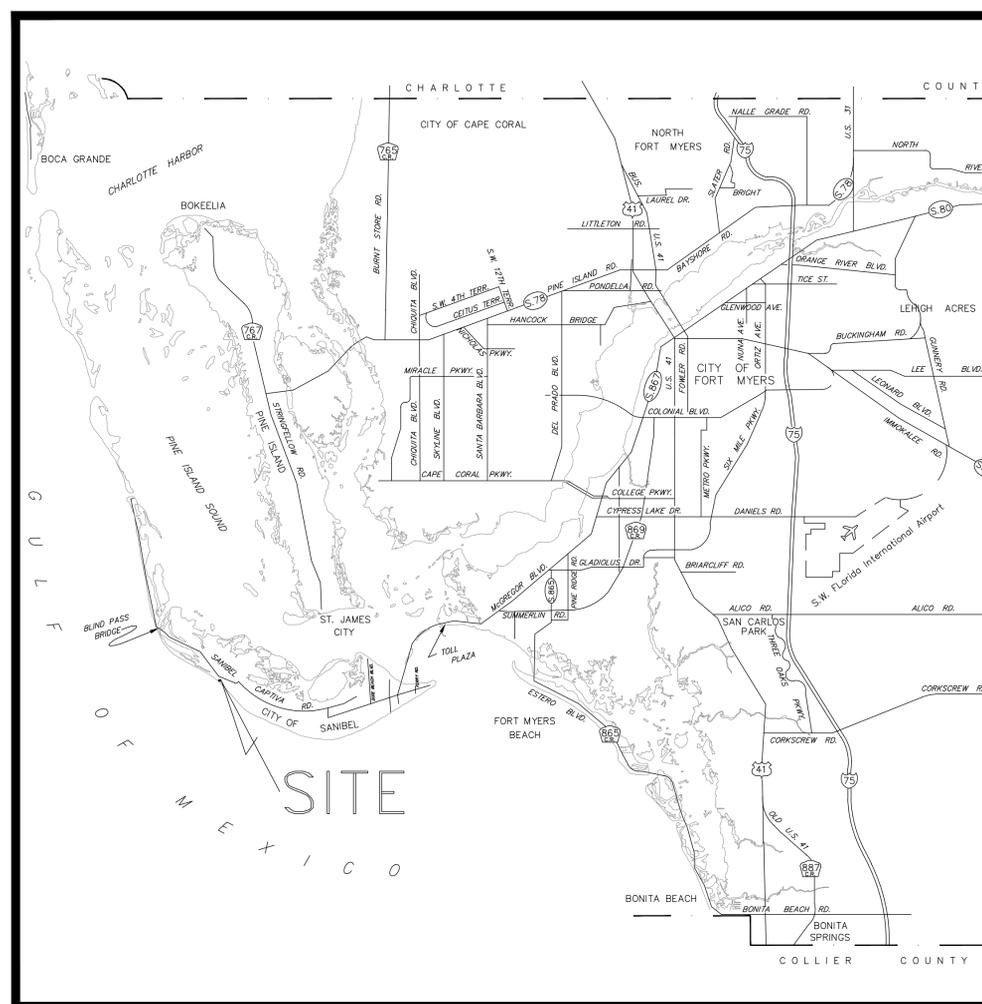


SITE CONSTRUCTION PLANS FOR 1305 SEASPRAY LANE SANIBEL, FLORIDA SECTION 19, TOWNSHIP 46S, RANGE 22E

PLAN INDEX

- COVER
- BOUNDARY & TOPOGRAPHIC SURVEY
- AERIAL LOCATION MAP
- SITE ENGINEERING PLAN
- DETAILS AND CROSS SECTIONS
- STORMWATER POLLUTION PREVENTION PLAN
- STORMWATER POLLUTION PREVENTION DETAILS

- 1
- 2
- 3
- 4
- 5
- 6
- 7



LOCATION SKETCH
N.T.S.

OWNER/DEVELOPER

**WILLIAM J & SUNYOUNG P
COVALESKI**

28 Walnut Band Road
Glenmoore, Pennsylvania 19343
Phone: (239) 851-1357 (Agent)

CIVIL ENGINEER



1520 Royal Palm Square Boulevard, Suite 100
Fort Myers, FL 33919
Phone: (239) 433-4231
Email: dean@tdmconsulting.com
www.tdmcivilengineering.com
Certificate of Authorization # 29086

DEAN MARTIN
FLORIDA P.E. #52022

This Item has been digitally signed and sealed by
Dean Martin on the date adjacent to the seal. Printed
copies of this document are not considered signed
and sealed and the signature must be verified on any
electronic copies.

BOUNDARY & TOPOGRAPHIC SURVEY SUBMITTED SEPARATELY

SHEET #	2 of 7	NOT VALID WITHOUT EMBOSSED SEAL, SIGNATURE, AND DATE.	 <p style="font-size: 0.8em;">1520 Royal Palm Square Boulevard, Suite 100 Fort Myers, FL 33919 Phone: (239) 433-4231 Cert. of Authorization # 23086</p>	<p style="font-size: 0.8em;">Civil Engineering and Planning</p>  <p style="font-size: 0.8em;">dean@tdmconsulting.com www.tdmcivilengineering.com</p>	<p style="font-size: 0.8em;">1305 SEASPRAY LANE</p> <p style="font-size: 1.2em; font-weight: bold;">BOUNDARY & TOPOGRAPHIC SURVEY</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">DATE</th> <th style="width: 10%;">REVISIONS</th> </tr> <tr> <td style="text-align: center;">DATE</td> <td></td> </tr> <tr> <td style="text-align: center;">DESIGNED BY:</td> <td></td> </tr> <tr> <td style="text-align: center;">PEM</td> <td></td> </tr> <tr> <td style="text-align: center;">DRAWN BY:</td> <td></td> </tr> <tr> <td style="text-align: center;">PEM</td> <td></td> </tr> <tr> <td style="text-align: center;">CHECKED BY:</td> <td></td> </tr> <tr> <td style="text-align: center;">TDM</td> <td></td> </tr> <tr> <td style="text-align: center;">APPROVED BY:</td> <td></td> </tr> <tr> <td style="text-align: center;">TDM</td> <td></td> </tr> </table>	DATE	REVISIONS	DATE		DESIGNED BY:		PEM		DRAWN BY:		PEM		CHECKED BY:		TDM		APPROVED BY:		TDM	
DATE	REVISIONS																									
DATE																										
DESIGNED BY:																										
PEM																										
DRAWN BY:																										
PEM																										
CHECKED BY:																										
TDM																										
APPROVED BY:																										
TDM																										
			DRAWING NAME: 1305 Seaspray Lane		TDM																					

Dean Martin, P.E.
Florida #521022

This seal has been digitally signed and sealed by Dean Martin on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed for electronic copies.

SCALE: N.T.S.

STREET ADDRESSES

1305 SEASPRAY LANE
SANIBEL, FL 33957

STRAP NUMBER:

19-46-22-T1-00300.0180

DEVELOPMENT SITE AREAS

MAJORITY (88%) OF THE SITE LIES WITHIN ECOLOGICAL ZONE "D-2" AND THE REMAINDER (12%) WITHIN ECOLOGICAL ZONE "E-1", WHICH BOTH ALLOW FOR AN IMPERVIOUS COVERAGE AREA OF 25% AND A DEVELOPED COVERAGE AREA OF 30% OF THE TOTAL PARCEL AREA.

PROPOSED COVERAGE CALCULATIONS

TOTAL SQUARE FOOTAGE OF PARCEL = 23,565 SF
= 0.54 ACRES
AREA IN ECOLOGICAL ZONE D-2 = 20,776 SF
AREA IN ECOLOGICAL ZONE E-1 = 2,789 SF
APPROX. WETLAND BOUNDARY AREA = 3,472 SF
TOTAL DEVELOPABLE AREA = 20,093 SF

TOTAL IMPERVIOUS ALLOWED = 5023.0 SF
TOTAL IMPERVIOUS USED = 4191.3 SF
IMPERVIOUS AREA REMAINDER = 831.7 SF
TOTAL DEVELOPED AREA ALLOWED = 6028.0 SF
TOTAL DEVELOPED USED = 5653.2 SF
DEVELOPED AREA REMAINDER = 374.8 SF

PROPOSED IMPERVIOUS AREA:
RESIDENCE & STAIRS = 2650.0 SF
LANAI AND POOL DECK = 1530.0 SF
50% OF PERVIOUS BRICKS = 11.3 SF
TOTAL IMPERVIOUS = 4191.3 SF

PROPOSED DEVELOPED AREA:
IMPERVIOUS AREA = 4191.3 SF
REMAINING 50% OF PERVIOUS BRICKS = 11.3 SF
GRAVEL/SHELL DRIVEWAY = 1187.2 SF
TOTAL DEVELOPED AREA = 5389.8 SF

PROJECT INFORMATION

CURRENT ZONING = RESIDENTIAL - NON-RESORT SINGLE FAMILY
FUTURE LAND USE = ECOLOGICAL ZONE "D-2" - UPLAND WETLAND
PROPOSED USE = RESIDENTIAL - NON-RESORT SINGLE FAMILY
EXIST. FLORIDA LAND = 1110 - FIXED SINGLE FAMILY UNITS
USE CLASSIFICATIONS
EXIST. SOIL TYPES = #4 - CANAVERAL-URBAN LAND COMPLEX (88.56%)
= #5 - CAPTIVA FINE SAND (11.44%)

ZONING/ACTUAL USE

PROJECT SITE = RESIDENTIAL - NON-RESORT SINGLE FAMILY
NORTH = RESIDENTIAL - NON-RESORT SINGLE FAMILY
SOUTH = RESIDENTIAL - NON-RESORT SINGLE FAMILY
EAST = RESIDENTIAL - NON-RESORT SINGLE FAMILY
WEST = RESIDENTIAL - NON-RESORT SINGLE FAMILY

FLOOD ZONE

PARCEL IS LOCATED MAINLY IN FLOOD ZONE "A10-EL11", WITH A BASE FLOOD ELEVATION OF 12.0' (NGVD29). THIS INFORMATION WAS TAKEN FROM FLOOD INSURANCE RATE MAP 12071C 0509 F, EFFECTIVE DATE 8-28-08.

THE CONVERSION FACTOR FROM NGVD TO NAVD USED IS "-1.18'".

NOTES

- 1. ALL EXISTING AND PROPOSED GRADES ARE N.A.V.D. OF 1988.
- 2. THIS PARCEL LIES IN FLOOD ZONE "VE-EL12 (NGVD29)".
- 3. THIS PROJECT PRESENTS NO ADVERSE IMPACTS ON LOCAL GROUND OR SURFACE WATERS.
- 4. THIS PROJECT DOES NOT ADVERSELY IMPACT THE FLOOD PLAIN OR ANY RIVERINE AREAS.
- 5. THIS SITE CAN BE USED SAFELY FOR THE DEVELOPMENT AS SHOWN WITHOUT UNDUE DANGER FROM FLOOD OR ADVERSE SOIL AND/OR FOUNDATION CONDITIONS.
- 6. THIS SITE DOES NOT EXHIBIT ANY "SALT WATER PONDING".
- 7. THE DEVELOPMENT OF THIS PROPERTY AS SHOWN WILL NOT HAVE ANY ADVERSE HYDROLOGICAL EFFECT ON ADJACENT PROPERTIES THROUGH THE DESIGN STORM EVENT.

SITE AREA BREAKDOWN

IMPERVIOUS AREA CALCULATIONS

ALLOWABLE IMPERVIOUS AREA: (IN ECO ZONE D-2 = 25% OF PARCEL AREA)
(25% X 20,093 SF) = 5,023 SF ALLOWED

TOTAL IMPERVIOUS AREA PROPOSED = [4,180 SF + 11.3 SF]
= 4,191.3 SF PROPOSED

(PROPOSED RESIDENCE, DECKS, STAIRS, POOL AND POOL DECK) +
50% OF PERVIOUS BRICK PADS

DEVELOPED AREA CALCULATIONS

ALLOWABLE DEVELOPED AREA: (IN ECO ZONE D-2 = 30% OF PARCEL AREA)
(30% X 20,093 SF) = 6,028 SF

TOTAL DEVELOPED AREA PROPOSED = 4,191.3 SF + 11.3 SF + 1,187.2 SF
= 5,389.8 SF

(PROPOSED RESIDENCE, DECKS, STAIRS, POOL AND POOL DECK) +
REMAINDER OF 50% OF PERVIOUS BRICK PADS + (SHELL, GRAVEL OR
PERVIOUS BRICK DRIVEWAY)

SITE AREA NOTES:

- 1. 0% OF THE PROPOSED SHELL/GRAVEL DRIVEWAY IS INCLUDED IN THE IMPERVIOUS SITE AREAS FOR DRAINAGE CALCULATIONS. HOWEVER, IT IS COUNTED AS DEVELOPED AREA FOR SITE AREA COMPLIANCE.
- 2. CERTIFICATION FROM A REGISTERED PROFESSIONAL THAT THE FILL MATERIAL MEETS THE SPECIFICATIONS/CRITERIA OF SUBSECTION 62B-33.005(7), F.A.C. IS REQUIRED.

DRAINAGE CALCULATIONS

CITY OF SANIBEL REQUIREMENTS
BASIN AREA (TOTAL BASIN AREA*) = 15,701 SF
AVERAGE DEVELOPED GRADE = +3.0' N.A.V.D.
W.S.W.T. = +1.21' NAVD (2.39' NGVD) (SANIBEL WELL DATA)
DEPTH TO WATER TABLE = 1.79'

AVAILABLE SOIL STORAGE, S
= 1.58" X (15,701 SF - 4,191 SF)/15,701 SF
= 1.155"
ACCUMULATED RAINFALL, P
= 2.8"

ACCUMULATED DIRECT RUNOFF, Q
= $\frac{[P - 0.2(S)]^2}{P + 0.8(S)}$
= $\frac{[2.8 - 0.2(1.155)]^2}{2.8 + 0.8(1.155)}$
= 1.772"

*BASIN AREA = TOTAL DEVELOPABLE AREA - AREA SOUTH OF OPEN BODY OF WATER AND EAST OF BERM
= 20,093 SF - 4,392 SF = 15,701 SF

TOTAL DETENTION/RETENTION REQUIRED:

TOTAL REQUIRED VOLUME
= 1.772" X 15,701 SF X 1 1/12"
TOTAL VOLUME REQUIRED = 2,319 CF
TOTAL DETENTION/RETENTION VOLUME PROVIDED
TOTAL VOLUME PROVIDED = 2,335 CF

TOTAL RETENTION PROVIDED:

ADDITIONAL VOLUME CONTAINED WITHIN BERM (@ +2.5')
(ALONG THE SIDES OF PROPOSED RESIDENCE)
= APPROX. 6,919 SF TOTAL PERVIOUS AREA
(2,420 SF AT AVG. NG @ ±2')
= $1/2 (6,919 SF - 2,420 SF) X 0.5$ + $[2,420 SF X 0.5]$
= 2,335 CF
TOTAL DETENTION/RETENTION VOLUME PROVIDED
= 1,125 CF + 1,210 CF
= 2,335 CF PROVIDED

NOTE: AVG. NATURAL GRADE BETWEEN PROPOSED RESIDENCE AND PROPOSED BERM TO REMAIN @ ±1.5-2.8' AREA (APPROX. 6,919 SF TOTAL PERVIOUS, OF WHICH APPROX. 2,420 SF IS AT NATURAL GRADE)

APPROX. 1,427 SF (TO REMAIN UNDISTURBED, AT NATURAL GRADE)

LEGEND

- EX. EXISTING
- R/W RIGHT-OF-WAY
- E.O.P. EDGE OF PAVEMENT
- CONC. CONCRETE
- TYP. TYPICAL
- PROP. PROPOSED
- SF SQUARE FEET
- LF LINEAR FEET
- E.O.P. EDGE OF PAVEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- LDC LAND DEVELOPMENT CODE
- N.T.S. NOT TO SCALE
- C.P. CONCRETE PAD
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- N.A.V.D. NORTH AMERICAN VERTICAL DATUM
- T.O.B. TOP OF BANK
- T.O.E. TOE OF SLOPE
- NG NATURAL GRADE
- +4.90' PROPOSED GRADE - SPOT
- EXISTING GRADE - SPOT
- PROPOSED SHELL OR GRAVEL
- INTENDED DIRECTION OF FLOW
- INVERT ELEVATION
- ELEVATION
- OHW OVERHEAD WIRE
- WOODEN POWER POLE
- UTILITY RISER

1" = 20'

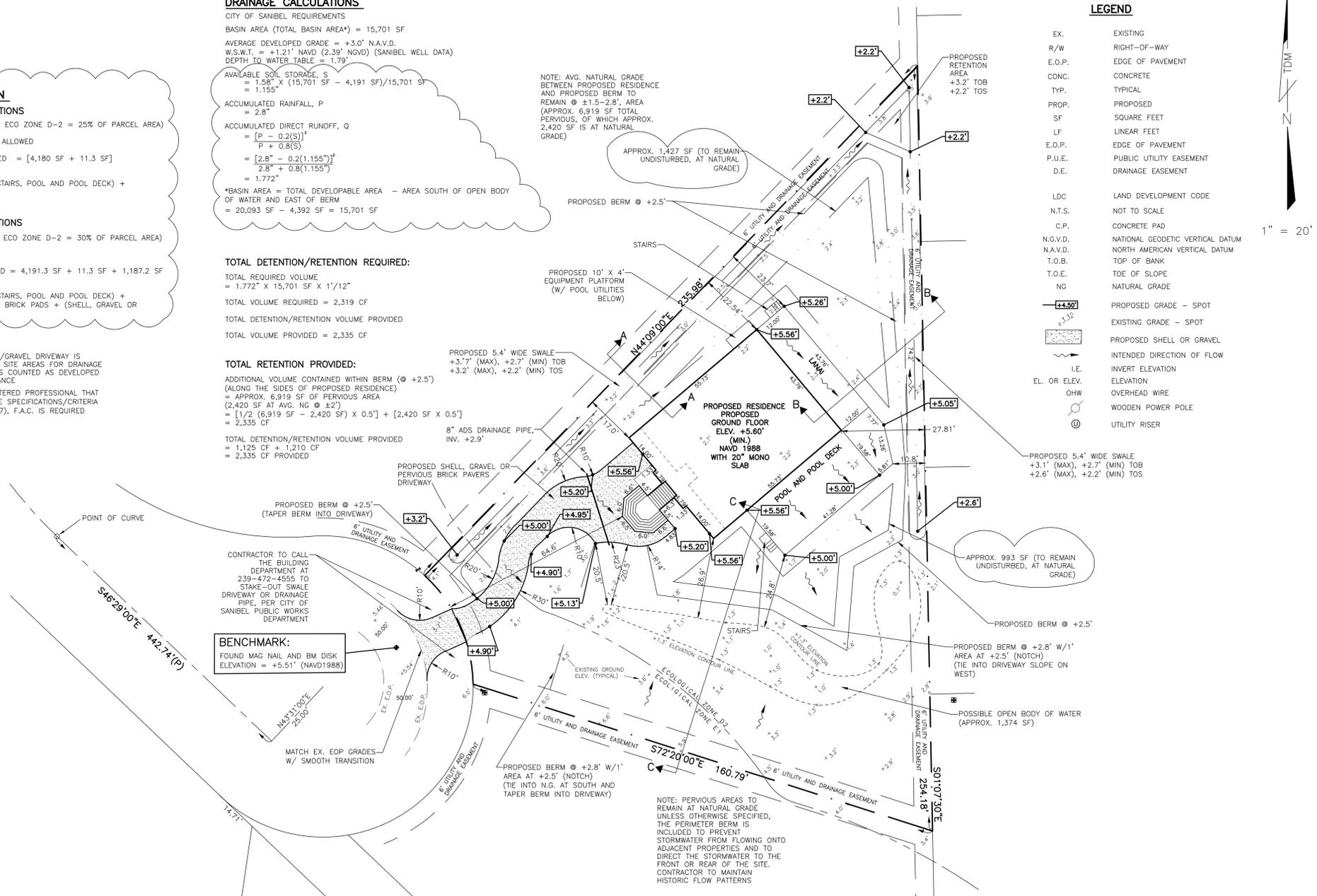


Table with columns: DATE, DESIGNED BY, PERM/D, DRAWN BY, REVISIONS, CHECKED BY, TDM, APPROVED BY.

1305 SEASPRAY LANE
SITE ENGINEERING PLAN

Civil Engineering and Planning
TDM CONSULTING, INC.
1520 Royal Palm Square
Boulevard, Suite 100
Fort Myers, FL 33919
Phone: (239) 433-4231
Cert. of Authorization # 29086

DATE: 05/20/22
DESIGNED BY: [Signature]
PERM/D: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
TDM: [Signature]
APPROVED BY: [Signature]

STREET ADDRESSES

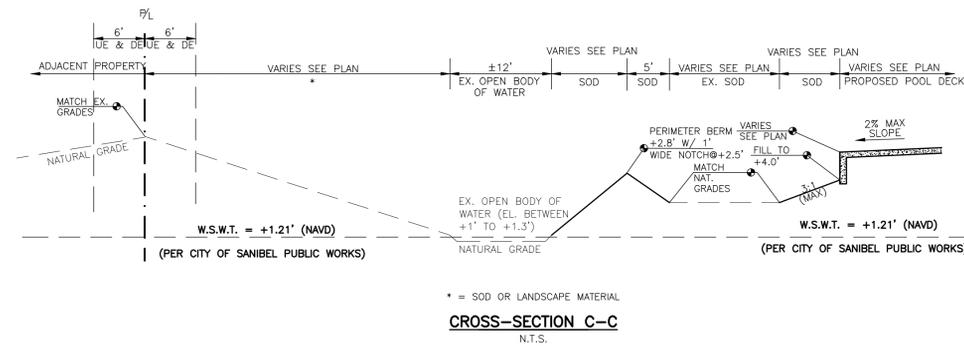
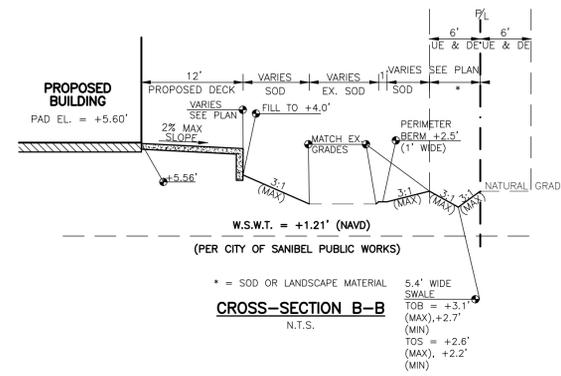
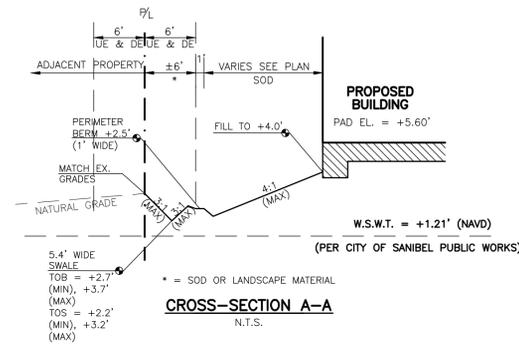
1305 SEASPRAY LANE
SANIBEL, FL 33957

STRAP NUMBER:

19-46-22-T1-00300.0180

GENERAL CONSTRUCTION NOTES

- ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO N.A.V.D. OF 1988. ALL BOUNDARY, EXISTING CONDITIONS, AND TOPOGRAPHIC INFORMATION AS SHOWN WAS TAKEN FROM A SYSTEM FILE PROVIDED BY HALEY WARD. MARKS ARE AS SHOWN ON BOUNDARY & TOPOGRAPHIC SURVEY.
- EXISTING UTILITY LOCATIONS, IF SHOWN HEREON, ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF SAID UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- A CITY OF SANIBEL INSPECTION IS REQUIRED ON ALL PROPOSED FACILITIES PRIOR TO BACKFILLING OF TRENCHES.
- ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF PROJECT ENGINEER IS SUBJECT TO REMOVAL AND REPLACEMENT OF SAME TO BE DONE AT CONTRACTOR'S EXPENSE.
- CONTRACTOR TO RETURN ALL DISTURBED AREAS TO EXISTING CONDITION OR BETTER INCLUDING, BUT NOT LIMITED TO, VEGETATION AND SODDING.
- A CITY OF SANIBEL ROW PERMIT IS REQUIRED FOR ALL WORK IN PUBLIC ROWS. CONTRACTOR TO CONTACT SANIBEL PUBLIC WORKS AT 239-472-6397 TO OBTAIN A ROW PERMIT PRIOR TO ANY WORK IN THE PUBLIC ROW.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF SANIBEL DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL CONTACT ALL APPROPRIATE AGENCIES, UTILITIES, AND PROJECT ENGINEER A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT PROJECT ENGINEER PRIOR TO THE INITIATION OF ANY DEVIATION FROM THE APPROVED PLANS. NO SUCH DEVIATIONS SHALL BE AUTHORIZED WITHOUT PRIOR WRITTEN APPROVAL BY PROJECT ENGINEER.
- CONTRACTOR SHALL REMOVE ANY HARDPAN EXISTING BENEATH THE PROPOSED STORMWATER FACILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ANY AND ALL DEBRIS REMOVED FROM THE SITE.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- IF A REQUIRED DIMENSION IS NOT SHOWN OR A DISCREPANCY IS FOUND ON THE DRAWINGS, CONTRACTOR TO CONTACT PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- ALL DRIVEWAY LOT EMBANKMENT SHALL BE CONSTRUCTED IN ONE (1) FOOT LIFTS TO A MINIMUM COMPACTION OF 95% AASHTO T-180. REFER TO ARCHITECT FOR BUILDING FOUNDATION REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF ASBUILT DRAWINGS AT ALL TIMES AND PROVIDE ONE (1) COPY TO PROJECT ENGINEER UPON COMPLETION OF CONSTRUCTION.
- THIS PLAN IS FOR PERMITTING ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION UNLESS AUTHORIZED BY ENGINEER OF RECORD.
- CONTRACTOR SHALL COORDINATE ANY AND ALL WORK IN THE RIGHT-OF-WAY WITH THE CITY OF SANIBEL PUBLIC WORKS DEPARTMENT.
- MAINTENANCE OF TRAFFIC SHALL FOLLOW F.D.O.T. STANDARD INDEX 600, INCLUDING FLAGGING.
- BLASTING FOR UTILITY CONSTRUCTION IS NOT ANTICIPATED AND WILL NOT BE PERMITTED.
- LIMEROCK BASE MATERIAL SHALL BE FROM AN F.D.O.T. APPROVED SOURCE.
- ALL EXISTING MONUMENTATION SHALL BE PROTECTED. IF MONUMENTATION IS DISTURBED OR DESTROYED, IT SHALL BE REPLACED AFTER CONSTRUCTION IS COMPLETE, TO REQUIRED ACCURACY, BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER (P.S.M.) AT CONTRACTOR'S EXPENSE. IF MONUMENTATION IS IN DANGER OF BEING DISTURBED OR DESTROYED, IT SHALL BE REFERENCED AND REPLACED AFTER CONSTRUCTION IS COMPLETE, BY A FLORIDA LICENSED P.S.M., AT CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION, IF ANY FORTUITOUS (HISTORICAL OR ARCHAEOLOGICAL) FINDS ARE OBSERVED, ALL WORK SHALL CEASE IN THE AREA. DEVELOPER, OWNER, CONTRACTOR, OR AGENT THERE OF MUST NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF HISTORIC OR PREHISTORIC ARTIFACTS, REMAINS, OR FEATURES ARE FOUND DURING CONSTRUCTION. EXAMPLES MAY INCLUDE FRAGMENTS OF STONE TOOLS, SHELLS, SHELL TOOLS, POTTERY, GLASS, BOTTLES, ANIMAL BONES, BUILDING FOUNDATIONS, SHELL MOUNDS, OR SAND MOUNDS. THE PROJECT ENGINEER WILL ASSESS THE SIGNIFICANCE OF THE FINDS IN A TIMELY MANNER.
- IF ANY HUMAN SKELETAL REMAINS (UNMARKED BURIALS) ARE FOUND, ALL WORK IN THE AREA MUST STOP AND THE NEAREST LAW ENFORCEMENT OFFICE SHOULD BE CONTACTED IMMEDIATELY. ACCORDING TO STATE LAW (F.S. 872.05), IT IS UNLAWFUL TO DAMAGE OR DESTROY A HUMAN BURIAL. THE PROJECT ENGINEER MUST ALSO BE NOTIFIED.



DATE	REVISIONS	DESIGNED BY	PERM/D	DRAWN BY	PERM/D	CHECKED BY	T.M.	APPROVED BY	T.M.
03/2022									
10/2024	1	REVISED PER CITY COMMENTS							
03/2025	2	REVISED PER CITY OF SANIBEL COMMENTS							
03/2025	3	REVISED PER CITY OF SANIBEL COMMENTS							

1305 SEASPRAY LANE

DETAILS AND CROSS SECTIONS

Civil Engineering and Planning



dean@tdmconsulting.com
www.tdmconsulting.com



1520 Royal Palm Square
Boulevard, Suite 100
Fort Myers, FL 33919
Phone: (239) 433-4231
Cert. of Authorization # 23086

NOT VALID WITHOUT EMBOSSED SEAL, SIGNATURE, AND DATE.

Dean Martin, P.E.
Florida #52022
DATE: _____
This seal has been digitally signed and sealed by Dean Martin on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed for electronic copies.

SHEET # 5 of 7

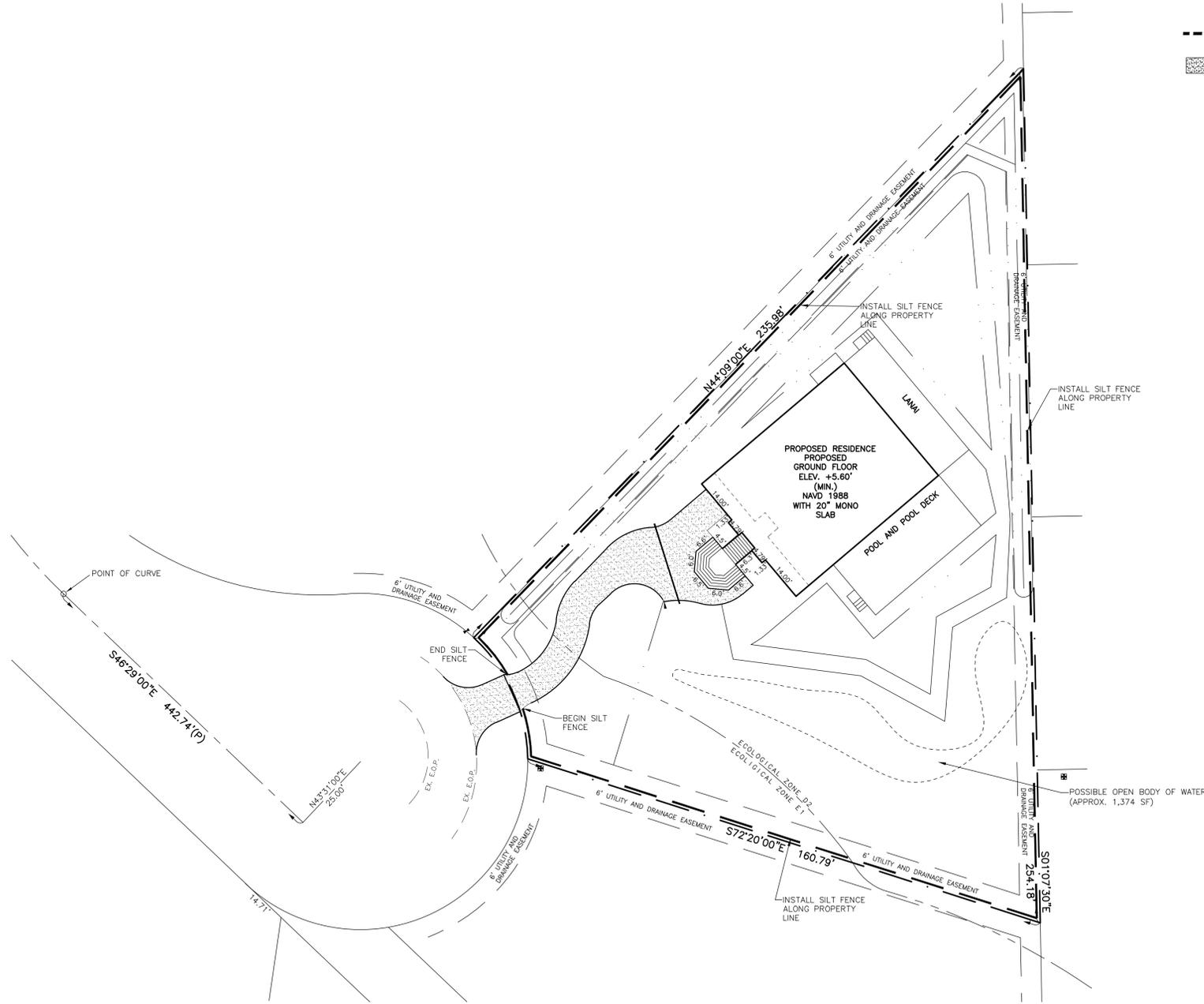
SCALE: N.T.S.

STREET ADDRESSES

1305 SEASPRAY LANE
SANIBEL, FL 33957

STRAP NUMBER:

19-46-22-T1-00300.0180



LEGEND

---	SILT FENCE
▨	PROPOSED SHELL OR GRAVEL
LF	LINEAR FEET
EX.	EXISTING
EL.	ELEVATION
SYN.	SYNTHETIC
ROW	RIGHT OF WAY
TOB	TOP OF BANK

1" = 20'

N
Z
TDM

DATE	DESIGNED BY	PERM	DRAWN BY:	PERM	CHECKED BY:	TDM	APPROVED BY:	TDM
03/2022								

DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

DRAWING NAME: 1305 Seaspray Lane
 DRAWING NUMBER: TDM-SW

1305 SEASPRAY LANE

STORMWATER POLLUTION PREVENTION PLAN

Civil Engineering and Planning

TDM CONSULTING, INC.
 CIVIL ENGINEERING

1520 Royal Palm Square
 Boulevard, Suite 100
 Fort Myers, FL 33919
 Phone: (239) 433-4231
 Cert. of Authorization # 23086

dean@tdmconsulting.com
 www.tdmcivilengineering.com

NOT VALID WITHOUT EMBOSSED SEAL, SIGNATURE, AND DATE.

Dean Martin, P.E.
 Florida #521022

DATE: _____

This seal has been digitally signed and sealed by Dean Martin on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed. Electronic copies must be verified on any electronic copies.

STREET ADDRESSES

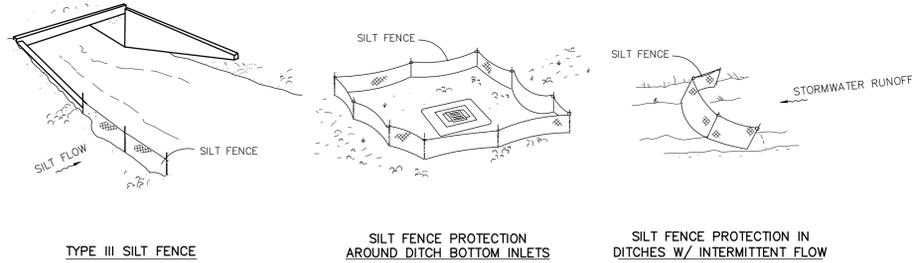
1305 SEASPRAY LANE
SANIBEL, FL 33957

STRAP NUMBER:

19-46-22-T1-00300.0180

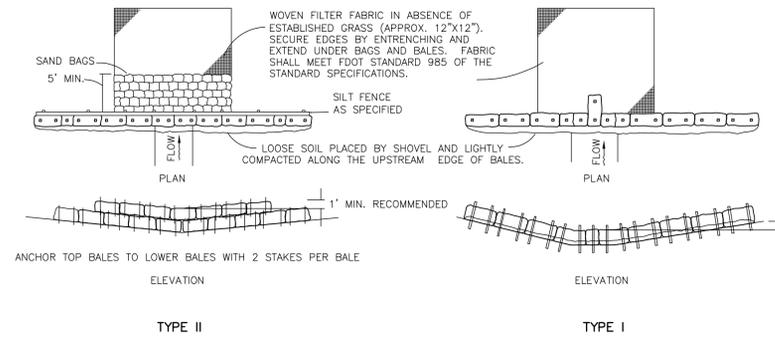
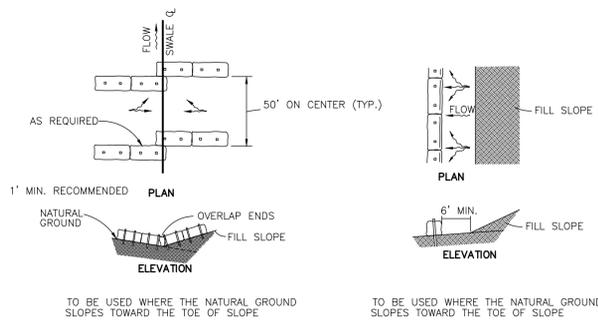
CONSTRUCTION POLLUTION PREVENTION PLAN

- SILT FENCE SHALL BE PROPERLY INSTALLED AT THE PERIMETER OF THE LIMITS OF DISTURBANCE PRIOR TO CONSTRUCTION.
- SYNTHETIC BALE (OR BALE TYPE BARRIER) AND SILT FENCE CHECK DAM BARRIERS SHALL BE INSTALLED IN ALL PROPOSED SWALES AT 200' INTERVALS AFTER SWALE CONSTRUCTION AND SHALL BE MAINTAINED UNTIL FINAL STABILIZATION.
- CLEARING AND GRUBBING DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR.
- TOPSOIL STOCK PILES AND OTHER DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY CEASES FOR MORE THAN SEVEN (7) DAYS WILL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH WITHIN SEVEN (7) DAYS FROM THE DATE OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- PROPOSED SWALES ARE TO BE SODDED OR SEEDDED IMMEDIATELY AFTER CONSTRUCTION PER THE APPROPRIATE CROSS-SECTION.
- ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN A LIDDED METAL CONTAINER IN ACCORDANCE WITH CHARLOTTE COUNTY SOLID WASTE STANDARDS. SAID DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY.
- ALL HAZARDOUS OR TOXIC MATERIAL WILL BE PROPERLY CONTAINED AND DISPOSED OF IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- THIS SITE IS TO BE SERVED BY PORTABLE SANITARY FACILITIES DURING CONSTRUCTION. POST CONSTRUCTION WILL BE SERVED BY CONNECTION TO MUNICIPAL FACILITIES.
- THE EFFECTIVENESS OF THE STORMWATER POLLUTION PREVENTION PLAN AND THE TEMPORARY EROSION/SEDIMENT CONTROLS SHALL BE CHECKED DAILY DURING CONSTRUCTION BY CONTRACTOR OR A DESIGNATED REPRESENTATIVE. IF STATE OF FLORIDA WATER QUALITY STANDARDS ARE NOT MET, CORRECTION TO THE PROBLEMS SHALL BE MADE AS SOON AS PRACTICAL.
- SILT FENCING WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO INSURE PROPER ATTACHMENT TO POSTS, AND TO ENSURE POSTS ARE SECURELY PLACED.
- ALL POLLUTION PREVENTION CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. REPAIRS WILL BE INITIATED IMMEDIATELY, BUT NOT LONGER THAN TWENTY-FOUR (24) HOURS AFTER DISCOVERY.
- BUILT-UP SEDIMENT WILL BE REMOVED FROM SILT FENCING WHEN IT REACHES ONE-THIRD (1/3) OF THE HEIGHT OF THE FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAZARDOUS MATERIAL SPILLS OR POLLUTANTS ON SITE. SAID SPILLS SHALL BE CLEANED UP AS SOON AS THEY OCCUR.
- STORMWATER POLLUTION PREVENTION SHALL BE IMPLEMENTED DURING CONSTRUCTION. IF ADDITIONAL TEMPORARY EROSION/SEDIMENT CONTROLS (NOT SHOWN ON THE CONSTRUCTION PLANS) ARE NECESSARY TO MAINTAIN COMPLIANCE WITH STATE OF FLORIDA WATER QUALITY STANDARDS, SUCH CONTROLS SHALL BE DESIGNED, SPECIFIED, LOCATED, AND INSTALLED AS REQUIRED BY ENGINEER/CONTRACTOR OR A DESIGNATED REPRESENTATIVE. ALL TEMPORARY CONTROLS SHALL PREVENT SEDIMENT AND OTHER DELETERIOUS SUBSTANCES FROM ENTERING UTILITY AND STORMWATER DRAIN ENTRANCES, DRAINAGE DITCHES, WATERBODIES, WETLANDS, AND ADJACENT PROPERTY. CONTRACTOR OR HIS AGENT WILL INFORM ALL SUBCONTRACTORS OF THE CONSTRUCTION POLLUTION PREVENTION PLAN AS SHOWN ON THIS SHEET AND VERIFY THAT ALL CONCERNED PARTIES ARE COMPLYING WITH THEM.
- ALL CONSTRUCTION ENTRANCES SHOULD BE CLEAR OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE LAID DOWN TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE. GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE A MINIMUM OF 12" THICK.
- ALL BARE AREAS WILL BE SODDED AS SOON AS PRACTICAL. HOWEVER, UNTIL PLACING OF SOOD, THESE AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST.



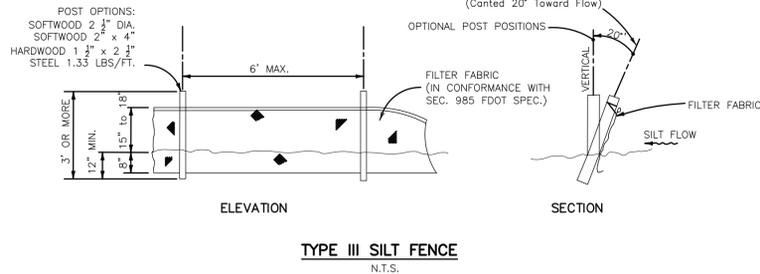
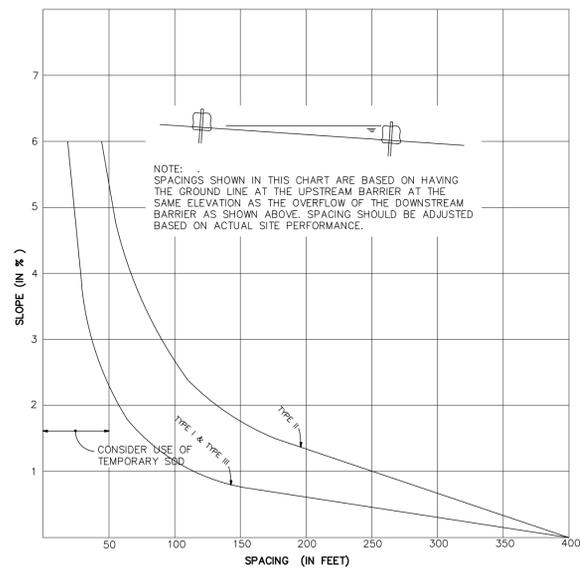
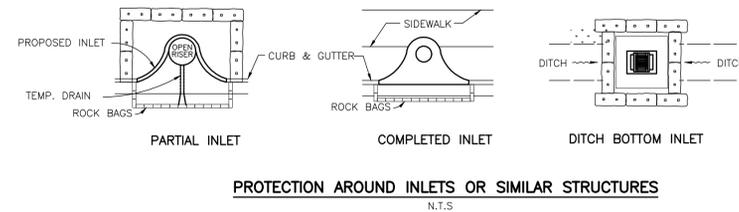
NOTE:
DO NOT DEPLOY IN SUCH A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS. TURBIDITY BARRIERS ARE TO BE USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS
N.T.S.



NOTES:
1. TYPE I AND II SYNTHETIC BARRIER SHOULD BE SPACED IN ACCORDANCE CHART I, SHEET 1 OF 3, F.D.O.T. STANDARD INDEX NO. 102.
2. RAILS AND POSTS SHALL BE 2" X 4" WOOD, OTHER MATERIALS PROVIDING EQUIVILANT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.
3. WHERE USED IN CONJUNCTION WITH SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.

SYNTHETIC BALE OR BALE TYPE BARRIERS FOR UNPAVED DITCHES
N.T.S.



DATE	DESIGNED BY	PERM	DRAWN BY	PERM	CHECKED BY	TDM	APPROVED BY	TDM
03/2022								

1305 SEASPRAY LANE

STORMWATER POLLUTION PREVENTION DETAILS

DRAWING NAME: 19-46-22-T1-00300.0180
DRAWING NUMBER: 03/2022

Civil Engineering and Planning

dean@tdmconsulting.com
www.tdmconsulting.com

TDM CONSULTING, INC.
1520 Royal Palm Square
Boulevard, Suite 100
Fort Myers, FL 33919
Phone: (239) 433-4231
Cert. of Authorization # 23086

NOT VALID WITHOUT EMBOSSED SEAL, SIGNATURE, AND DATE.

DATE: _____

Dean Martin, P.E.
Florida #52022

This seal has been digitally signed and sealed by Dean Martin on the Florida #52022. The date and time of signing are shown below. The document was not certified digital and the seal is not valid for use on any other document.