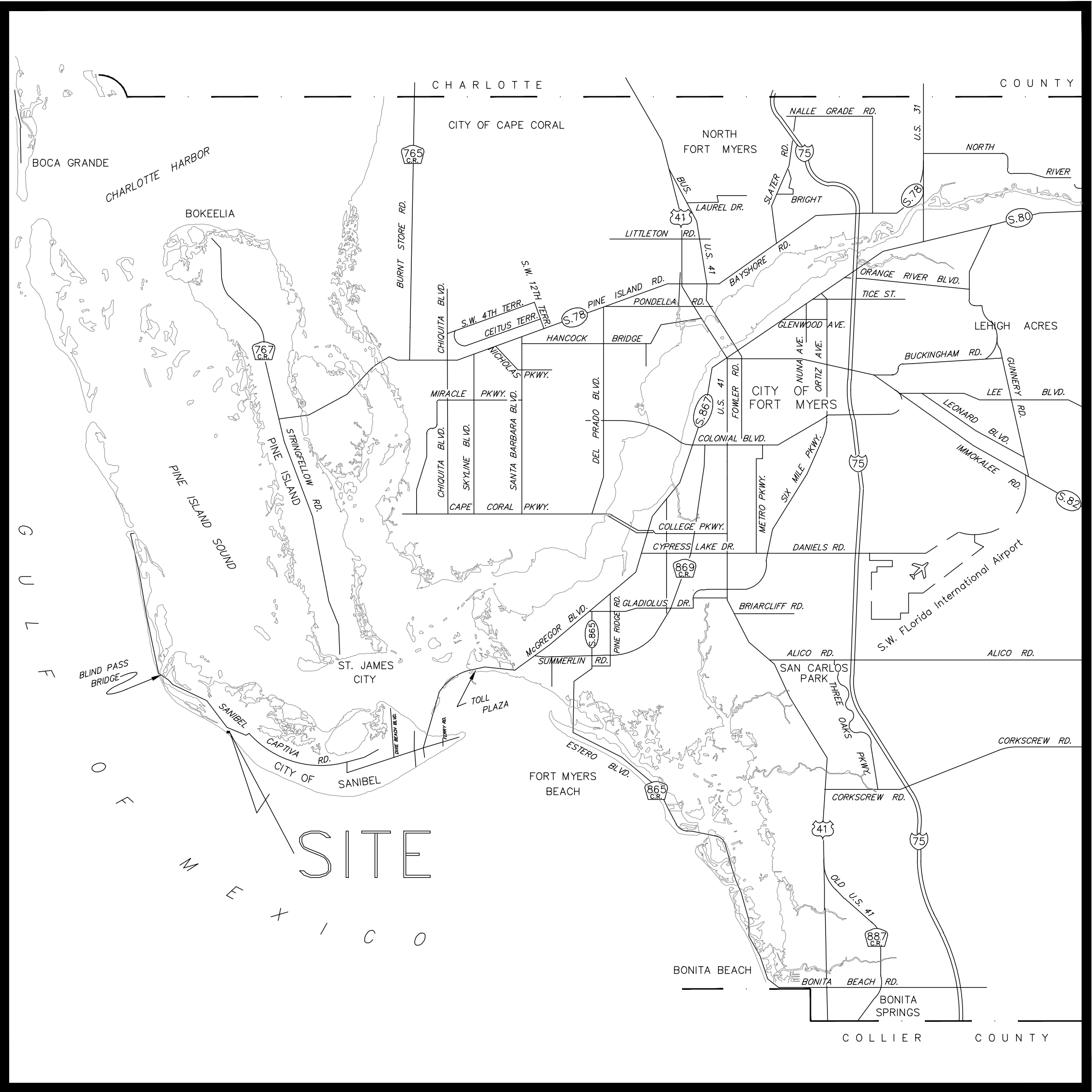


SITE CONSTRUCTION PLANS
FOR
1305 SEASPRAY LANE
SANIBEL, FLORIDA
SECTION 19, TOWNSHIP 46S, RANGE 22E

PLAN INDEX

- COVER
- BOUNDARY & TOPOGRAPHIC SURVEY
- AERIAL LOCATION MAP
- SITE ENGINEERING PLAN
- DETAILS AND CROSS SECTIONS
- STORMWATER POLLUTION PREVENTION PLAN
- STORMWATER POLLUTION PREVENTION DETAILS

- 1
- 2
- 3
- 4
- 5
- 6
- 7



LOCATION SKETCH
N.T.S.

OWNER/DEVELOPER

**WILLIAM J & SUNYOUNG P
COVALESKI**
28 Walnut Band Road
Glenmoore, Pennsylvania 19343
Phone: (239) 851- 1357 (Agent)

CIVIL ENGINEER



1520 Royal Palm Square Boulevard, Suite 100
Fort Myers, FL 33919
Phone: (239) 433-4231
Email: dean@tdmconsulting.com
www.tdmcivilengineering.com
Certificate of Authorization # 29086

DEAN MARTIN
FLORIDA P.E. #52022

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BOUNDARY & TOPOGRAPHIC SURVEY
SUBMITTED SEPARATELY

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SHEET #		DATE				DESIGNED BY:
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of						DRAWN BY:
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						TDM
						APPROVED BY:
						TDM
		DRAWING NAME		JOB/CAD FILE		
		1305 SEASPRAY LANE		1305 Seaspray Lane		
		BOUNDARY & TOPOGRAPHIC SURVEY		BOUNDARY & TOPOGRAPHIC SURVEY		
		Civil Engineering and Planning		TDM CONSULTING, INC.		
		1520 Royal Palm Square		1520 Royal Palm Square		
		Boulevard, Suite 100		Boulevard, Suite 100		
		Fort Myers, FL 33919		Fort Myers, FL 33919		
		Phone: (239) 433-4231		Phone: (239) 433-4231		
		Cert. of Authorization # 29086		Cert. of Authorization # 29086		
		Dean Martin, P.E.		DATE:		
		Florida #52022				
		This seal has been digitally signed and sealed by Dean Martin on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed for electronic copies.				
		SCALE: N.T.S.				

STREET ADDRESSES
1305 SEASPRAY LANE
SANIBEL, FL 33957

STRAP NUMBER:
19-46-22-T1-00300.0180




1" = 40'



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3		of		Dean Martin, P.E. Florida #52022				DESIGNED BY:	
7				This seal has been digitally signed and sealed by Dean Martin on the date indicated on the seal. Printed copies of this instrument are not considered signed and sealed for legal purposes. No other seal or signature is required.				PEM	
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								DRAFTING NAME	
								TDM	

Civil Engineering
and
Planning



CIVIL ENGINEERING

TDM

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1305 SEASPRAY LANE

AERIAL LOCATION MAP

DRAWING NAME

1305 Seaspray Court 1305 Seaspray Lane

STREET ADDRESSES

1305 SEASPRAY LANE
SANIBEL, FL 33957

STRAP NUMBER:

19-46-22-T1-00300.0180

DEVELOPMENT SITE AREAS

MAJORITY (88%) OF THE SITE LIES WITHIN ECOLOGICAL ZONE "D-2" AND THE REMAINDER (12%) WITHIN ECOLOGICAL ZONE "E-1", WHICH BOTH ALLOW FOR AN IMPERVIOUS COVERAGE AREA OF 25% AND A DEVELOPED COVERAGE AREA OF 30% OF THE TOTAL PARCEL AREA.

PROPOSED COVERAGE CALCULATIONS

TOTAL SQUARE FOOTAGE OF PARCEL = 23,565 SF
= 0.54 ACRES

AREA IN ECOLOGICAL ZONE D-2 = 20,776 SF
AREA IN ECOLOGICAL ZONE E-1 = 2,789 SF
APPROX. WETLAND BOUNDARY AREA = 3,472 SF
TOTAL DEVELOPABLE AREA = 20,093 SF

TOTAL IMPERVIOUS ALLOWED = 5023.0 SF
TOTAL IMPERVIOUS USED = 4191.3 SF
IMPERVIOUS AREA REMAINDER = 831.7 SF
TOTAL DEVELOPED AREA ALLOWED = 6028.0 SF
TOTAL DEVELOPED USED = 5653.2 SF
DEVELOPED AREA REMAINDER = 374.8 SF

PROPOSED IMPERVIOUS AREA:
RESIDENCE & STAIRS = 2650.0 SF
LANAI AND POOL DECK = 1530.0 SF
50% OF PERVIOUS BRICKS = 11.3 SF
TOTAL IMPERVIOUS = 4191.3 SF

PROPOSED DEVELOPED AREA:
IMPERVIOUS AREA = 4191.3 SF
REMAINING 50% OF PERVIOUS BRICKS = 11.3 SF
GRAVEL/SHELL DRIVEWAY = 1187.2 SF
TOTAL DEVELOPED AREA = 5389.8 SF

PROJECT INFORMATION

CURRENT ZONING = RESIDENTIAL - NON-RESORT SINGLE FAMILY
FUTURE LAND USE = ECOLOGICAL ZONE "D-2" - UPLAND WETLAND
PROPOSED USE = RESIDENTIAL - NON-RESORT SINGLE FAMILY
EXIST. FLORIDA LAND = 1110 - FIXED SINGLE FAMILY UNITS
USE CLASSIFICATIONS
EXIST. SOIL TYPES = #4 - CANAVERAL-URBAN LAND COMPLEX (88.56%)
= #5 - CAPTIVA FINE SAND (11.44%)

ZONING/ACTUAL USE

PROJECT SITE = RESIDENTIAL - NON-RESORT SINGLE FAMILY
NORTH = RESIDENTIAL - NON-RESORT SINGLE FAMILY
SOUTH = RESIDENTIAL - NON-RESORT SINGLE FAMILY
EAST = RESIDENTIAL - NON-RESORT SINGLE FAMILY
WEST = RESIDENTIAL - NON-RESORT SINGLE FAMILY

FLOOD ZONE

PARCEL IS LOCATED MAINLY IN FLOOD ZONE "A10-EL11", WITH A BASE FLOOD ELEVATION OF 12.0' (NGVD29). THIS INFORMATION WAS TAKEN FROM FLOOD INSURANCE RATE MAP 12071C 0509 F, EFFECTIVE DATE 8-28-08.

THE CONVERSION FACTOR FROM NGVD TO NAVD USED IS "-1.18'".

NOTES

- ALL EXISTING AND PROPOSED GRADES ARE N.A.V.D. OF 1988.
- THIS PARCEL LIES IN FLOOD ZONE "VE-EL12 (NGVD29)".
- THIS PROJECT PRESENTS NO ADVERSE IMPACTS ON LOCAL GROUND OR SURFACE WATERS.
- THIS PROJECT DOES NOT ADVERSELY IMPACT THE FLOOD PLAIN OR ANY RIVERINE AREAS.
- THIS SITE CAN BE USED SAFELY FOR THE DEVELOPMENT AS SHOWN WITHOUT UNDUE DANGER FROM FLOOD OR ADVERSE SOIL AND/OR FOUNDATION CONDITIONS.
- THIS SITE DOES NOT EXHIBIT ANY SALT WATER PONDING.
- THE DEVELOPMENT OF THIS PROPERTY AS SHOWN WILL NOT HAVE ANY ADVERSE HYDROLOGICAL EFFECT ON ADJACENT PROPERTIES THROUGH THE DESIGN STORM EVENT.

SITE AREA BREAKDOWN

IMPERVIOUS AREA CALCULATIONS

ALLOWABLE IMPERVIOUS AREA: (IN ECO ZONE D-2 = 25% OF PARCEL AREA)

(25% X 20,093 SF) = 5,023 SF ALLOWED

TOTAL IMPERVIOUS AREA PROPOSED = [4,180 SF + 11.3 SF]
= 4,191.3 SF PROPOSED

(PROPOSED RESIDENCE, DECKS, STAIRS, POOL AND POOL DECK) +
50% OF PERVIOUS BRICK PADS

DEVELOPED AREA CALCULATIONS

ALLOWABLE DEVELOPED AREA: (IN ECO ZONE D-2 = 30% OF PARCEL AREA)

(30% X 20,093 SF) = 6,028 SF

TOTAL DEVELOPED AREA PROPOSED = 4,191.3 SF + 11.3 SF + 1,187.2 SF
= 5,389.8 SF

(PROPOSED RESIDENCE, DECKS, STAIRS, POOL AND POOL DECK) +
REMAINDER OF 50% OF PERVIOUS BRICK PADS + (SHELL, GRAVEL OR
PERVIOUS BRICK DRIVEWAY)

SITE AREA NOTES:

- 0% OF THE PROPOSED SHELL/GRAVEL DRIVEWAY IS INCLUDED IN THE IMPERVIOUS SITE AREAS FOR DRAINAGE CALCULATIONS. HOWEVER, IT IS COUNTED AS DEVELOPED AREA FOR SITE AREA COMPLIANCE.
- CERTIFICATION FROM A REGISTERED PROFESSIONAL THAT THE FILL MATERIAL MEETS THE SPECIFICATIONS/CRITERIA OF SUBSECTION 62B-33.005(7), F.A.C. IS REQUIRED

DRAINAGE CALCULATIONS

CITY OF SANIBEL REQUIREMENTS

BASIN AREA (TOTAL BASIN AREA*) = 15,701 SF

AVERAGE DEVELOPED GRADE = +3.0' N.A.V.D.

W.S.W.T. = +1.21' NAVD (2.39' NGVD) (SANIBEL WELL DATA)

DEPTH TO WATER TABLE = 1.79'

AVAILABLE SOIL STORAGE, S
= 1.58" X (15,701 SF - 4,191 SF)/15,701 SF
= 1.155"

ACCUMULATED RAINFALL, P
= 2.8"

ACCUMULATED DIRECT RUNOFF, Q
= $\frac{[P - 0.2(S)]^2}{P + 0.8(S)}$

= $\frac{[2.8 - 0.2(1.155)]^2}{2.8 + 0.8(1.155)}$
= 1.772"

*BASIN AREA = TOTAL DEVELOPABLE AREA - AREA SOUTH OF OPEN BODY OF WATER AND EAST OF BERM
= 20,093 SF - 4,392 SF = 15,701 SF

TOTAL DETENTION/RETENTION REQUIRED:

TOTAL REQUIRED VOLUME
= 1.772" X 15,701 SF X 1 1/12"

TOTAL VOLUME REQUIRED = 2,319 CF

TOTAL DETENTION/RETENTION VOLUME PROVIDED

TOTAL VOLUME PROVIDED = 2,335 CF

TOTAL RETENTION PROVIDED:

ADDITIONAL VOLUME CONTAINED WITHIN BERM (@ +2.5')

(ALONG THE SIDES OF PROPOSED RESIDENCE)

= APPROX. 6,919 SF OF PERVIOUS AREA

(2,420 SF AT AVG. NG @ ±2')

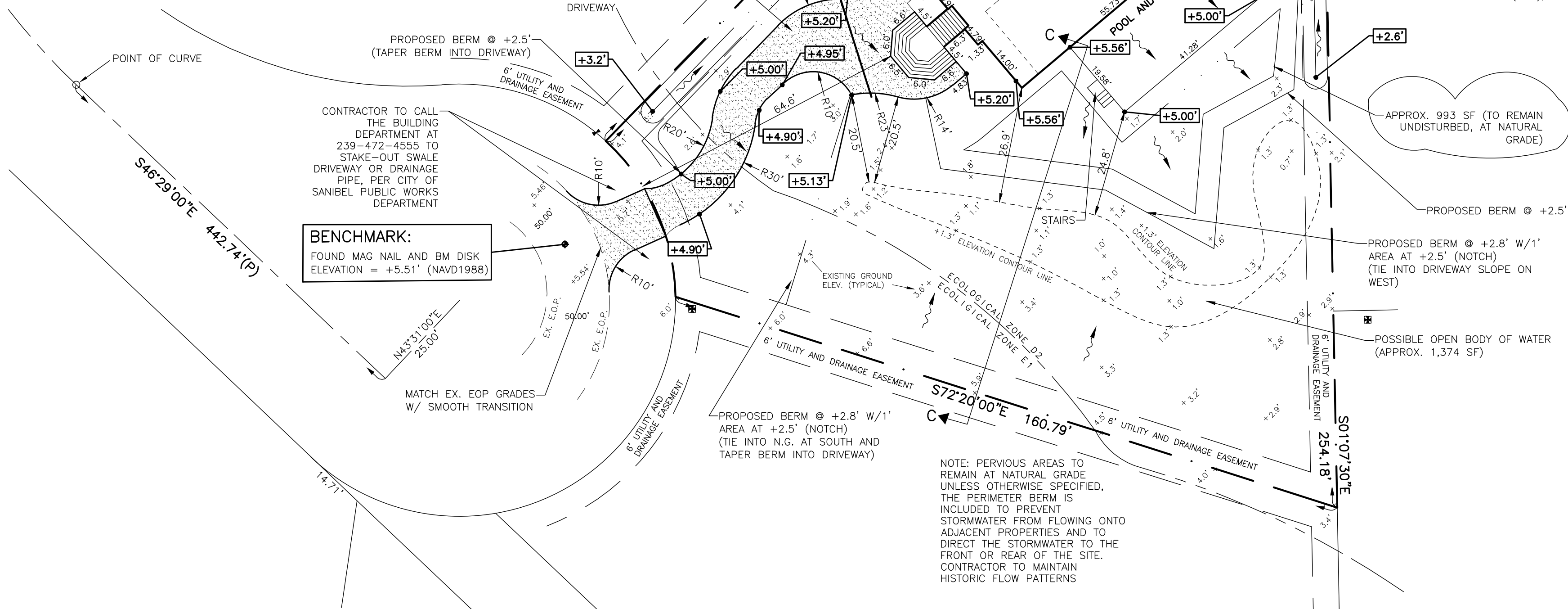
= 1/2 (6,919 SF - 2,420 SF) X 0.5' + [2,420 SF X 0.5']

= 2,335 CF

TOTAL DETENTION/RETENTION VOLUME PROVIDED

= 1,125 CF + 1,210 CF

= 2,335 CF PROVIDED



LEGEND

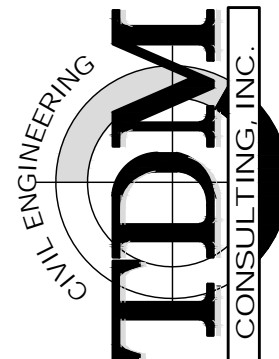
EX. EXISTING
R/W RIGHT-OF-WAY
E.O.P. EDGE OF PAVEMENT
CONC. CONCRETE
TYP. TYPICAL
PROP. PROPOSED
SF SQUARE FEET
LF LINEAR FEET
E.O.P. EDGE OF PAVEMENT
P.U.E. PUBLIC UTILITY EASEMENT
D.E. DRAINAGE EASEMENT
LDC LAND DEVELOPMENT CODE
N.T.S. NOT TO SCALE
C.P. CONCRETE PAD
N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
N.A.V.D. NORTH AMERICAN VERTICAL DATUM
T.O.B. TOP OF BANK
T.O.E. TOE OF SLOPE
NG NATURAL GRADE
+4.90' PROPOSED GRADE - SPOT
EXISTING GRADE - SPOT
PROPOSED SHELL OR GRAVEL
INTENDED DIRECTION OF FLOW
INVERT ELEVATION
ELEVATION
OVERHEAD WIRE
WOODEN POWER POLE
UTILITY RISER

1" = 20'

1305 SEASPRAY LANE

SITE ENGINEERING PLAN

Civil Engineering
and
Planning



dean@tdmconsulting.com
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Dean Martin, P.E.
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DATE: _____

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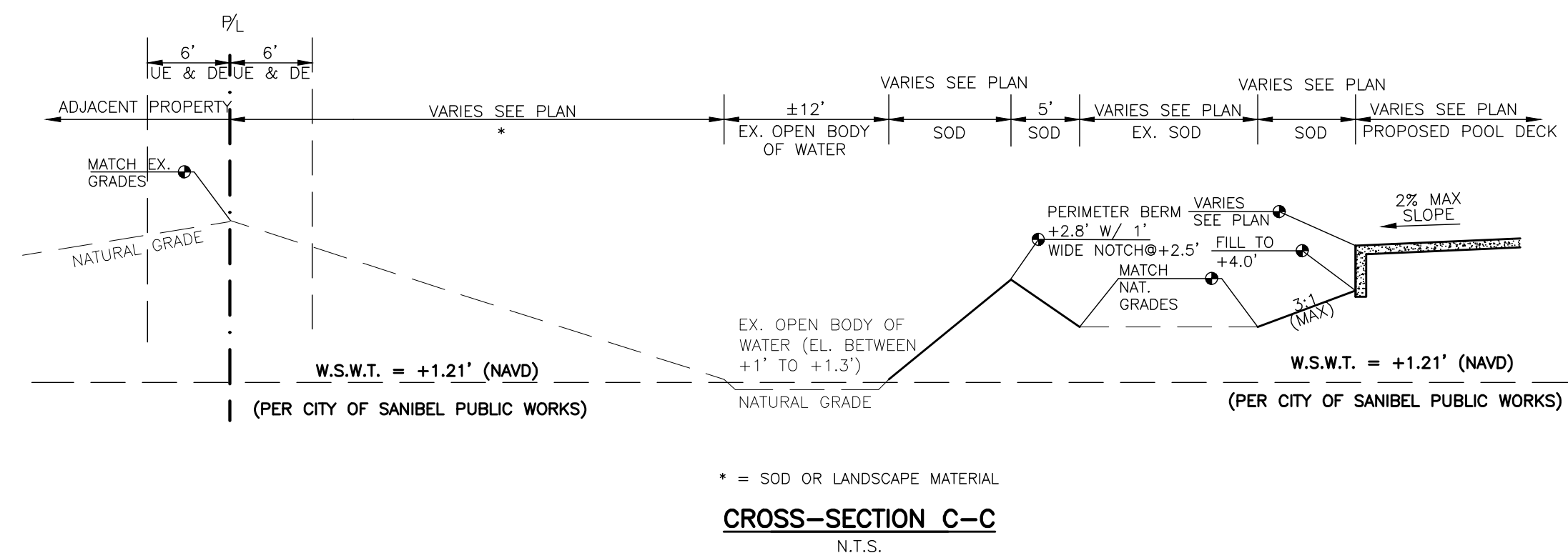
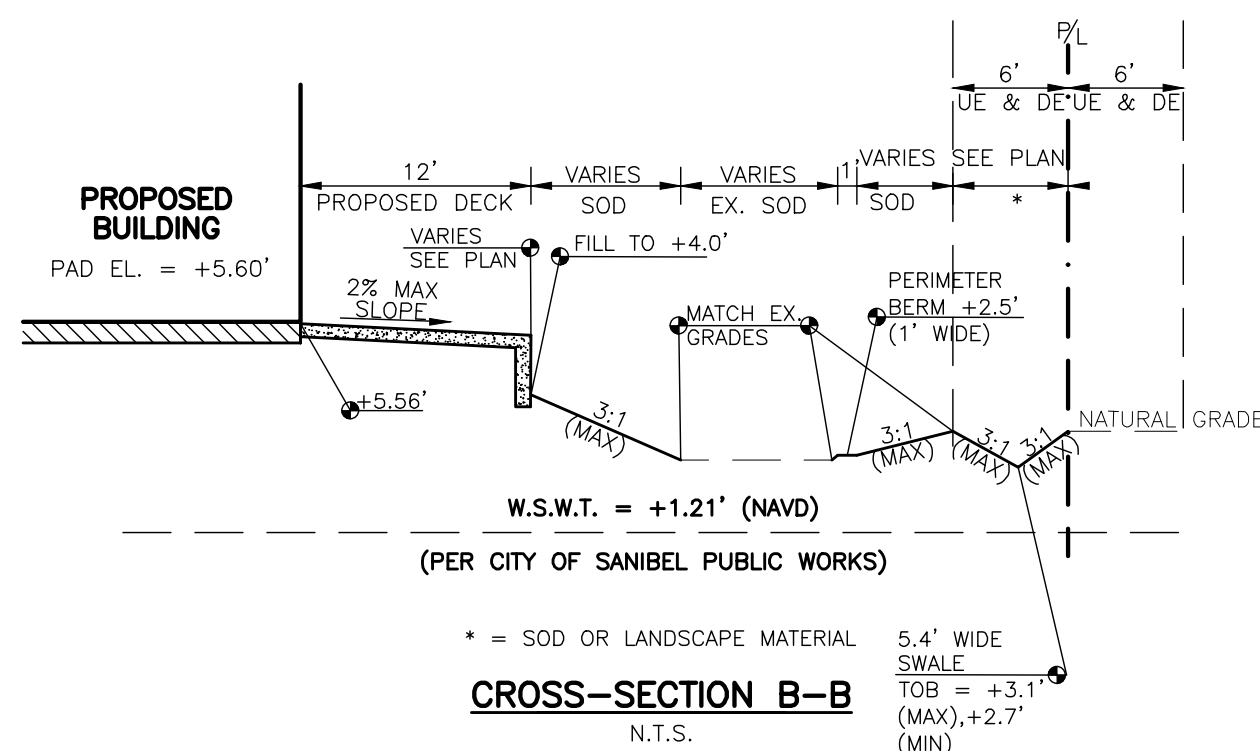
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SANIBEL, FL 33957

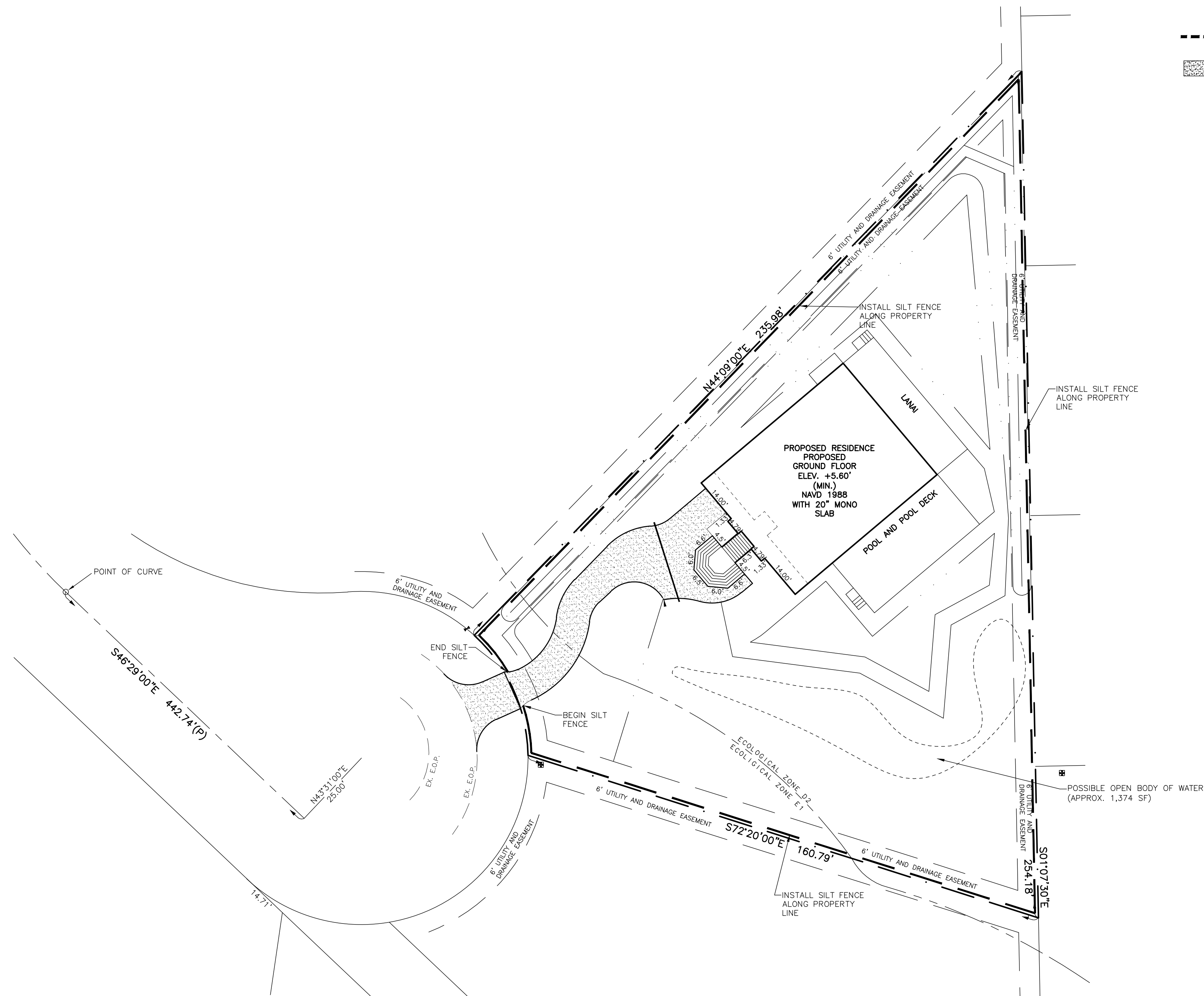
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11. ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO N.A.D. OF 1988. ALL BOUNDARY, EXISTING CONDITIONS, AND TOPOGRAPHIC INFORMATION AS SHOWN ON THIS PLAN SHALL BE VERIFIED AND PROVIDED BY HALEY WARD, MARKS ARE AS SHOWN ON BOUNDARY & TOPOGRAPHIC SURVEY.
12. EXISTING UTILITY LOCATIONS, IF SHOWN HEREON, ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF SAID UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
13. A CITY OF SANibel INSPECTION IS REQUIRED ON ALL PROPOSED PROJECTS PRIOR TO BEGINNING OF TRENCHING.
14. ALL WORK SHALL BE DONE WITH THE KNOWLEDGE OF PROJECT ENGINEER IS SUBJECT TO REMOVAL AND REPLACEMENT OF SAME TO BE DONE AT CONTRACTOR'S EXPENSE.
15. CONTRACTOR SHALL PROTECT EXISTING AREAS TO EXISTING CONDITION OR BETTER INCLUDING, BUT NOT LIMITED TO, VEGETATION AND SODDING.
16. A CITY OF SANibel ROW PERMIT IS REQUIRED FOR ALL WORK IN THE PUBLIC ROW. CONTRACTOR TO CONTACT SANibel PUBLIC WORKS AT 239-472-6397 TO OBTAIN A ROW PERMIT PRIOR TO ANY WORK IN THE PUBLIC ROW.
17. CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF SANibel DEVELOPMENT STANDARDS.
18. CONTRACTOR SHALL CONTACT ALL APPROPRIATE AGENCIES, UTILITIES, AND PROJECT ENGINEER A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION.
19. CONTRACTOR SHALL CONTACT PROJECT ENGINEER PRIOR TO THE INITIATION OF ANY DEVIATION FROM THE APPROVED PLANS. NO SUCH DEVIATIONS SHALL BE AUTHORIZED WITHOUT PRIOR WRITTEN APPROVAL OF PROJECT ENGINEER.
20. CONTRACTOR SHALL REMOVE ANY HARDSHIP EXISTING BENEATH THE PROPOSED STORMWATER FACILITIES.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ANY AND ALL DEBRIS REMOVED FROM THE SITE.
22. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
23. IF A REQUIRED DIMENSION IS NOT SHOWN OR A DISCREPANCY IS FOUND ON THE DRAWINGS, CONTRACTOR TO CONTACT PROJECT ENGINEER PRIOR TO CONSTRUCTION.
24. ALL DRIVEWAY LOT EMBANKMENT SHALL BE CONSTRUCTED IN ONE (1) FOOT LIFTS TO A MINIMUM COMPACTION OF 95% AASHTO -100. REFER TO ARCHITECT FOR BUILDING FOUNDATION REQUIREMENTS.
25. CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF AS-BUILT DRAWINGS AT ALL TIMES AND PROVIDE ONE (1) COPY TO PROJECT ENGINEER AT THE END OF CONSTRUCTION.
26. THIS PLAN IS FOR PERMITTING ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION UNLESS AUTHORIZED BY ENGINEER OF RECORD.
27. CONTRACTOR SHALL COORDINATE ANY AND ALL WORK IN THE RIGHT-OF-WAY WITH THE CITY OF SANibel PUBLIC WORKS DEPARTMENT.
28. MAINTENANCE OF TRAFFIC SHALL FOLLOW F.D.O.T. STANDARD INDEX 600, INCLUDING AGGING.
29. CONSTRUCTION OF TRAFFIC STRUCTURE IS NOT ANTICIPATED AND, WILL NOT BE PERMITTED.
30. LIME/CEMENT BASE MATERIAL SHALL BE FROM AN F.D.O.T. APPROVED SOURCE.
31. ALL EXISTING MONUMENTATION SHALL BE PROTECTED. IF MONUMENTATION IS DISTURBED OR DESTROYED, IT SHALL BE REPLACED AFTER CONSTRUCTION IS COMPLETE, TO REQUIRED ACCURACY, AT AGENCY, AT CONTRACTOR'S EXPENSE. IF WORK OR MAPPER (P.S.M.) AT CONTRACTOR'S EXPENSE. IF MONUMENTATION IS IN DANGER OF BEING DISTURBED OR DESTROYED, IT SHALL BE RELOCATED AND RECORDED AFTER CONSTRUCTION IS COMPLETE, BY A FLORIDA LICENSED P.S.M. AT CONTRACTOR'S EXPENSE.
32. DURING CONSTRUCTION, IF ANY FORTUITOUS (HISTORICAL OR ARCHAEOLOGICAL) FINDS ARE OBSERVED, ALL WORK SHALL CEASE IN THE AREA. DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF SHALL NOTIFY THE FLORIDA DEPARTMENT OF STATE HISTORIC OR PREHISTORIC ARTIFACTS, REMAINS, OR FEATURES ARE FOUND DURING CONSTRUCTION. EXAMPLES MAY INCLUDE FRAGMENTS OF POTTERY, STONE, SHEDS, BONE REMAINS, POTTERY, COIN, SHELLS, ANIMAL BONES, BUILDING FOUNDATIONS, SHELL MOUNDS, OR SAND MOUNDS. THE PROJECT ENGINEER WILL ASSESS THE SIGNIFICANCE OF THE FINDS IN A TIMELY MANNER.
33. IF ANY HUMAN REMAINS OR UNMARKED BURIALS ARE FOUND, ALL WORK IN THE AREA MUST STOP AND THE NEAREST LAW ENFORCEMENT OFFICE SHOULD BE CONTACTED IMMEDIATELY. ACCORDING TO STATE LAW (F.S. 87.05), IT IS UNLAWFUL TO DAMAGE OR DESTROY A HUMAN BURIAL. THE PROJECT ENGINEER MUST ALSO BE NOTIFIED.

[illegible]


1305 SEASPRAY LANE
SANIBEL, FL 33957

19-46-22-T1-00300.0180



SILT FENCE
PROPOSED SHELL OR GRAVEL
LINEAR FEET
EXISTING
ELEVATION
SYNTHETIC
RIGHT OF WAY
TOP OF BANK

$$1'' = 20'$$

 #	DATE	REVISIONS	DATE: 03/2022
			DESIGNED BY: PEM
			DRAWN BY: PEM
			CHECKED BY: TDM
			APPROVED BY: TDM
DRAWING NAME: JOBS/Cutter Group1/32S Sessray Label			

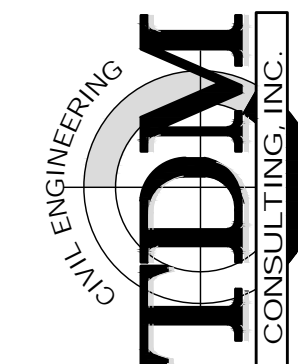
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STORMWATER POLLUTION PREVENTION PLAN

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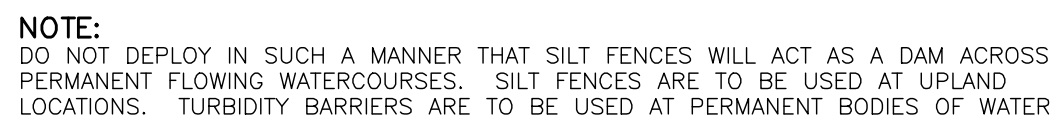
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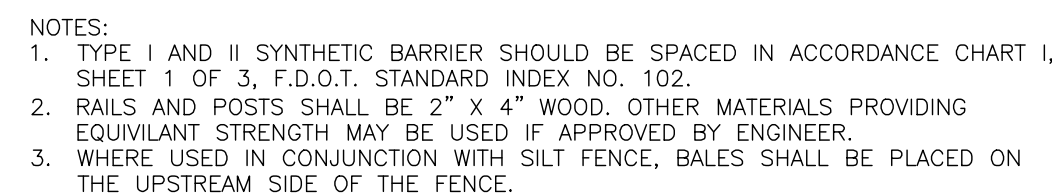
1305 SEASPRAY LANE
SANIBEL, FL 33957

19-46-22-T1-00300.0180

1. SILT FENCE SHALL BE PROPERLY INSTALLED AT THE PERIMETER OF THE LIMITS OF DISTURBANCE PRIOR TO CONSTRUCTION.
2. SYNTHETIC BALE (OR BALE TYPE BARRIER) AND SILT FENCE CHECK DAM BARRIERS SHALL BE INSTALLED AT 100' PROPOSED SWALE AND 300' INTERVALS AFTER SWALE CONSTRUCTION AND SHALL BE MAINTAINED UNTIL FINAL STABILIZATION.
3. CLEANING AND GRUBBING DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF BY CONNECTION TO POST CONSTRUCTION.
4. TOPSOIL STOCK PILES AND OTHER DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY CEASES FOR MORE THAN SEVEN (7) DAYS WILL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH WITHIN SEVEN (7) DAYS FROM THE DATE OF CONSTRUCTION ACTIVITY CESSATION.
5. PROPOSED SWALES ARE TO BE SODDED OR SEEDED IMMEDIATELY AFTER CONSTRUCTION PER THE APPROPRIATE CROSS-SECTION.
6. ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN A LINED METAL DUMPSTER IN ACCORDANCE WITH THE DESIGN AND WASTE MANAGEMENT STANDARDS. SALT DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY.
7. ALL HAZARDOUS OR TOXIC MATERIAL WILL BE PROPERLY CONTAINED AND DISPOSED OF IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
8. THIS SITE IS TO BE SERVED BY PORTABLE SANITARY FACILITIES DURING CONSTRUCTION. POST CONSTRUCTION WILL BE SERVED BY CONNECTION TO MUNICIPAL FACILITIES.
9. THE EFFECTIVENESS OF THE STORMWATER POLLUTION PREVENTION PLAN AND THE TEMPORARY EROSION/SEDIMENT CONTROLS SHALL BE CHECKED DAILY DURING CONSTRUCTION. IF THE DESIGN OR DESIGNATED REPRESENTATIVE, IF STATE OF FLORIDA WATER QUALITY STANDARDS ARE NOT MET, CORRECTION TO THE PROBLEMS SHALL BE MADE AS SOON AS PRACTICAL.
10. SILT FENCING WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO DISINTEGRATE ATTACHMENT TO POSTS AND INSURE POSTS ARE SECURELY PLACED.
11. ALL POLLUTION PREVENTION CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES AND REPAIRED IMMEDIATELY, BUT NOT LONGER THAN TWENTY-FOUR (24) HOURS AFTER DISCOVERY.
12. BUILT-UP SEDIMENT WILL BE REMOVED FROM SILT FENCING WHEN IT REACHES ONE-THIRD (1/3) OF THE HEIGHT OF THE FENCE.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAZARDOUS MATERIAL SPILLS OR POLLUTANTS ON SITE. ALL SPILLS SHALL BE CLEANED UP AS SOON AS THEY OCCUR.
14. STORMWATER POLLUTION PREVENTION SHALL BE IMPLEMENTED DURING CONSTRUCTION. IF CONSTRUCTION OF EROSION/SEDIMENT CONTROLS (NOT SHOWN ON THE CONSTRUCTION PLANS) ARE NECESSARY TO MAINTAIN COMPLIANCE WITH STATE OF FLORIDA WATER QUALITY STANDARDS, SUCH CONTROLS SHALL BE DESIGNED, SPECIFIED, LOCATED, AND INSTALLED AS REQUIRED BY ENGINEER/CONTRACTOR OR A DESIGNATED REPRESENTATIVE. ALL POLLUTANTS OR OBJECTS THAT PREVENT SEDIMENT AND OTHER DELETERIOUS SUBSTANCES FROM ENTERING UTILITY AND STORMWATER DRAIN ENTRANCES, DRAINAGE DITCHES, WATERBODIES, WETLANDS, AND ADJACENT PROPERTY.
15. THE ENGINEER OR HIS ASSISTANT SHALL BE ENTERED DURING CONSTRUCTION POLLUTION PREVENTION PLAN AS SHOWN ON THIS SHEET AND VERIFY THAT ALL CONCERNED PARTIES ARE COMPLYING WITH THEM.
16. ALL CONSTRUCTION ENTRANCES SHOULD BE CLEAR OF ALL VEGETATION, ROOTS AND OTHER OBJECTS THAT COULD BE ENTERED DURING CONSTRUCTION TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE. GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE A MINIMUM OF 12" THICK.
17. ALL BARE AREAS WILL BE SODDED AS SOON AS PRACTICAL, HOWEVER, UNTIL PLANTING IS SODDED, THE SOIL SHALL BE COVERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST.


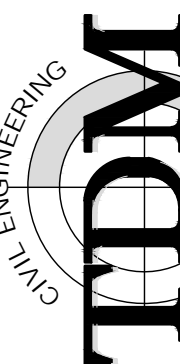


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N.T.S.



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7 of 7														DRAWING NAME: 1305 Seaspray Stormwater Drawings/Civil/ITM Site		PROJECT: 1305 Seaspray Lane	
SCALE: N.T.S.																	