SINGLE PHASE WIRING DIAGRAM



PANEL WIRING DIAGRAM

- PANELS SHALL CONFORM TO FLORIDA DEP 62-604.400
- GENERATOR RECEPTACLE FOR EMERGENCY POWER CONNECTION WITH INTERLOCK
 - SURGE PROTECTION AND LIGHTNING PROTECTION ON ALL INCOMING LEGS
 - PHASE PROTECTION SHALL BE PROVIDED
 - SHAFT SEAL FAIL DETECTION
 - ALTERNATOR w/ TEST SWITCH
- PANEL MANUFACTURER SHALL BE A "UL" LISTED SHOP.

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NO.	REVISIONS	DATE	APPROVED BY	SCF

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CONSTRUCTION PLAN FOR
RIVERVIEW II AT 1523 PERIWINKLE WAY
 CITY OF SANIBEL, LEE COUNTY, FLORIDA

LIFT STATION DETAILS

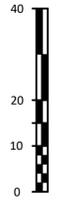
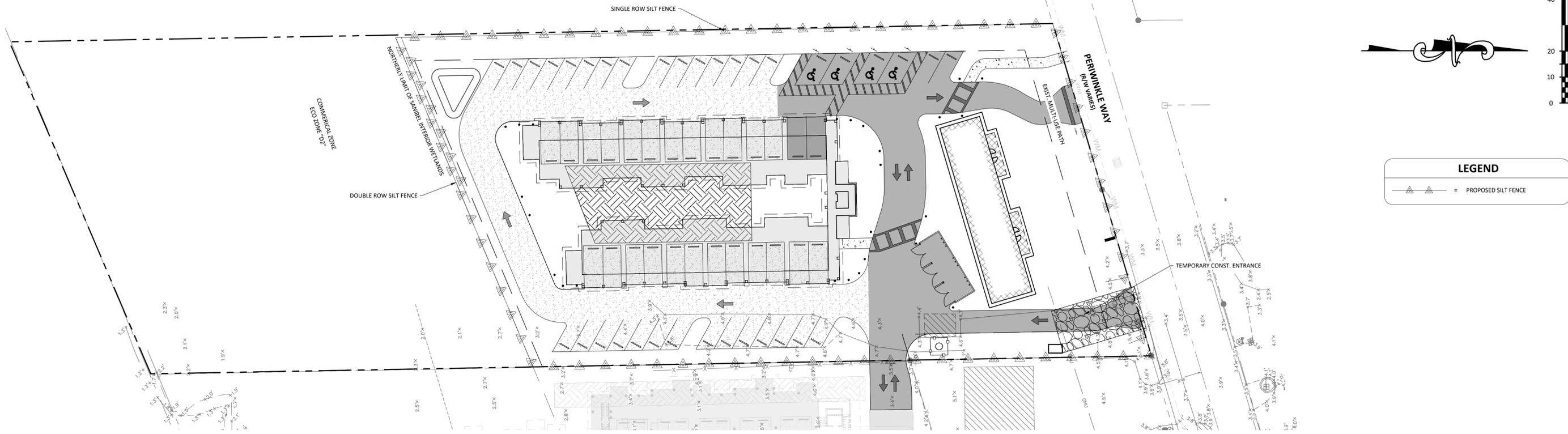
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PROJECT NO.:	301.2501366.000
DATE:	JANUARY 2026
SCALE:	NA
SHEET:	C7.3

Stephen C. Fehhaber, PE
 Florida P.E. No. 98609

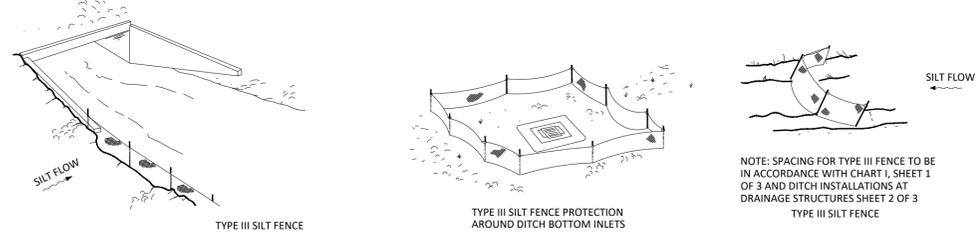
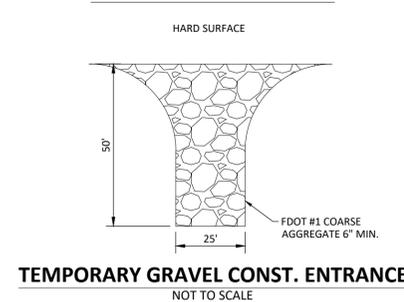
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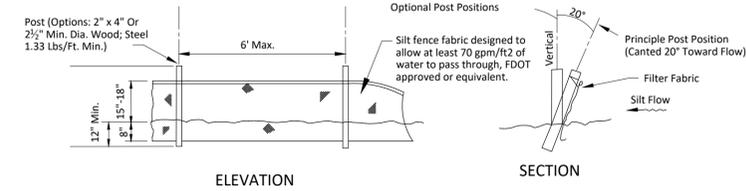


LEGEND

▲ ▲ = PROPOSED SILT FENCE



DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



SILT FENCE
(FOR INFORMATIONAL PURPOSES ONLY)
NOT TO SCALE

NO.	REVISIONS	DATE	APPROVED BY	SCF

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OWNER / DEVELOPER:
COMMUNITY HOUSING AND RESOURCES, INC.
 2340 PERIWKLE WAY, SUITE K-2
 SANIBEL, FL 33957

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CONSTRUCTION PLAN FOR
RIVerview II AT 1523 PERIWKLE WAY
 CITY OF SANIBEL, LEE COUNTY, FLORIDA

EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO.: 301.2501366.000
 DATE: JANUARY 2026
 SCALE: 1" = 20'
 SHEET: C4.0

Stephen C. Fehhaber, PE
 Florida P.E. No. 98609

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1 FIRST FLOOR NOTED PLAN (SECOND & THIRD FLOORS SIMILAR)
 SCALE: 1/8" = 1'-0"



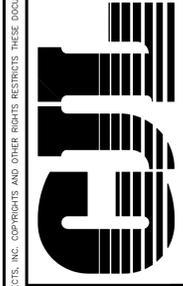
INITIAL CONCEPT : January 26, 2026

Architect's Seal

Riverview Apartments
 1523 Periwinkle Way
 Sanibel, Florida 33957

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CHRISTOPHER J. LEE ARCHITECTS, INC.
 13180 North Cleveland Avenue, Suite 112
 North Fort Myers, Florida 33903
 (239) 482-4272 #AA0002585



Revisions

Preliminary
 1-26-2026

Job No. 22505-1

A1.0

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(239) 482-4272 #A.A.0002585

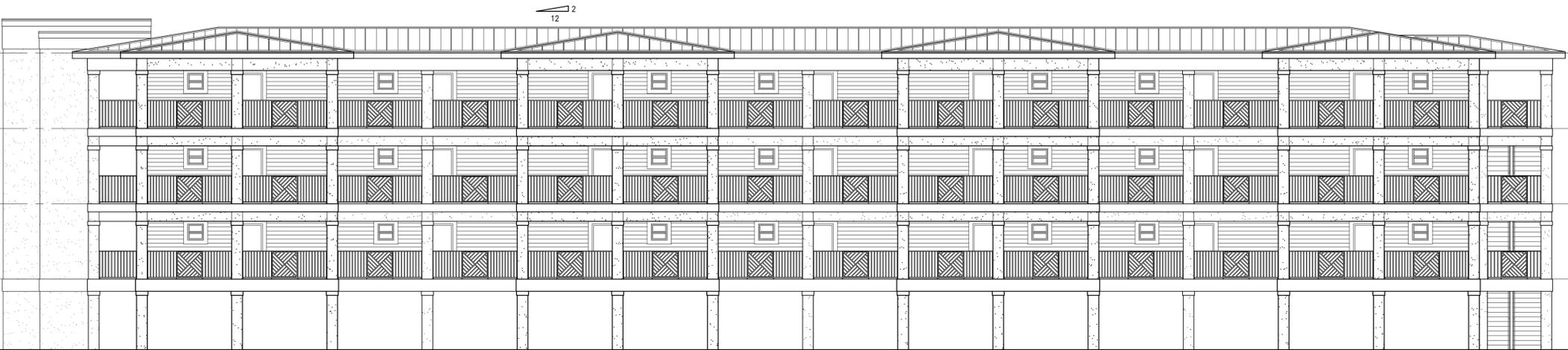


Revisions

Preliminary
1-26-2026

Job No. 22505

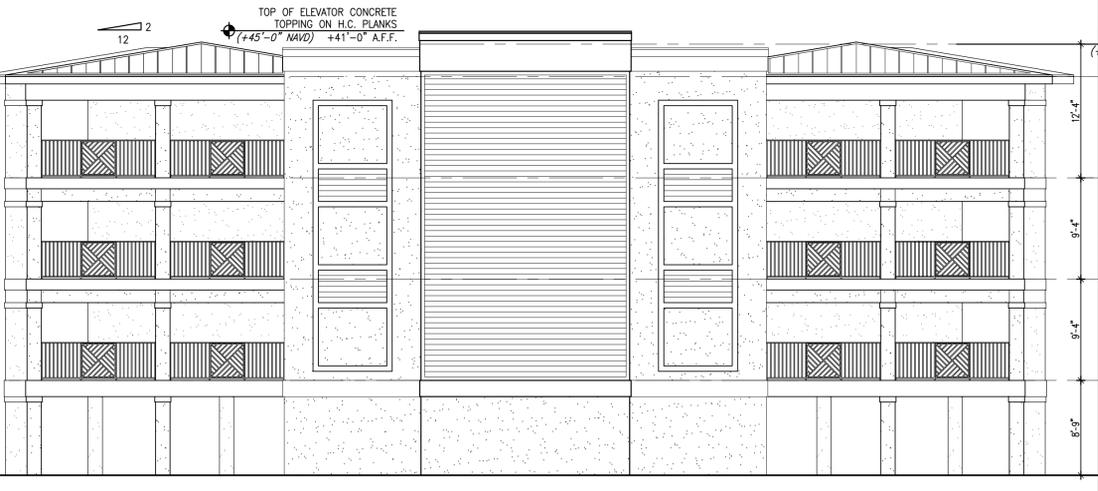
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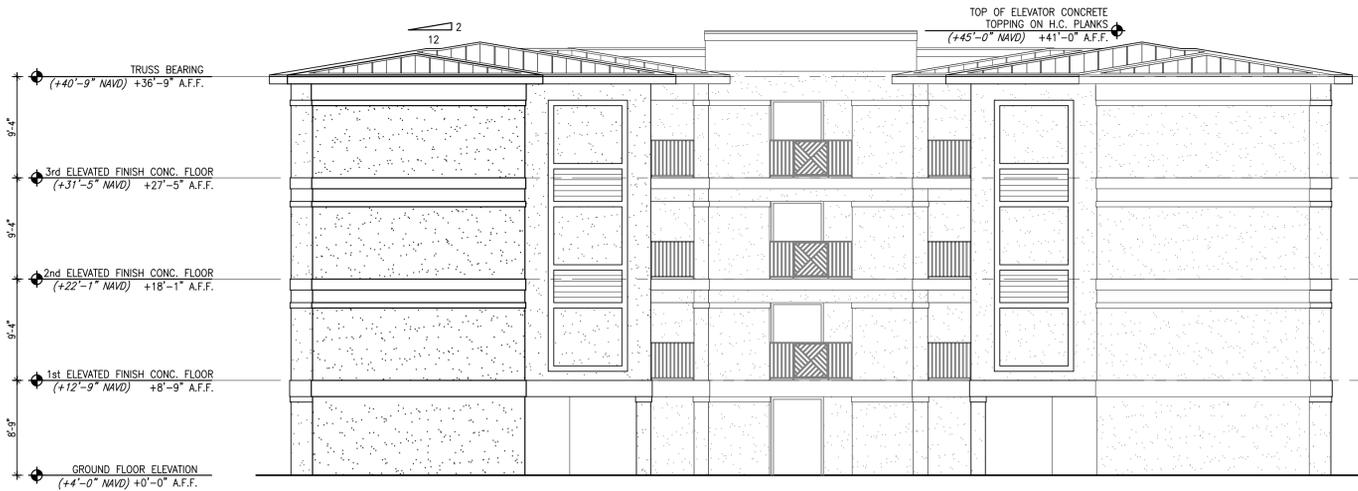
1 WEST ELEVATION WEST WING
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION FACING WEST WING THRU COURTYARD
SCALE: 1/8" = 1'-0"



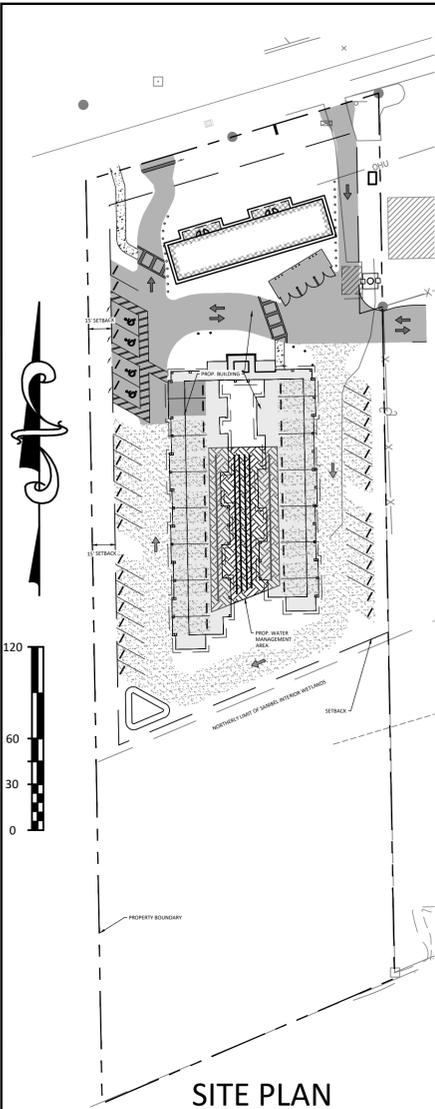
3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



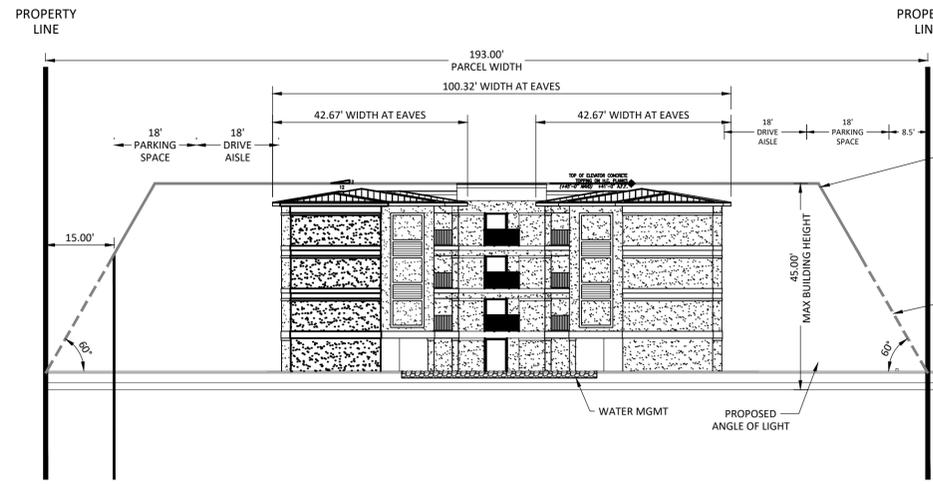
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

S:\Jobs\2025 Projects\22505 Riverview Apartments\A6.0.dwg, 1/29/2026 2:25:55 PM, Bluebeam PDF

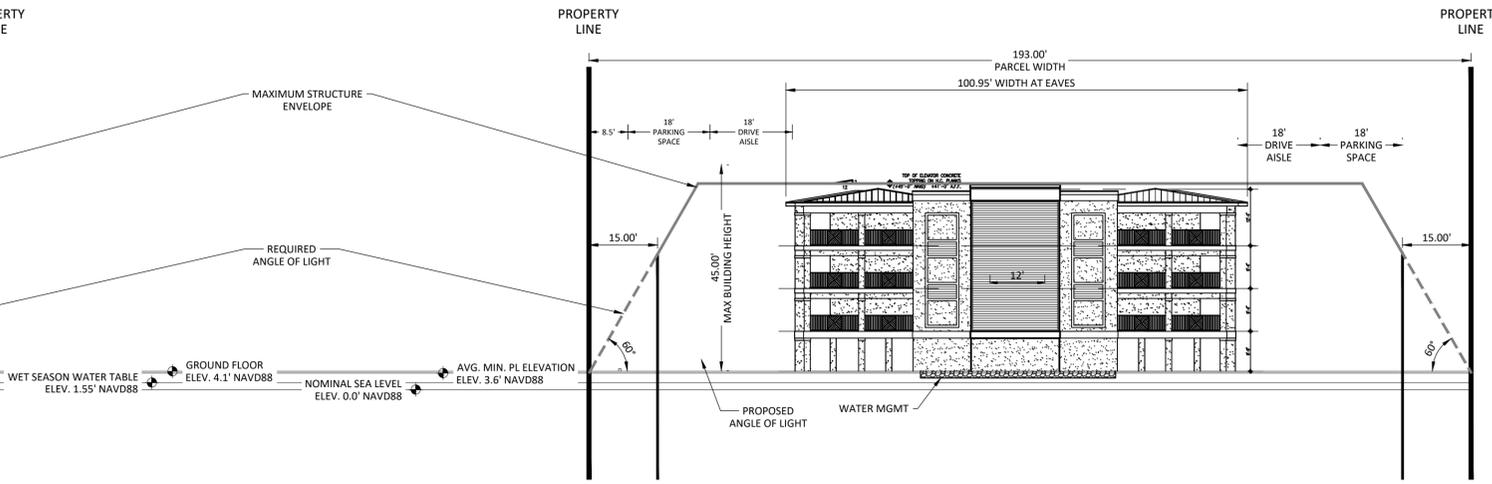
I:\Projects\25_30_12500789_000_Riverview_II_Housing_and_Urban_Development\06-CAD\Exhibits\Angle of Light_REV01.dwg Plotted: Jan 30, 2026 1:23pm by sfelhaber



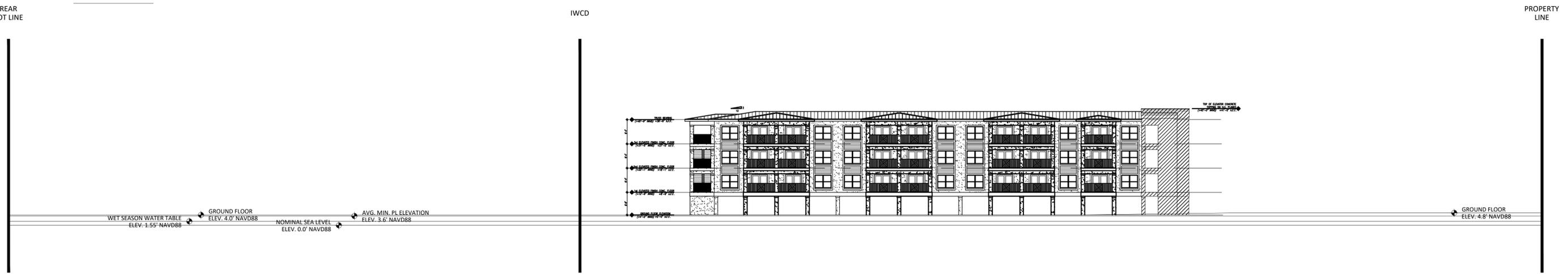
SITE PLAN



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

NO.	REVISIONS	DATE	APPROVED BY	SCF

OWNER / DEVELOPER:
COMMUNITY HOUSING AND RESOURCES, INC.
 2340 PERIWINKLE WAY, SUITE K-2
 SANIBEL, FL 33957

1715 Monroe Street, Suite 500 - Fort Myers, Florida 33901
 Phone: 239.206.5093 WWW.DRMP.COM

CONSTRUCTION PLAN FOR
RIVERVIEW II AT 1523 PERIWINKLE WAY
 CITY OF SANIBEL, LEE COUNTY, FLORIDA
 DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

ANGLE OF LIGHT EXHIBIT
 Stephen C. Felhaber, PE
 Florida P.E. No. 98609

PROJECT NO.:	301.2501366.000
DATE:	JANUARY 2026
SCALE:	1" = 20'
SHEET:	AOL-1

PERMIT SET

CITY OF SANIBEL
CHECKLIST OF CONFORMANCE TO SEC. 86-43
APPEARANCE OF STRUCTURES, SIZE & MASS OF STRUCTURES

PARCEL ADDRESS 1523/31 Periwinkle Way EXISTING NEIGHBORHOOD Gen Comm District

Two of the following items shall be submitted so that the Planning Department can better review the project's conformance to Sec. 86-43 of the Sanibel Code:

- Statement of conformance.** Describe the proposed architectural style and how the proposed development is compatible with the existing neighborhood aesthetics.
- Landscaping planting plan.** Show location and label all plant species by common names. Indicate how the proposed landscaping complies with the City's vegetation requirements.
- Color photographs** of typical development within the existing neighborhood.
- Building elevations depicting angle-of-light with adjacent properties.** Show the proposed development in context and to scale with other improvements in the general vicinity. At a minimum, the drawing must show the full height, scale, and articulation of each structure immediately adjacent to the property.
- Building materials and components list.** Complete Page 2 of this form.

Only If Requested

- Landscape elevation drawings at time of planting.** Superimpose landscape materials on the proposed building elevations showing how the plants will look at time of installation.
- Landscape elevation drawings at two-year growth.** Superimpose landscape materials on the proposed building elevations showing how the plants will look two years after installation.

CERTIFICATION

I hereby certify that the information contained in this application and the attachments hereto are true and correct to the best of my knowledge and belief.

Rachel L Bielert

Digitally signed by Rachel L Bielert
Date: 2026.01.09 12:37:24 -05'00'

1.9.26

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE

DATE

NOTE TO OWNER/APPLICANT: The proposed development may be subject to private deed restrictions or covenants. It is the applicant's responsibility to verify with the appropriate property owners association whether the proposed development complies with the applicable deed restrictions or covenants. The City does not enforce deed restrictions or act as an arbitrator between the applicant and the association.

BUILDING COMPONENTS AND MATERIALS LIST

FOUNDATION

(indicate materials)

- Pier
 - Continuous
 - Slab on grade
 - Other: _____
-

EXTERIOR WALL MATERIAL

(indicate type & size)

- Wood siding
 - Brick
 - Stucco
 - Shingles
 - Other: stucco to look like siding
-

TRIM

(indicate type, size, & material)

Will be designed to mimic siding like Riverview I with
stucco for better resiliency

WINDOWS

(indicate type and size)

- Casement
 - Double-hung
 - Fixed-pane
 - Glazing (describe)
 - Shutters
 - Awnings (indicate materials)
- Hurricane compliant windows, side rollers and sliders
and fixed at bathrooms
-

ROOF

(indicate type and material)

- Tile
 - Shingle
 - Metal
 - Built-up roof
 - Soffit
 - Other: stucco to look like siding
-

ISO

LANDSCAPE ELEMENTS

(indicate materials)

- Planters
 - Fences
 - Retaining walls
 - Other: stucco to look like siding
-

GARAGE DOORS

(indicate type)

DOORS

(indicate type and size)

- Panel
- French
- Screen
- Sliding

EXTERIOR PAINTING

(submit color sample)

MECHANICAL EQUIPMENT

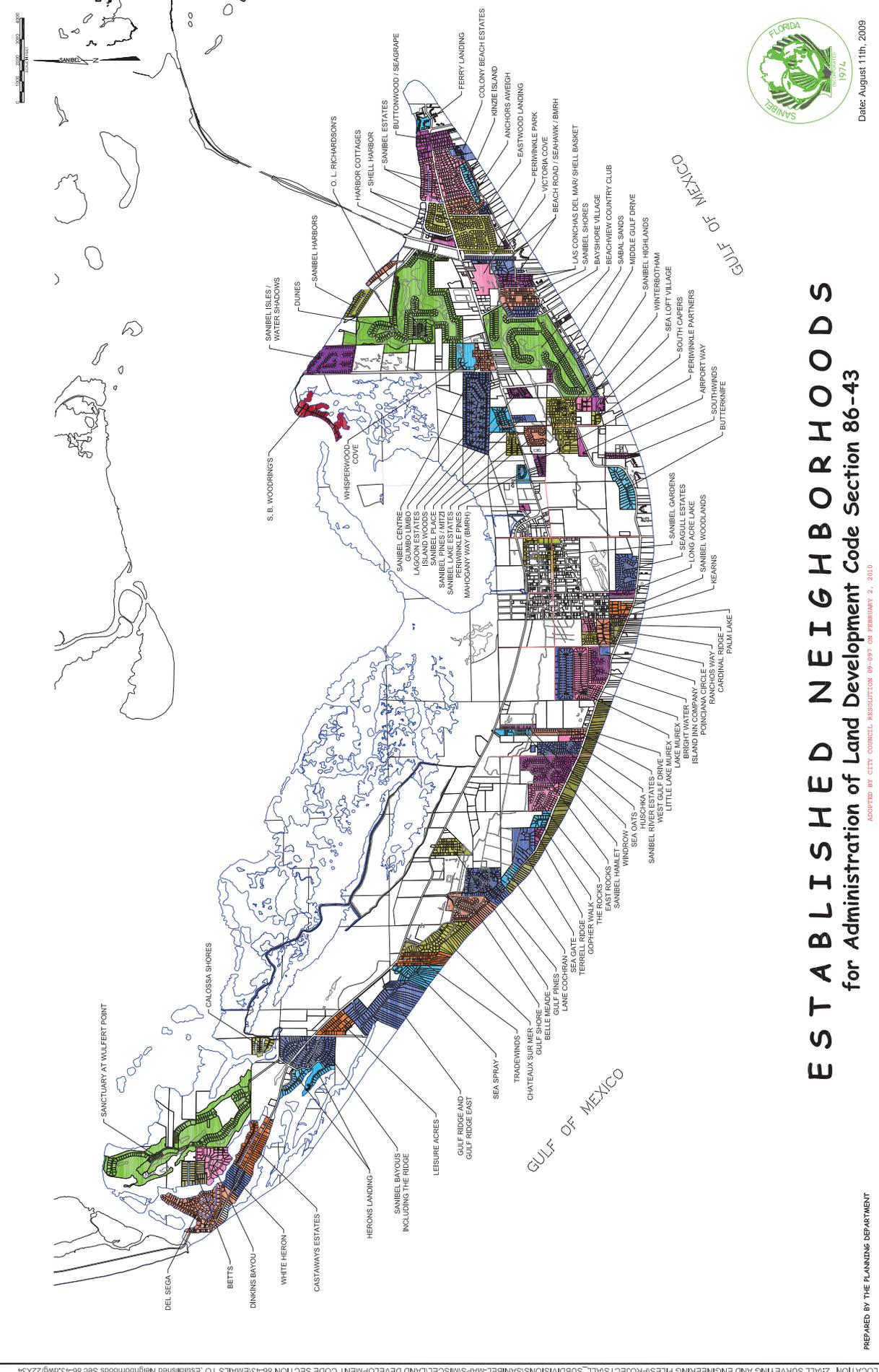
(indicate how screened)

- A/C on lanais like Riverview I
- Pool _____
- Generator _____

PORCH

(indicate materials)

- Columns/supports
 - Railings
 - Ceilings
 - Ornamentation
 - Other: stucco to look like siding
Alum screen enclosures
-



Date: August 11th, 2009

ESTABLISHED NEIGHBORHOODS

for Administration of Land Development Code Section 86-43

ADOPTED BY CITY COUNCIL RESOLUTION 09-097 ON FEBRUARY 2, 2010

PREPARED BY THE PLANNING DEPARTMENT

Due to the surrounding properties being commercial, the scale is relative to the site's use. The proximity in the main commercial corridor supports ease of access for optimizing positive impacts to both BMRH residents and businesses. Below are examples of other buildings within the corridor with below-structure parking directly along Periwinkle to show continuity of structure and design.





You'll note that the distance that the new Riverview II residential building will be from Periwinkle, with adequate landscaping buffering as is intended in the design, ensures consistency with other similar structures throughout the corridor.

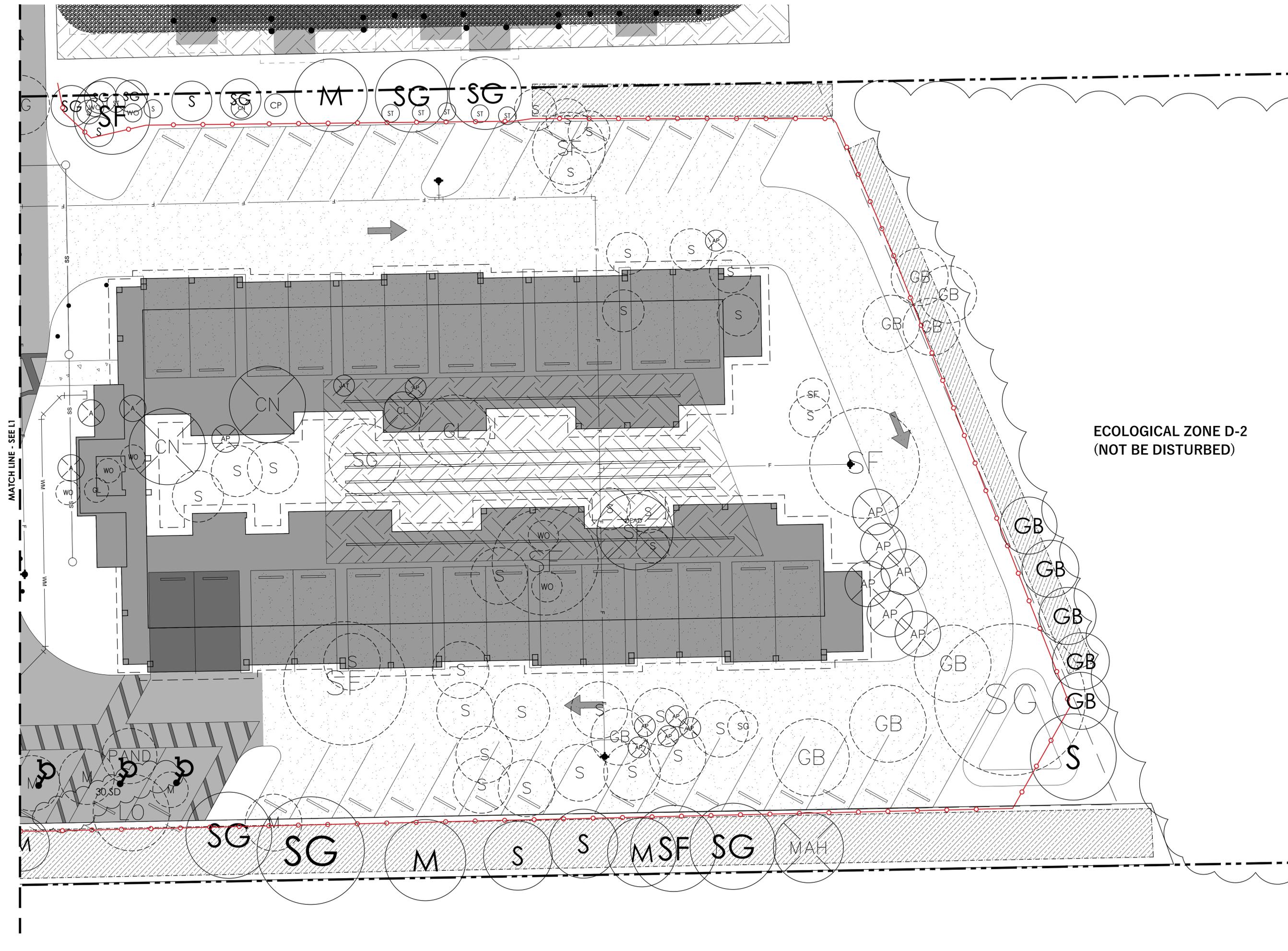
The photo below of the former Fish House Restaurant can give some perspective if one notes that the distance to the power pole behind the restaurant building is less than half the distance to where the proposed residential structure is designed to be located, reducing the impact of the size from the road much like that of Trader's.



RIVERVIEW PROPERTY

1523 & 1531 PERIWINKLE WAY,
SANIBEL, FLORIDA

EXISTING VEGETATION PLAN PAGE 2



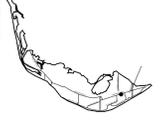
**ECOLOGICAL ZONE D-2
(NOT BE DISTURBED)**

MATCH LINE - SEE L1

DEP DRAWINGS SCHEDULE

- L1 EXISTING VEGETATION PLAN PAGE 1
- L2 EXISTING VEGETATION PLAN PAGE 2
- L3 BUFFER CALCULATIONS
- L4 BUFFER LANDSCAPE PLAN
- L5 INTERIOR LANDSCAPE PLAN
- L6 PLANTING DETAILS

VICINITY MAP



DESIGNED BY: RSW

DATE: 01/27/2026

SCALE: 1"=10'-0"

REVISIONS

REV 1.	11/26/2025
REV 2.	12/12/2025
REV 3.	12/16/2025
REV 4.	01/12/2026
REV 5.	01/27/2026
REV 6.	XX-XX-XX
REV 7.	XX-XX-XX
REV 8.	XX-XX-XX

L2

WESTERN BUFFER: 5399sf

1 LARGE TREE OR MEDIUM TREE PER 75 SQ.FT. OF THE REQUIRED BUFFER AREA, WITH A MINIMUM OF SIX (6) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. MINIMUM OF 75% OF TREES SHALL BE NATIVE SPECIES

5399 SF/75=72
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=61 REQUIRED LARGE OR MEDIUM TREES

EXISTING LARGE/MEDIUM TREES (12):

- 1 LIVE OAK
- 4 SEAGRAPE
- 4 MAHOGANY
- 2 SABAL PALMS
- 1 STRANGLER FIG

NEW LARGE OR MEDIUM TREES (49):

- (6) RELOCATED GREEN BUTTONWOOD
- (4) RELOCATED STRANGLER FIG
- (6) RELOCATED SEA GRAPE
- (4) RELOCATED GUMBO LIMBO
- (28) RELOCATED SABAL PALMS
- (4) RELOCATED MAHOGANY

TOTAL LARGE & MEDIUM TREES: 61 (100% NATIVE)

1 SMALL TREE OR MEDIUM SHRUB PER 30 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF FIVE (5) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. 25% OF REQUIRED PLANTS SHALL BE SMALL TREES.

5399 SF/30=180
25% SMALL TREES=45 SMALL TREES /135 MEDIUM SHRUBS
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=38 SMALL TREES/ 115 MEDIUM SHRUBS REQUIRED

EXISTING SMALL TREES (0):

NONE

EXISTING MEDIUM SHRUBS (1):

- 1 SILVER SAW PALMETTO

NEW SMALL TREES (38):

- (8) RELOCATED WILD OLIVE
- (6) RELOCATED MYRSINE
- (3) RELOCATED SIMPSON STOPPER
- (7) SILVER BUTTONWOOD 5-6'H
- (4) SWEET ACACIA 5-6'H
- (10) SPANISH STOPPER 5-6'H

NEW MEDIUM SHRUBS (115):

- (1) RELOCATED SILVER SAW PALMETTO
- (3) RELOCATED COCOPLUM
- (34) GREEN SAW PALMETTO 3GAL
- (39) JAMAICAN CAPER 3GAL
- (37) COCOPLUM 3GAL

TOTAL SMALL TREES: 38 (100% NATIVE)
TOTAL MEDIUM SHRUBS: 115 (100% NATIVE)

1 SMALL SHRUB OR GROUNDCOVER PER 25 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF THREE (3) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED.

5399 SF/25=216
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=184 SMALL SHRUBS/GROUNDCOVERS REQUIRED

EXISTING SMALL SHRUB/GROUNDCOVER (0):

NONE

NEW SMALL SHRUBS/GROUNDCOVERS(184):

- (63) GOLDEN CREEPER 1GAL
- (60) MUHLY GRASS 1GAL
- (60) SPIDER LILY 1GAL
- 1 RELOCATED WILD COFFEE

TOTAL SMALL SHRUBS/GROUNDCOVERS: 184 (100% NATIVE)

EASTERN BUFFER: 1752sf

1 LARGE TREE OR MEDIUM TREE PER 75 SQ.FT. OF THE REQUIRED BUFFER AREA, WITH A MINIMUM OF SIX (6) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. MINIMUM OF 75% OF TREES SHALL BE NATIVE SPECIES

1752 SF/75=23
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=20 REQUIRED LARGE OR MEDIUM TREES

EXISTING LARGE/MEDIUM TREES (19):

- 2 LIVE OAK
- 4 GUMBO LIMBO
- 2 SEAGRAPE
- 2 MAHOGANY
- 8 SABAL PALMS
- 1 GREEN BUTTONWOOD

NEW LARGE OR MEDIUM TREES (1):

- 1 RELOCATED SABAL PALM

TOTAL LARGE & MEDIUM TREES: 20 (100% NATIVE)

1 SMALL TREE OR MEDIUM SHRUB PER 30 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF FIVE (5) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. 25% OF REQUIRED PLANTS SHALL BE SMALL TREES.

1752 SF/30=58
25% SMALL TREES=15 SMALL TREES /43 MEDIUM SHRUBS
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=13 SMALL TREES/ 37 MEDIUM SHRUBS REQUIRED

EXISTING SMALL TREES (5):

- 2 SIMPSON STOPPER
- 3 WILD OLIVE

EXISTING MEDIUM SHRUBS (0):

NONE

NEW SMALL TREES (8):

- (4) MARLBERRY 5-6'H
- (4) MYRSINE 5-6'H

NEW MEDIUM SHRUBS (37):

- (13) GREEN SAW PALMETTO 3GAL
- (10) JAMAICAN CAPER 3GAL
- (14) COCOPLUM 3GAL

TOTAL SMALL TREES: 13 (100% NATIVE)
TOTAL MEDIUM SHRUBS: 37 (100% NATIVE)

1 SMALL SHRUB OR GROUNDCOVER PER 25 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF THREE (3) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED.

1752 SF/25=70
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=60 SMALL SHRUBS/GROUNDCOVERS REQUIRED

EXISTING SMALL SHRUB/GROUNDCOVER (9):

- 9 FAKAHATCHEE GRASS

NEW SMALL SHRUBS/GROUNDCOVERS(51):

- (17) WILD COFFEE 3GAL
- (17) FAKAHATCHEE GRASS 1GAL
- (17) SPIDER LILY 1GAL

TOTAL SMALL SHRUBS/GROUNDCOVERS: 60 (100% NATIVE)

NORTHERN (PERIWINKLE) BUFFER: 3288sf

1 LARGE TREE OR MEDIUM TREE PER 75 SQ.FT. OF THE REQUIRED BUFFER AREA, WITH A MINIMUM OF SIX (6) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. MINIMUM OF 75% OF TREES SHALL BE NATIVE SPECIES

3288 SF/75=44
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=37 REQUIRED LARGE OR MEDIUM TREES

EXISTING LARGE/MEDIUM TREES (19):

- 7 LIVE OAK
- 2 GUMBO LIMBO
- 3 SEAGRAPE
- 3 MAHOGANY
- 4 SABAL PALMS

NEW LARGE OR MEDIUM TREES (18):

- (3) PIGEON PLUM 10-12'H
- (5) GREEN BUTTONWOOD 10-12'H
- (5)GUMBO LIMBO 10-12'H
- (5) RELOCATED SABAL PALMS

TOTAL LARGE & MEDIUM TREES: 37 (100% NATIVE)

1 SMALL TREE OR MEDIUM SHRUB PER 30 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF FIVE (5) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. 25% OF REQUIRED PLANTS SHALL BE SMALL TREES.

3288 SF/30=110
25% SMALL TREES=28 SMALL TREES /82 MEDIUM SHRUBS
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=24 SMALL TREES/ 70 MEDIUM SHRUBS REQUIRED

EXISTING SMALL TREES (11):

- 6 SIMPSON STOPPER
- 5 WILD OLIVE

EXISTING MEDIUM SHRUBS (11):

- 8 COCOPLUM
- 3 SILVER SAW PALMETTO

NEW SMALL TREES (13):

- (6) SILVER BUTTONWOOD 5-6'H
- (7) SWEET ACACIA 5-6'H

NEW MEDIUM SHRUBS (59):

- (40) GREEN SAW PALMETTO 3GAL
- (19) NECKLACE POD 3GAL

TOTAL SMALL TREES: 24 (100% NATIVE)
TOTAL MEDIUM SHRUBS: 70 (100% NATIVE)

1 SMALL SHRUB OR GROUNDCOVER PER 25 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF THREE (3) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED.

3288 SF/25=132
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=112 SMALL SHRUBS/GROUNDCOVERS REQUIRED

EXISTING SMALL SHRUB/GROUNDCOVER (42):

- 42 FAKAHATCHEE GRASS

NEW SMALL SHRUBS/GROUNDCOVERS(70):

- (30) GOLDEN CREEPER 1GAL
- (20) MUHLY GRASS 1GAL
- (20) SPIDER LILY 1GAL

TOTAL SMALL SHRUBS/GROUNDCOVERS: 112 (100% NATIVE)



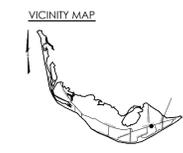
RIVERVIEW PROPERTY

1523 & 1531 PERIWINKLE WAY,
SANIBEL, FLORIDA

BUFFER CALCULATIONS

DEP DRAWINGS SCHEDULE

- L1 EXISTING VEGETATION PLAN PAGE 1
- L2 EXISTING VEGETATION PLAN PAGE 2
- L3 BUFFER CALCULATIONS
- L4 BUFFER LANDSCAPE PLAN
- L5 INTERIOR LANDSCAPE PLAN
- L6 PLANTING DETAILS



DESIGNED BY: RSW
DATE: 01/27/2026
SCALE: NO SCALE

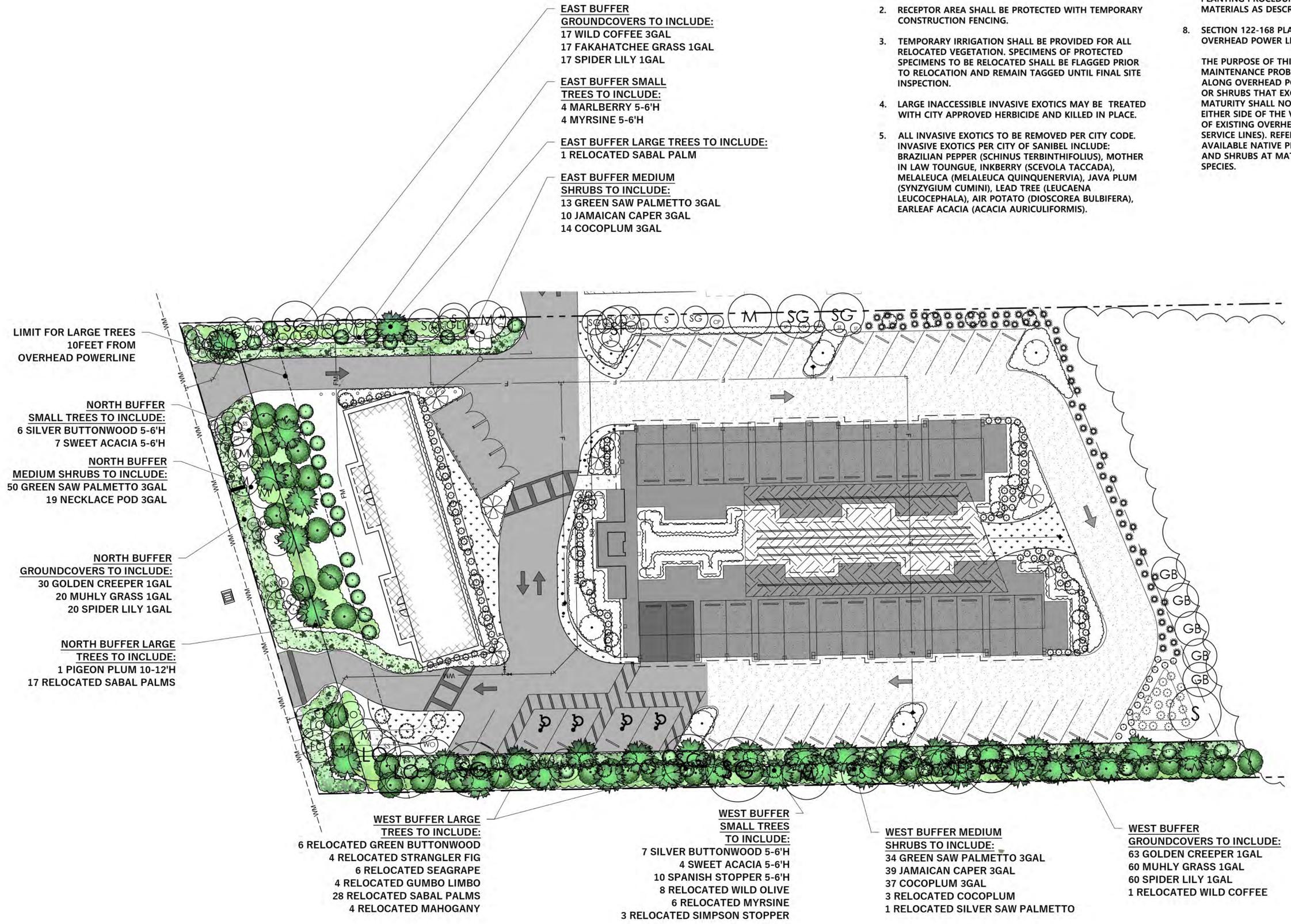
REVISIONS	
REV 1.	11/26/2025
REV 2.	12/12/2025
REV 3.	12/16/2025
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REV 6.	XX-XX-XX
REV 7.	XX-XX-XX
REV 8.	XX-XX-XX

SITE PLAN NOTES:

- ALL EXISTING SPECIMENS OF PROTECTED SPECIES WILL REMAIN IN PLACE OR BE RELOCATED ON SITE IN DESIGNATED RECEPTOR AREAS AND RELOCATED TO BUFFERS.
- RECEPTOR AREA SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCING.
- TEMPORARY IRRIGATION SHALL BE PROVIDED FOR ALL RELOCATED VEGETATION. SPECIMENS OF PROTECTED SPECIMENS TO BE RELOCATED SHALL BE FLAGGED PRIOR TO RELOCATION AND REMAIN TAGGED UNTIL FINAL SITE INSPECTION.
- LARGE INACCESSIBLE INVASIVE EXOTICS MAY BE TREATED WITH CITY APPROVED HERBICIDE AND KILLED IN PLACE.
- ALL INVASIVE EXOTICS TO BE REMOVED PER CITY CODE. INVASIVE EXOTICS PER CITY OF SANIBEL INCLUDE: BRAZILIAN PEPPER (SCHINUS TERBINTHIFOLIUS), MOTHER IN LAW TONGUE, INKBERRY (SCEVOLA TACCADA), MELALEUCA (MELALEUCA QUINQUENERVIA), JAVA PLUM (SYNZYGIUM CUMINI), LEAD TREE (LEUCAENA LEUCOCEPHALA), AIR POTATO (DIOSCOREA BULBIFERA), EARLEAF ACACIA (ACACIA AURICULIFORMIS).

- FINAL VEGETATION COUNTS TO BE DETERMINED FOLLOWING EXOTIC REMOVAL. FINAL PLAN SHALL BE MINIMUM 75% NATIVE/25% NON-INVASIVE EXOTIC.
- ALL VEGETATION SHALL BE INSTALLED IN A SOUND WORKMANLIKE MANNER AND ACCORDING TO GOOD PLANTING PROCEDURES, WITH THE QUALITY OF PLANT MATERIALS AS DESCRIBED IN THE CITY OF SANIBEL NOTES.
- SECTION 122-168 PLANTING LIMITATIONS UNDER OVERHEAD POWER LINES.

THE PURPOSE OF THIS SECTION IS TO REDUCE MAINTENANCE PROBLEMS DUE TO VEGETATIVE GROWTH ALONG OVERHEAD POWER LINES WITHIN THE CITY. TREES OR SHRUBS THAT EXCEED 20 FEET IN HEIGHT AT MATURITY SHALL NOT BE PLANTED WITHIN TEN FEET EITHER SIDE OF THE VERTICAL PLANE OF THE CENTERLINE OF EXISTING OVERHEAD POWER LINES (NOT INCLUDING SERVICE LINES). REFER TO THE CITY'S HORTICULTURALLY AVAILABLE NATIVE PLANT LIST FOR HEIGHTS OF TREES AND SHRUBS AT MATURITY TO DETERMINE SUITABLE SPECIES.



EAST BUFFER GROUNDCOVERS TO INCLUDE:
17 WILD COFFEE 3GAL
17 FAKAHATCHEE GRASS 1GAL
17 SPIDER LILY 1GAL

EAST BUFFER SMALL TREES TO INCLUDE:
4 MARLBERRY 5-6'H
4 MYRSINE 5-6'H

EAST BUFFER LARGE TREES TO INCLUDE:
1 RELOCATED SABAL PALM

EAST BUFFER MEDIUM SHRUBS TO INCLUDE:
13 GREEN SAW PALMETTO 3GAL
10 JAMAICAN CAPER 3GAL
14 COCOPLUM 3GAL

LIMIT FOR LARGE TREES
10 FEET FROM
OVERHEAD POWERLINE

NORTH BUFFER SMALL TREES TO INCLUDE:
6 SILVER BUTTONWOOD 5-6'H
7 SWEET ACACIA 5-6'H

NORTH BUFFER MEDIUM SHRUBS TO INCLUDE:
50 GREEN SAW PALMETTO 3GAL
19 NECKLACE POD 3GAL

NORTH BUFFER GROUNDCOVERS TO INCLUDE:
30 GOLDEN CREEPER 1GAL
20 MUHLY GRASS 1GAL
20 SPIDER LILY 1GAL

NORTH BUFFER LARGE TREES TO INCLUDE:
1 PIGEON PLUM 10-12'H
17 RELOCATED SABAL PALMS

WEST BUFFER LARGE TREES TO INCLUDE:
6 RELOCATED GREEN BUTTONWOOD
4 RELOCATED STRANGLER FIG
6 RELOCATED SEAGRAPE
4 RELOCATED GUMBO LIMBO
28 RELOCATED SABAL PALMS
4 RELOCATED MAHOGANY

WEST BUFFER SMALL TREES TO INCLUDE:
7 SILVER BUTTONWOOD 5-6'H
4 SWEET ACACIA 5-6'H
10 SPANISH STOPPER 5-6'H
8 RELOCATED WILD OLIVE
6 RELOCATED MYRSINE
3 RELOCATED SIMPSON STOPPER

WEST BUFFER MEDIUM SHRUBS TO INCLUDE:
34 GREEN SAW PALMETTO 3GAL
39 JAMAICAN CAPER 3GAL
37 COCOPLUM 3GAL
3 RELOCATED COCOPLUM
1 RELOCATED SILVER SAW PALMETTO

WEST BUFFER GROUNDCOVERS TO INCLUDE:
63 GOLDEN CREEPER 1GAL
60 MUHLY GRASS 1GAL
60 SPIDER LILY 1GAL
1 RELOCATED WILD COFFEE

DEP DRAWINGS SCHEDULE

- L1 EXISTING VEGETATION PLAN PAGE 1
- L2 EXISTING VEGETATION PLAN PAGE 2
- L3 BUFFER CALCULATIONS
- L4 BUFFER LANDSCAPE PLAN
- L5 INTERIOR LANDSCAPE PLAN
- L6 PLANTING DETAILS

VICINITY MAP



DESIGNED BY: RSW

DATE: 01/27/2026

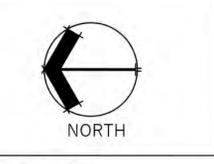
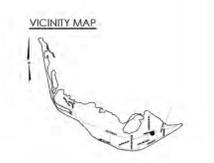
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REVISIONS

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REV 7.	XX-XX-XX	
REV 8.	XX-XX-XX	

DEP DRAWINGS SCHEDULE

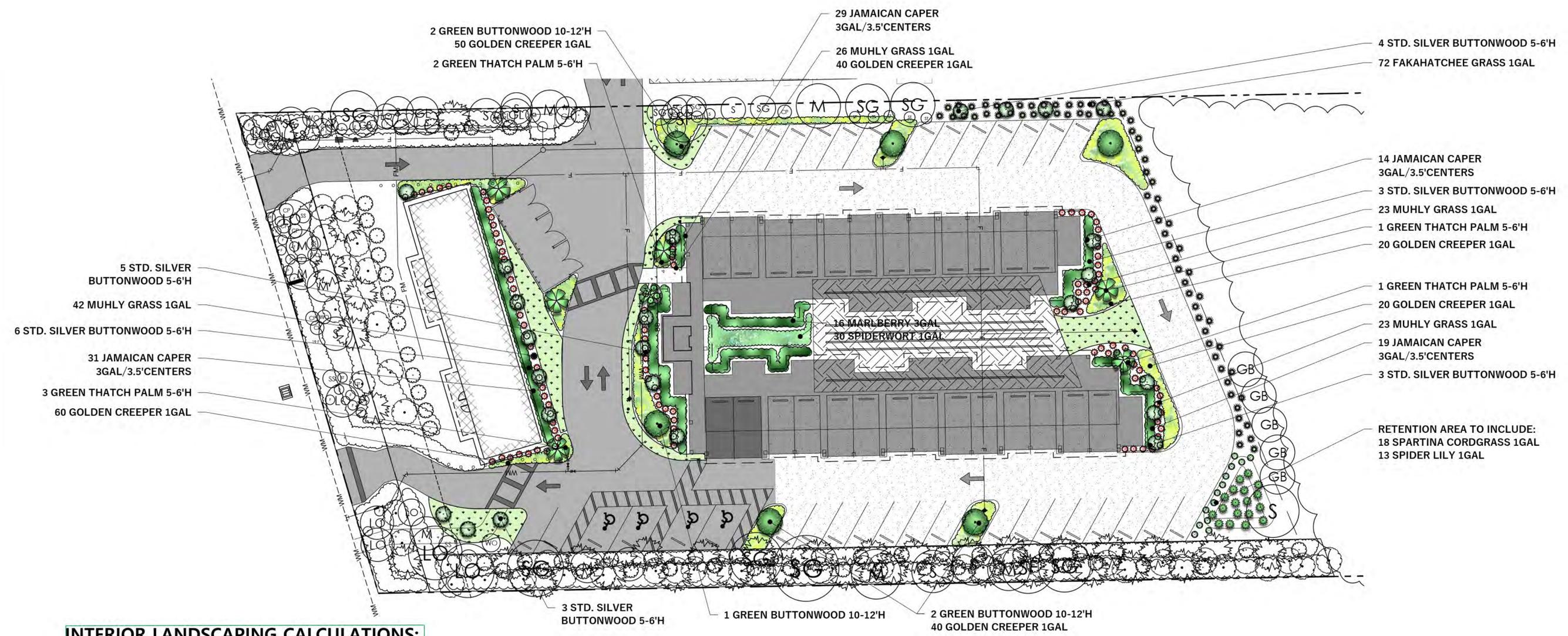
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DESIGNED BY: RSW
DATE: 01/12/2026
SCALE: 1"=20'-0"

REVISIONS

REV 1.	12/12/2025
REV 2.	12/16/2025
REV 3.	01/12/2026
REV 4.	XX-XX-XX
REV 5.	XX-XX-XX
REV 6.	XX-XX-XX
REV 7.	XX-XX-XX
REV 8.	XX-XX-XX



INTERIOR LANDSCAPING CALCULATIONS:

OFF STREET PARKING AREAS SHALL HAVE AT LEAST 20SF OF INTERIOR LANDSCAPING FOR EACH PARKING SPACE

PARKING SPACES=61
61 (PARKING SPACE) X 20SF = 1220 SF OF INTERIOR LANDSCAPING NEEDED

EACH 200SF OF LANDSCAPED AREA SHALL HAVE AT LEAST ONE TALL OR MEDIUM TREE, FIVE SMALL TREES AND EIGHT SMALL SHRUBS OR GROUNDCOVER PLANTS AT LEAST 75 PERCENT OF WHICH ARE NATIVE PLANTS LOW GRASSES SUCH AS ST.AUGUSTINE, BAHIA, BERMUDA, AND ZOYSIA GRASSES AND OTHER EXOTIC GRASSES AND VINES SHALL NOT BE USED (SANIBEL MUNI-CODE, SECTION 126-1405)

TALL OR MEDIUM TREE REQUIREMENTS:(100% NATIVE PROPOSED)
NEEDED: 6 TALL OR MEDIUM TREES
6 STD. GREEN BUTTONWOOD 10-12'H
6 TALL OR MEDIUM TREES PROVIDED

SMALL TREE REQUIREMENTS: (100% NATIVE PROPOSED)
NEEDED: 31 SMALL TREES
24 STD. SILVER BUTTONWOOD 5-6'H
7 GREEN THATCH PALM 5-6'H
31 SMALL TREES PROVIDED

SMALL SHRUBS OR GROUNDCOVERS: (100% NATIVE PROPOSED)
NEEDED: 49 SMALL SHRUBS OR GROUNDCOVERS
180 GOLDEN CREEPER 1GAL
88 MUHLY GRASS 1GAL
93 JAMAICAN CAPER 3GAL
13 SPIDER LILY 1GAL
18 SPARTINA CORDGRASS 1GAL
16 MARLBERRY 3GAL
30 SPIDERWORT 1GAL
438 SMALL SHRUBS OR GROUNDCOVERS PROVIDED

SITE PLAN NOTES:

- ALL EXISTING SPECIMENS OF PROTECTED SPECIES WILL REMAIN IN PLACE OR BE RELOCATED ON SITE IN DESIGNATED RECEPTOR AREAS AND RELOCATED TO BUFFERS.
- RECEPTOR AREA SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCING.
- TEMPORARY IRRIGATION SHALL BE PROVIDED FOR ALL RELOCATED VEGETATION. SPECIMENS OF PROTECTED SPECIMENS TO BE RELOCATED SHALL BE FLAGGED PRIOR TO RELOCATION AND REMAIN TAGGED UNTIL FINAL SITE INSPECTION.
- LARGE INACCESSIBLE INVASIVE EXOTICS MAY BE TREATED WITH CITY APPROVED HERBICIDE AND KILLED IN PLACE.
- ALL INVASIVE EXOTICS TO BE REMOVED PER CITY CODE. INVASIVE EXOTICS PER CITY OF SANIBEL INCLUDE: BRAZILIAN PEPPER (SCHINUS TERBINTHIFOLIUS), MOTHER IN LAW TONGUE, INKBERRY (SCEVOLA TACCADA), MELALEUCA (MELALEUCA QUINQUENERVIA), JAVA PLUM (SYNZYGIUM CUMINI), LEAD TREE (LEUCAENA LEUCOCEPHALA), AIR POTATO (DIOSCOREA BULBIFERA), EARLEAF ACACIA (ACACIA AURICULIFORMIS).

- FINAL VEGETATION COUNTS TO BE DETERMINED FOLLOWING EXOTIC REMOVAL. FINAL PLAN SHALL BE MINIMUM 75% NATIVE/25% NON-INVASIVE EXOTIC.
 - ALL VEGETATION SHALL BE INSTALLED IN A SOUND WORKMANLIKE MANNER AND ACCORDING TO GOOD PLANTING PROCEDURES, WITH THE QUALITY OF PLANT MATERIALS AS DESCRIBED IN THE CITY OF SANIBEL NOTES.
 - SECTION 122-168 PLANTING LIMITATIONS UNDER OVERHEAD POWER LINES.
- THE PURPOSE OF THIS SECTION IS TO REDUCE MAINTENANCE PROBLEMS DUE TO VEGETATIVE GROWTH ALONG OVERHEAD POWER LINES WITHIN THE CITY. TREES OR SHRUBS THAT EXCEED 20 FEET IN HEIGHT AT MATURITY SHALL NOT BE PLANTED WITHIN TEN FEET EITHER SIDE OF THE VERTICAL PLANE OF THE CENTERLINE OF EXISTING OVERHEAD POWER LINES(NOT INCLUDING SERVICE LINES). REFER TO THE CITY'S HORTICULTURALLY AVAILABLE NATIVE PLANT LIST FOR HEIGHTS OF TREES AND SHRUBS AT MATURITY TO DETERMINE SUITABLE SPECIES.

SOD CALCULATIONS:

TOTAL LOT SQUARE FOOTAGE ACCORDING TO LEEPA: 112,546sf
TOTAL SOD ALLOWED: 4,000SF
TOTAL SOD PROPOSED: 1,497SF

LANDSCAPE DETAILS and MINIMUM STANDARDS:



PART 1 - GENERAL

1.1 **SCOPE**
 A. Furnish all labor, materials, supplies, equipment, tools, and transportation, and perform all operations in connection with and reasonably incidental for a complete installation of the planting. Guarantee/Warranty all plantings as identified on the drawings and specified herein. Landscape work includes:
 1. Site Preparation for Planting: including removal of existing plant material.
 2. Planting of Trees, Shrubs, Groundcover, Bedding Plants, Specialty Plantings
 3. Soil testing, amendments and topsoil placement
 4. Fertilizers, herbicides and pesticides
 5. Miscellaneous items such as mulch, staking and tying, and edging.
 Related Sections: Other work included in the construction related to this section include:
 1. Irrigation - Section 02813
 2. Lawns - Section 02910
 3. Grounds Maintenance Services - Section 02920

1.2 **GENERAL CONDITIONS**
 A. All scaled dimensions are approximate. Check and verify all site dimension and receive Owner's approval prior to proceeding with the work under this section.
 B. Coordinate installation of all plant materials to avoid interference with other construction.
 C. Keep the premises clean and free of excess equipment, materials and debris incidental to the work.
 D. Protect work and work of others at all times in the performance of the work.
 E. Carefully note all finish grades before commencing work. Restore any finish grade changed during course of the work to its original or intended grade.

1.3 **SUBMITTALS**
 A. If the project includes Conditions of the Contract and Division 1 Specifications, submit all documents in accordance with their requirements.
 B. Provide a photograph of each species and specific form of tree or shrub in the planting legend. Each photo shall be in color with a scaled object next to the plant. Label each photograph with the following: Botanical Name, Common Name, Size, Nursery Name, Cost. Submit all photographs to the landscape architect for review and approval a minimum of two (2) weeks prior to beginning of landscape work.
 C. Product literature with certified analysis (if appropriate) for the following: Soil amendments, pesticides, herbicides, growth stimulators, etc.
 D. Firm Qualifications including: Name and Address of Company, Years of Operation, Owner Name, Project Manager Name, Job Supervisor Name, List of five (5) projects of similar size completed within last two (2) years with owner contact information.
 E. Testing reports from qualified independent testing agency (State Extension Service Accepted) for the following: Existing Soils, Import topsoil. Planting Soils. Soils analysis shall indicate percentages of percentages of organic matter, inorganic matter (sand, silt, clay), pH, mineral and plant nutrient including micro-nutrient content.

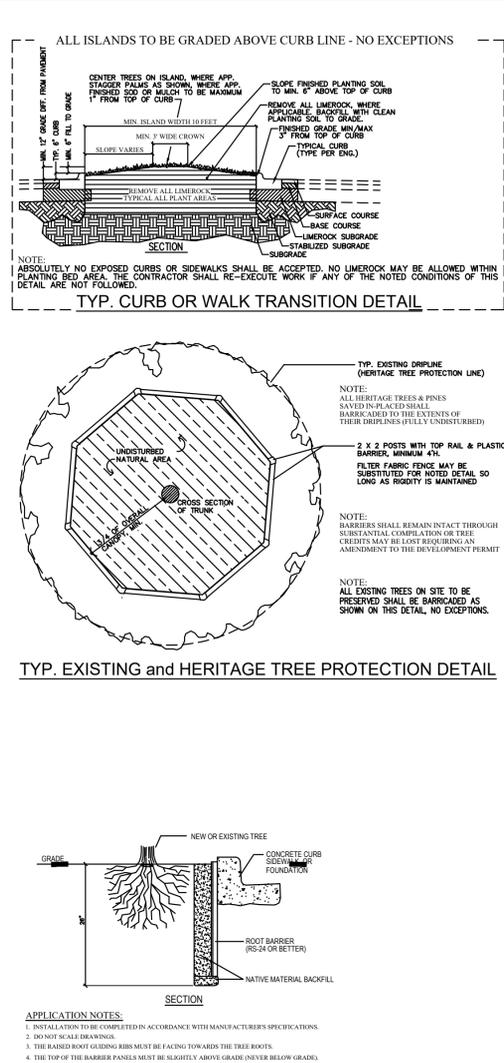
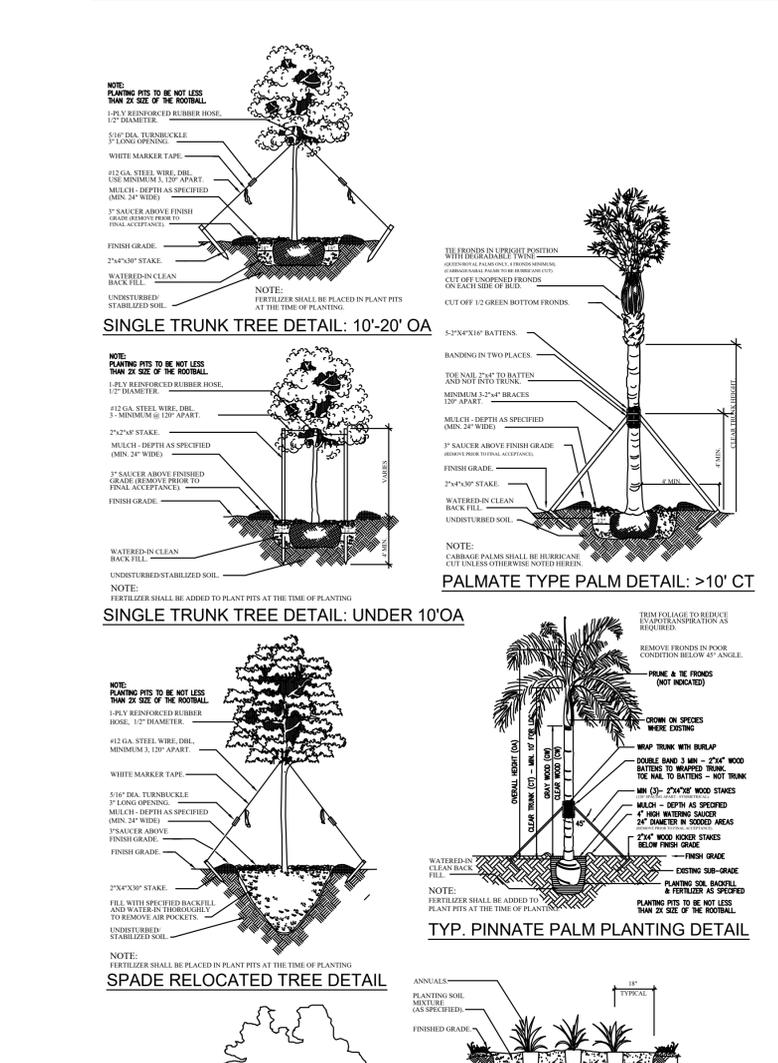
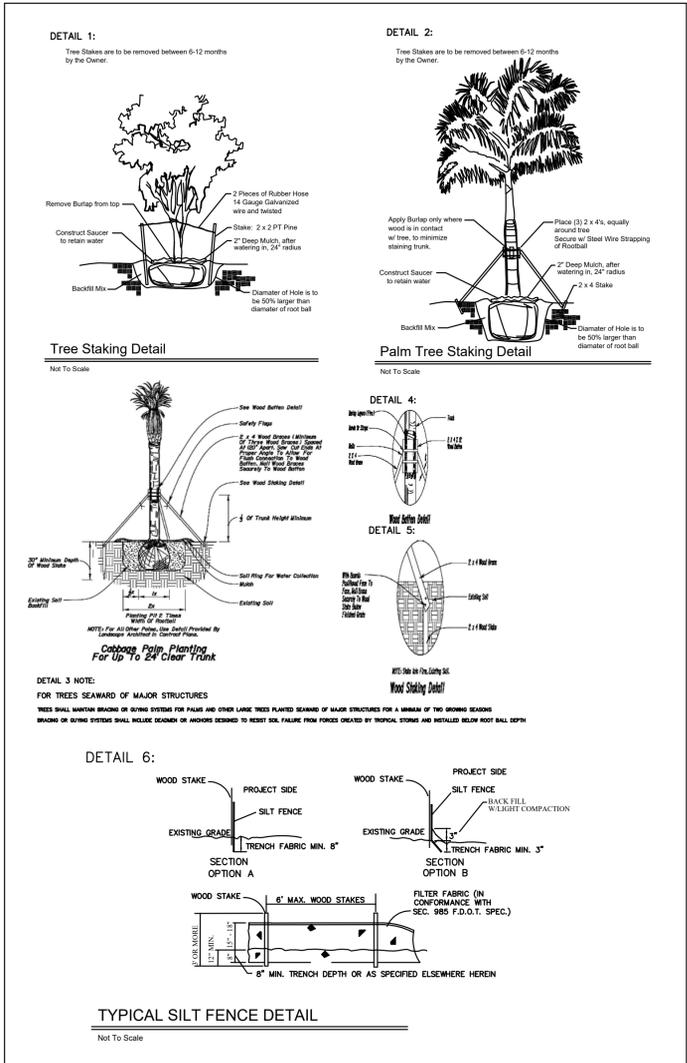
1.4 **QUALITY ASSURANCE**
 A. Provide quality, size, genus, species and variety of trees and shrubs as indicated on the plans and complying with applicable requirements of ANSI Z60.1 "American Standard for Nursery Stock."
 B. Tree and Shrub material shall meet the minimum requirements of Florida No. 1 as specified by the latest edition of Florida Grades and Standards. Plants indicated as specimen shall meet the minimum requirements of Florida Fancy as specified by Florida Grades and Standards Part 1 and Part 2.
 C. Measurements: Measure trees and shrubs according to ANSI Z60.1 with branches and trunks or canes in their normal position. Do not prune without Landscape Architects approval. Take caliper measurements 6 inches above ground for trees up to 4 inch caliper and 12 inches above ground for larger trees. Measure main body of tree or shrub for height and spread, do not measure to tip of branching.

1.5 **DELIVERIES, STORAGE AND HANDLING**
 A. Packaged Materials: Deliver packaged materials in containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site. Storage of materials on site shall be maintained in a clean and orderly manner.
 B. Trees and Shrubs: Protect from sunscald, drying, sweating, whipping and other handling and tying damage. Do not bend or break branches in such a manner as to damage the natural shape or character of the plant. Provide protective cover during transport and at all times protect plants from wind damage. Do not drop trees or shrubs during delivery. Do not pick up trees from trunk. Any mishandling of plant material leading to damage of material shall be cause for rejection.
 C. Deliver plant material after preparations for planting have been completed. Install immediately. If planting is delayed more than six (6) hours after delivery, set plant material in shade, protect from weather and mechanical damage and protect roots from drying. Water to keep roots moist.

1.6 **PROJECT CONDITIONS**
 A. Utilities: Determine location of above grade and underground utilities and perform work in a manner, which will avoid damage. Contact SUNSHINE at 1-800-432-4770 at least 48 hours before digging.
 B. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, obstructions, or foul smelling soils, notify Landscape Architect prior to planting.

1.7 **COORDINATION AND SCHEDULING**
 A. Coordinate installation of planting materials with the construction of other trades on site. Contractor shall be responsible to insure proper watering of plant material until acceptance by the owner. Do not knowingly plant trees or shrubs in locations where other construction is planned requiring the removal of the plant.

1.8 **WARRANTY**
 A. Warranty on Trees, Palms or Specialty Plants for a period of 1 year from the date of owner acceptance against defects including death and unsatisfactory growth (plants with more than 25% dead or damaged structure shall be removed, and for defects resulting from installation techniques contrary to those identified in the contract documents or poor conditions or health of plant from the nursery. Warranty shall be irrespective of the landscape contractor's maintenance responsibilities.
 B. Warranty on Shrub, Groundcover, and Bedding Plants for a period of 3 months from the date of owner acceptance against defects including death or unsatisfactory growth including disease or pest infestation.
 C. Warranty period shall begin at the date of acceptance by the owner. A letter of acceptance will be provided following the satisfactory completion of all final punch list items.
 D. Rejected plants shall be immediately removed and replaced with a plant meeting the original specification.



PART 2 - PRODUCTS

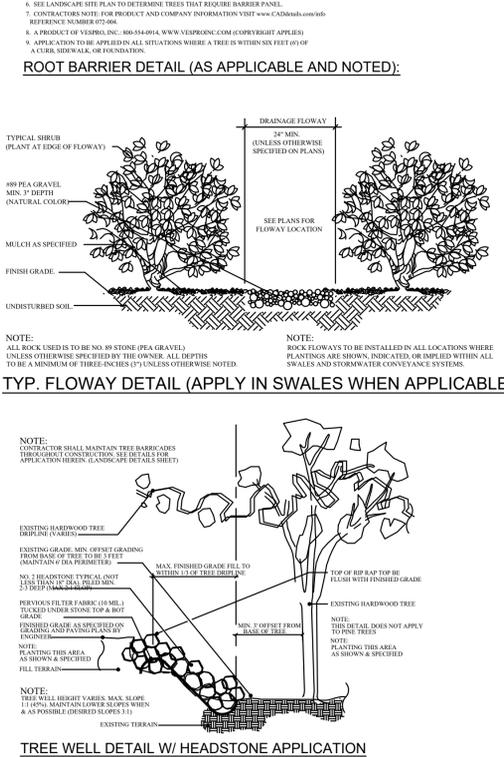
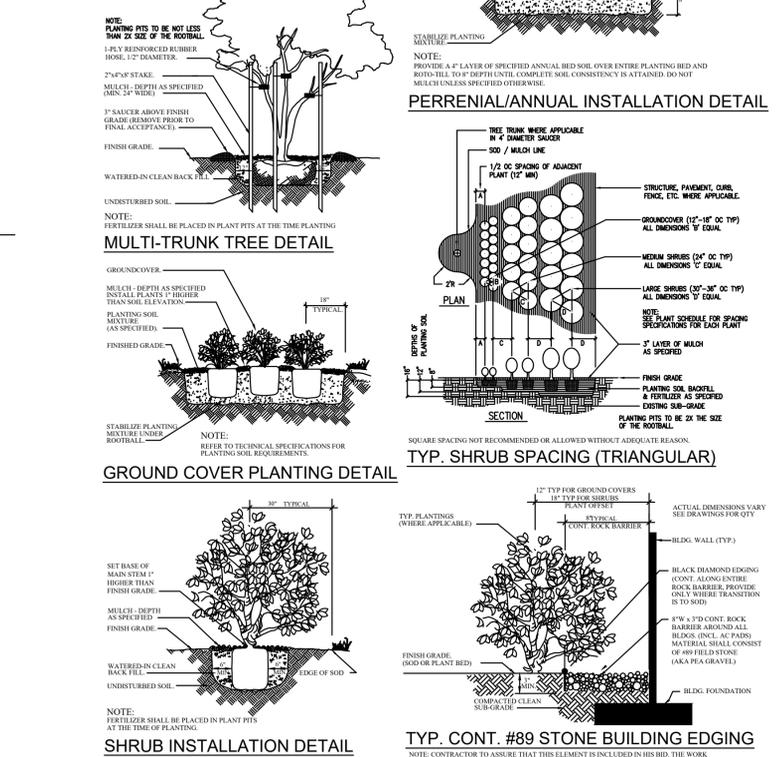
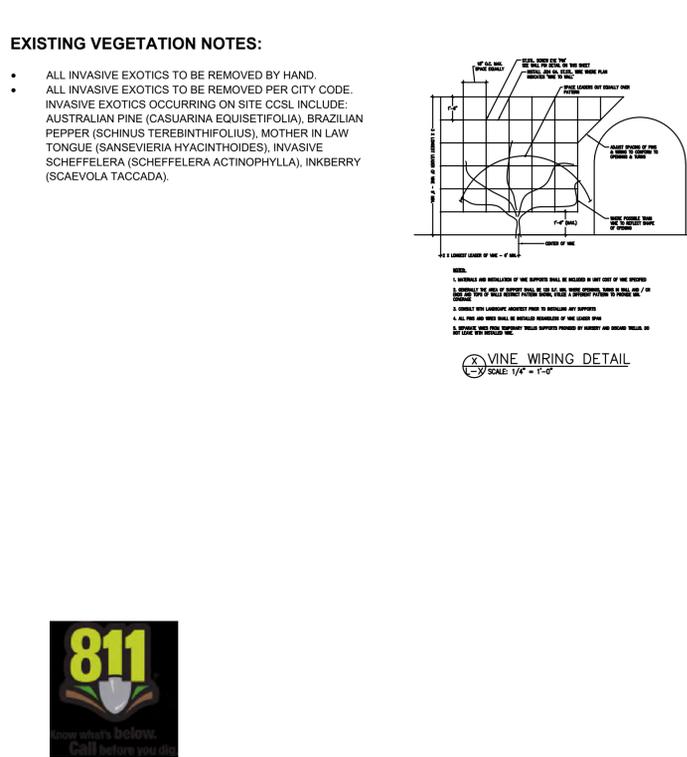
2.1 **TREE AND SHRUB MATERIAL**
 General: Furnish nursery-grown trees and shrubs conforming to ANSI Z60.1, with healthy root systems. Provide well-shaped, fully branched, healthy vigorous stock free of disease, insects, eggs, larvae and defects such as knots, sun scald, injuries, abrasions and displacement.
 A. Grade: Provide trees and shrubs in accordance with specifications identified and conforming to ANSI Z60.1 for type of trees and shrubs specified on the plan and noted in the plant list. Larger sizes shall be substituted for the sizes specified if approved by the landscape architect. Larger sizes shall have proportionate increase in size of root ball or container and be provided without increase in contract price.
 B. Label at least one (1) tree and one (1) shrub of each variety with a securely attached, waterproof label bearing the legible botanical and common name of the plant.
 C. All Shrub, Groundcover, Specialty and Bedding Plants shall be container grown meeting ANSI Z60.1 limitations for container stock.

2.2 **GROUNDCOVERS AND PLANTS**
 A. Provide groundcover and plants established and well rooted in removable containers with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size specified.

2.3 **TOPSOIL**
 A. Topsoil shall meet ASTM D 5260, having a pH range of 5.5 to 7.0, four percent (4%) organic material minimum, free of stones above 1/2" or larger in any dimension, roots, sticks, debris or any other extraneous material harmful to plant growth. Import topsoil shall be from naturally well-drained sites where topsoil occurs at least 4 inches deep. Do not obtain topsoil from bogs or marshes.

2.4 **SOIL AMENDMENTS**
 A. Lime: ASTM G02, class 1, agricultural limestone containing a minimum eighty percent (80%) calcium carbonate equivalent, with a minimum ninety-nine percent (99%) passing a No. 8 sieve and a minimum of seventy-five percent (75%) passing a No. 60 sieve.
 1. Provide lime in the form of dolomitic limestone.
 B. Aluminum Sulfate: Commercial grade, unadulterated.
 C. Sand: clean, washed, natural, free of toxic materials.
 D. Perlite: Horticultural perlite, soil amendment grade.
 E. Peat Humus: Finely divided or granular texture, with a pH range of 6 to 7.5, composed of partially decomposed peat moss (other than sphagnum), peat humus or peat-needle peat.
 F. Manure: Well-rotted, unleached stable or cattle manure containing not more than twenty-five percent (25%) by volume of straw, sawdust or other bedding materials; free of toxic substances, stones, sticks, soil, weed seed and material harmful to plant growth.
 G. Compost: Native organic compost primarily composed of leaf litter with wood fines and grass clippings that are decomposed with a pH range of 6 to 7.5
 H. Herbicides: EPA registered and approved, of type recommended by manufacturer. Caution is the by-word in using any chemical herbicide. Carefully read (and follow) label directions not only for application but also for the plants on which the product may be used (ensure that the plant will not be harmed by application). The herbicide user will be held responsible for damage to neighboring properties resulting from improper use or drift. For serious weed problems consider commercial herbicide applicator.
 1. Apply pre-emergent Herbicide to all bed areas a minimum of two (2) weeks prior to planting.
 J. Water: Potable
 K. BioPlex 4-in-1 planting granules to be used for plant establishment of trees, shrubs, groundcovers, and plants. Available from BioPlex (800)441-3573.

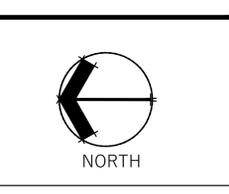
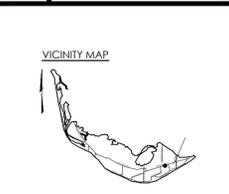
2.5 **FERTILIZER**
 A. Elemental: Commercial, raw, finely ground; minimum of four percent (4%) nitrogen and twenty percent (20%) phosphoric acid.
 B. Superphosphate: Commercial, phosphate mixture, soluble; minimum of twenty percent (20%) available phosphoric acid.
 C. Commercial Fertilizer: (Peters Professional). Commercial grade complete fertilizer of neutral character, consisting of fast and slow release nitrogen, fifty percent (50%) derived from natural organic sources of ureaform, phosphorus and potassium in the following composition: 1 lb. per 1000 S.O.F. of actual nitrogen, four percent (4%) phosphorus and two (2%) potassium, by weight. Provide in amounts as recommended by soils test.
 D. Slow-Release Fertilizer: (Osmocote). Granular fertilizer consisting of fifty percent (50%) water-soluble nitrogen, phosphorus and potassium in the following composition: ten percent (10%) nitrogen, ten percent (10%) phosphorus and ten percent (10%) potassium by weight.



RIVERVIEW PROPERTY
 1523 & 1531 PERIWINKLE WAY
 SANIBEL, FLORIDA
 PLANTING DETAILS

DEP DRAWINGS SCHEDULE

L1	EXISTING VEGETATION PLAN PAGE 1
L2	EXISTING VEGETATION PLAN PAGE 2
L3	BUFFER CALCULATIONS
L4	BUFFER LANDSCAPE PLAN
L5	INTERIOR LANDSCAPE PLAN
L6	PLANTING DETAILS



DESIGNED BY: RSW
 DATE: 01/27/2026
 SCALE: no scale

REVISIONS

REV 1.	11/26/2025
REV 2.	12/12/2025
REV 3.	12/16/2025
REV 4.	01/12/2026
REV 5.	01/27/2026
REV 6.	XX-XX-XX
REV 7.	XX-XX-XX
REV 8.	XX-XX-XX

L.6



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