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**RIVERVIEW CHR DEVELOPMENT
1517 PERIWINKLE WAY, SANIBEL,
FL 33957**

FLORIDA SEAL
DEC 4 1971

PERMIT SET		03/24/2025
1	CITY COMMENTS	06/16/25
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7		
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9		
10		

COVER SHEET

PHASE	100% CD
PR NO	23416
PA/PM	CC/PV

G000

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ABBREVIATIONS:

ABOVE
AFF ABOVE FINISHED FLOOR
ASC ABOVE SUPERFENDED CEILING
ACC ACCESS
AP ACCESS PANEL
ACT ACTUATOR
ADH ADHESIVE
ADJ ADJUTANT
ADJT ADJUSTABLE
AGG AGGREGATE
AC/ACR CONDITIONING
ALT ALTERNATE
ALUM ALUMINUM
AB ANCHOR BOLT
ANOD ANODIZED
APX APPROXIMATE
AD AREA DRAIN
ASPH ASPHALT
AT ASPHALT TILE
AUTO AUTOMATIC
BSMT BASEMENT
BRG BEARING
BR BEARING PLATE
BM BENCH MARK
BT BETWEEN
BVL BEVELED
BT BLUMINOUS
BK BLOCK
BKG BLOCKING
RD BOARD
BS BOTH SIDES
BW BOTH WAYS
BOT BOTTOM
BRK BRICK
BRZ BROUSE
BLDG BUILDING
BUR BURIED UP ROOFING
CAB CABINET
CPT CARPET (ED)
CSMT CASSEMENT
CI CAST IRON
CPC CAST-IN-PLACE CONCRETE
CST CAST STONE
CB CATCH BASIN
CLD CEILING
CHT CEILING HEIGHT
CSM CSMENT
CM CENTIMETER(S)
CER CERAMIC
CT CERAMIC TILE
CMT CERAMIC MOSAIC (TILE)
CSHM CHAMFER
CIR CIRCLE
CLR CLEAR (HANCE)
COL COLUMN
COMB COMBINATION
CONC CONCRETE
CMU CONCRETE MASONRY UNIT
CONCT CONSTRUCTION
CONT CONTINUOUS OR CONTINUE
CONTR CONTRACT (OR)
CLL CONTRACT LIMIT LINE
CJ CONTROL JOINT
CG CORNER GUARD
CORR CORRUGATED
CFL COURTER FLASHING
CRS COURSE (S)
CY CUBIC FOOT
CY CUBIC YARD
DP DAMPPROOFING
DL DEAD LOAD
DEM/D DEMOLISH, DEMOLITION
DES DESIGN FLOOD ELEVATION
DIL DETAIL
DIAG DIAGONAL
DAM DIAMETER
DIM DIMENSION
DIV DIVISION
DR DOOR
DA DOUBLEACTING
DH DOUBLE HUNG
DS DOWNSPOUT
D DRAIN
DWR DRAWER
DR DRINKING FOUNTAIN
DW DUMBWATER

EA EACH
EF EACH FACE
E EAST
ELEC ELECTRIC (AL)
EP ELECTRIC PANELBOARD
EWC ELECTRIC WATER COOLER
EL ELEVATION
ELEV ELEVATOR
EMER EMERGENCY
EQ EQUAL
EST ESTIMATE
EXCA EXCAVATE
ALUM ALUMINUM
ENH EXHAUST
EXTG EXISTING
EB EXPANSION BOLT
EXP EXPOSED
EXT EXTERIOR
DS EXTRA STRONG
FB FACE BRICK
FCC FACE OF CONCRETE
FOP FACE OF FINISH
FM FACE OF MASONRY
FOS FACE OF STUDS
FF FACTORY FINISH
FAS FASTEN, FASTENER
FED FIBERBOARD
FGL FIBERGLASS
FIN FINISH (ED)
FEE FINISHED FLOOR ELEVATION
FA FINISHED FLOOR LINE
FBK FIRE BRICK
FEC FIRE EXTINGUISHER
FEC FIRE EXTINGUISHER CABINET
FHS FIRE HOSE STATION
FR FRAMING
FP FIREPROOF
FRT FIRE RETARDANT
FLG FLASHING
FLX FLEXIBLE
FIR FLOOR (ING)
FLO FLOOR CLEANOUT
FLO FLOOR DRAIN
FLR FLOOR PLATE
FLU FLUORESCENT
FIG FOOTING
IND FOUNDATION
FR FRAME (D), (ING)
FRA FRESH AIR
FS FULL SIZE
FUR FURNISHED BY OTHERS
FUR FURRED (ING)
FUT FUTURE
GA GAGE, GAUGE
GALV GALVANIZED
GI GALVANIZED IRON
GP GALVANIZED PIPE
GSS GALVANIZED STEEL SHEET
GC GENERAL CONTRACTOR
GL GLASS, GLAZING
GLB GLASS BLOCK
GUF GLASS FIBER
GB GRAB BAR
GD GRADE, GRADING
GVL
GTY GROUT
GY CHYSSUM DRY WALL
HDB HARDBOARD
HDW HARDWARE
HWO HARDWOOD
HDB HEADER
HGT HEIGHT
HYAC HEATING/VENTILATING/
AIR CONDITIONING
HC HOLLOW CORE
HM HOLLOW METAL
HOR HORIZONTAL
HB HOSE BIBB
INCH INCHERATOR
INCL INCLUDE (D), (ING)
ID INSIDE DIAMETER
INSUL INSULATE (D), (ING)
INT INTERIOR
INTM INTERMEDIATE
INV INVERT
IP IRON PIPE
IPS IRON PIPE SIZE
JC JANITOR'S CLOSET
JT JOINT
JF JOINT FILLER
JST JOIST
KT KITCHEN
KO KNOCKOUT

LBL LABEL
LAB LABORATORY
LB LAG BOLT
LAM LAMINATE (ED)
LAV LAVATORY
LH LEFT HAND
L LENGTH
LW LIGHTWEIGHT
LWC LIGHTWEIGHT CONCRETE
LWS LIMESTONE
LIL LITE
LH LIFE LINE
LVR LOUVER
LPT LOW POINT
MH MANHOLE
MFR MANUFACTURER
MAS MASONRY
MO MASONRY OPENING
ML MATERIAL (S)
MAX MAXIMUM
MECH MECHANIC (AL)
MIC MICROCABINET
MED MEDIUM
MEM MEMBER
MMB MEMBRANE
MET METAL
M METERS
MM MILLIMETER (S)
MIN MINIMUM
MIR MIRROR
MISC MISCELLANEOUS
MOD MODULAR
MOLD MOLDING, MOULDING
MIR MIRROR
MT MOUNT (ED), (ING)
MOV MOVIE
MU MULLION
NATURAL
NRC NOISE REDUCTION
COEFFICIENT
NOM NOMINAL
NMT NONMETALLIC
N NORTH
NIC NOT IN CONTRACT
NHS NOT TO SCALE
OC ON CENTER (S)
OPC OPENING
OPP OPPOSITE
OPI OPPOSITE HAND
OPS OPPOSITE SURFACE
OD OUTSIDE DIAMETER
OA OVERALL
OH OVERHEAD
PNT PAINT (ED)
PIL PANEL
PB PANIC BAR
PD PAPER TOWEL
DISPENSER
PRP PAPER TOWEL
RECEPTOR
PAR PARALLEL
PK PARKING
PBD PARTICLE BOARD
PTN PARTITION
PV PAVE (D), (ING)
PVT PAVEMENT
PVD PAVED
PERF PERFORATE (D)
PLAS PLASTER
PL PLASTIC LAMINATE
R PLATE
PG PLATE GLASS
PW PLYWOOD
PT POINT
PVC POLYVINYL CHLORIDE
PTC POST-TENSIONED
CONCRETE
PCF POUNDS PER
PLF POUNDS PER
PSF POUNDS PER
PSI POUNDS PER
PCC PRECAST
PRB PREFABRICATE (D)
PRN PREFINISHED
PSC PRESTRESSED
CONCRETE
R PROPERTY LINE
QT QUARRY TILE

RAD RADIUS
RDWD REDWOOD
REF REFLECTOR
REFR REFRIGERATOR
REG REGISTOR
RENF REINFORCED (D), (ING)
RCR REINFORCED
L LIGHT
CONCRETE PIPE
RESIL RESILIENT
RET RETURN
RA RETURN AIR
REV REVISION (S)
RH RIGHT HAND
ROW RIGHT OF WAY
R RISER
RD ROOF DRAIN
RFR ROOFING
RM ROOM
SCF SCROUGH SAWN
CEDAR
RL ROWLOCK
SGL SAFETY GLASS
SCHSCHEDULE
SCHSCHEDULE
SH SHOWER
SHG SHEATHING
SHF SHEET
SG SHEET GLASS
SH SHELF SHELVING
SMA SHALAR
SLDC SOLDIER COURSE
SC SOLID CORE
SP SQUIRREL POOF
S SOUTH
SPR SPRINKLER
SPL SPECIAL
SPEC SPECIFICATION (S)
SQ SQUARE
S2 SQUARE
S3 STAINLESS STEEL
STL STEEL
STA STATION
STL STEEL
STR STORAGE
SD STORM DRAIN
STRUCT STRUCTURAL
SCT STRUCTURAL CLAY
TILE
SUP SUSPENDED
SYS SYSTEM
TEL TELEPHONE
TV TELEVISION
TH THICK (NESS)
THR THRESHOLD
TPIN TOILET PARTITION
TPD TOILET PAPER
DISPENSER
TOL TOLERANCE
TAG TONGUE & GROOVE
TC TOP OF CURB
TG TOP OF GRADE
TP TOP OF PAVEMENT
TSL TOP OF SLAB
TS TOP OF STEEL
TW TOP OF WALL
TB TOWER BAR
TBD TO BE DETERMINED
T TREAD
TYP TYPICAL
UNFIN UNFINISHED
UR URINAL
VB VAPOR BARRIER
VAR VARNISH
VBR VENER
VERT VERTICAL
VDR VERTICAL DRAIN
VF VERIFY IN FIELD
VH VENT
VB VENTIL BASE
VT VENTIL FILE
WCT WAINSCOT
WTW WALL TO WALL
WH WALL HUNG
WTR WATER
WC WATER CLOSET
WPT WATERPROOFING
WR WATER REPLENT
WS WATERSTOP
WWF WELDED WIRE FABRIC
W WEST
W WIDTIL WIDE
WDW WINDOW
WC WOOD GLASS
WM WIRE MESH
WO WITHOUT
WD WOOD
WB WOOD BASE
WFT WORKING POINT
WI WROUGHT IRON

GENERAL NOTES:

1. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.

2. WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

3. THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE OBTAINED FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.

4. ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.

5. CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID.

6. CONTRACTOR SHALL BE EXPERIENCED IN THIS TYPE OF WORK. NO ALLOWANCES WILL BE MADE FOR LACK OF EXPERIENCE.

7. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION.

8. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED, AS REQUIRED BY CODE.

9. DAMAGED OR DISRUPTED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHALL BE REPLACED AT THE END OF CONSTRUCTION TO THE SAME STANDARDS OF QUALITY AS EXISTED PRIOR TO CONSTRUCTION.

10. DISRUPTED ELECTRICAL AND WATER LINES SHALL BE RE-ROUTED DURING CONSTRUCTION AND ARE TO REMAIN IN CONTINUOUS SERVICE UNLESS OTHERWISE INDICATED OR INSTRUCTED.

11. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN DIRECTION FROM THE ARCHITECT.

12. WHERE LACK OF INFORMATION OR DISCREPANCY EXISTS IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING.

13. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC SHALL BE RUN CONCEALED AND FRAMING SHALL BE CORRECTLY SIZED TO ACCOMPLISH THIS WITHOUT CREATING VARIATIONS IN THE WALL PLANE.

14. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE, AND ACCESSORIES.

15. WHEN A PRODUCT, SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

16. PRIOR TO PROCEEDING WITH WORK, CONTRACTOR SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR ACCESSORIES INVOLVING OTHER TRADES.

17. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD TRACEABLE TO MATERIALS OR WORKMANSHIP PROVIDED OR PERFORMED BY THE CONTRACTOR, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO THE CONTRACT BEING AWARDED. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. AT ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS AND AT NO COST TO THE OWNER.

SITE CONDITIONS
1. LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES ENCOUNTERED DURING THE WORK. IF ANY, NOTIFY UTILITY COMPANIES OF IMPENDING WORK.
2. ENSURE THAT ALL UTILITY AND OTHER SERVICES WHICH MAY BE DISTURBED DURING CLOSE EXCAVATION ARE TEMPORARILY STAYED AND BRACED IN POSITION DURING THE WORK.
3. PROVIDE SLEEVES APPROPRIATE TO CONSTRUCTION WHERE NEW PIPES, CONDUIT, AND DUCTS PENETRATE WALLS AND FLOORS. FILL VOIDS WITH FIRE SAFING INSULATION OR FOAM PENETRATION SEALANT.
4. PROGRESS CLEANING: REMOVE DEBRIS FROM INTERIOR OF BUILDING ON A DAILY BASIS AND STORE TEMPORARILY IN COMMERCIAL TRASH CONTAINERS. REMOVE DEBRIS FROM BUILDING SITE AT INTERVALS REQUIRED TO MINIMIZE OVERFLOW AND SPILLAGE. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL IN A LAWFUL MANNER.
5. PROVIDE TEMPORARY TOILET FACILITIES FOR CONSTRUCTION USE. USE OF THE OWNERS TOILET FACILITIES WILL NOT BE PERMITTED.

FINAL COMPLETION
1. DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE IN A LAWFUL MANNER.
2. COMPLETE CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF SUBstantial COMPLETION AND MAINTAIN BUILDING IN CLEANED CONDITION UNTIL FINAL COMPLETION
3. REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED FOR PROTECTION OF THE WORK DURING CONSTRUCTION.
4. REMOVE LABELS, CLEAN GLASS SURFACES, AND DUST AND WIPE CLEAN ALL PRODUCTS, MATERIALS, SYSTEMS, FINISHES, EQUIPMENT, AND SURFACES.

ARCHITECT'S DISCLAIMER
1. THE ARCHITECT'S CERTIFICATION OF THE DOCUMENTS IS LIMITED TO THE DOCUMENTS AND THE INFORMATION CONTAINED IN THE DOCUMENTS.
2. THE ARCHITECTS CERTIFICATION SHALL NOT EXTEND TO REVISIONS TO THE DOCUMENTS OR REVISIONS IN THE INFORMATION CONTAINED IN THE DOCUMENTS WHERE SUCH REVISIONS WERE NOT PERFORMED AND/OR AUTHORIZED IN WRITING BY THE ARCHITECT.
3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS AND WHERE SUCH REVISIONS HAVE BEEN MADE BY OTHERS TO PRODUCTS, MATERIALS, FINISHES, DIMENSIONS, SYSTEMS, ASSEMBLIES, OR AESTHETIC INTENT.

STANDARD SYMBOLS

CALLOUT NUMBER
SIM
SHEET NUMBER

EXTERIOR ELEVATION
NUMBER
SHEET NUMBER

INTERIOR ELEVATION
NUMBER
SHEET NUMBER

LEVEL NAME
FIRST FLOOR
ELEV. 100'-0"
ELEVATION

REVISION CLOUD / TAG

SECTION NUMBER
SIM
SHEET NUMBER

CEILING TYPE
A
NOMINAL CEILING HEIGHT

NORTH ARROW

WALL TYPE TAG
A

DOOR NUMBER TAG
100

WINDOW TYPE TAG
3

VIEW NAME
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND:

BRICK
STEEL
RIGID INSULATION
EARTH
UNDISTURBED EARTH
GRAVEL

STRUCTURAL CONCRETE
CERAMIC TILE
ALUMINUM
PLYWOOD
SHINGLES
SIDING

GYP. BD.
LUMBER
BLOCKING
FINISH WOOD
GLASS
CMU

FBC 2023 CODE OUTLINE:

APPLICABLE CODES:
FLORIDA BUILDING CODE 2023 8th EDITION
FLORIDA PLUMBING CODE 2023 8th EDITION
FLORIDA MECHANICAL CODE 2023 8th EDITION
FUEL GAS CODE 2020 EDITION
FACE 2020 EDITION
2017 NATIONAL ELECTRICAL CODE 2023 8th EDITION
FLORIDA FIRE PREVENTION CODE
FLORIDA BUILDING CODE 2023:
OCCUPANCY: GROUP R2 (RESIDENTIAL) & GROUP S2 (PARKING GARAGE)
TYPE OF CONSTRUCTION: TYPE V-A, SPRINKLERED
TABLE 504.3
ALLOWABLE BUILDING HEIGHT ABOVE GRADE: 45' NAVD
PROPOSED BUILDING HEIGHT ABOVE GRADE: 45' NAVD
TABLE 504.4
ALLOWABLE NUMBER OF STORIES: 4
PROPOSED NUMBER OF STORIES: 4 (3 OVER 1 STORY PARKING)
TABLE 506.2
ALLOWABLE BUILDING AREA FOR PER STORY FOR R2: 48,000 SF - SPRINKLERED
ALLOWABLE BUILDING AREA PER STORY FOR S2: 63,000 SF - SPRINKLERED
ALLOWABLE GROUND FLOOR AREA S2: 63,000 SF
ALLOWABLE 1ST FLOOR AREA R2: 48,000 SF
ALLOWABLE 2ND FLOOR AREA R2: 48,000 SF
ALLOWABLE 3RD FLOOR AREA R2: 48,000 SF
PROPOSED GROUND FLOOR AREA: 5,287 SQFT
PROPOSED 1ST FLOOR AREA R2: 5,287 SQFT
PROPOSED 2ND FLOOR AREA R2: 5,287 SQFT
PROPOSED 3RD FLOOR AREA R2: 5,287 SQFT
TOTAL: 21,148 SQFT
GROUND FLOOR AREAS
INDOOR A/C - 0 SQ FT
OUTDOOR COVERED NON-A/C : 5,287 SQFT
1ST FLOOR AREAS
INDOOR A/C - 3,017 SQ FT
OUTDOOR COVERED NON-A/C : 2,270 SQFT
2ND FLOOR AREAS
INDOOR A/C - 3,017 SQ FT
OUTDOOR COVERED NON-A/C : 2,270 SQFT
3RD FLOOR AREAS
INDOOR A/C - 3,017 SQ FT
OUTDOOR COVERED NON-A/C : 2,270 SQFT
TOTAL A/C: 9,051 SQFT
TOTAL OUTDOOR COVERED NON-A/C: 12,097 SQFT
TOTAL BUILDING: 21,148 SQFT
TABLE 601 - FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS - TYPE V
PRIMARY STRUCTURAL FRAME (REQUIRED): 1 HOUR
2 HOUR
BEARING WALL - EXTERIOR (REQUIRED): 1 HOUR
BEARING WALL - EXTERIOR (PROVIDED): 1 HOUR
BEARING WALL - INTERIOR (REQUIRED): 1 HOUR
BEARING WALL - INTERIOR (PROVIDED): 1 HOUR
NON-BEARING WALLS & PARTITIONS, EXTERIOR (REQUIRED): 0 PER TABLE 705.5
NON-BEARING WALLS & PARTITIONS, EXTERIOR (PROVIDED): 0 PER TABLE 705.5
NON-BEARING WALLS & PARTITIONS, INTERIOR (REQUIRED): 0 HOUR
NON-BEARING WALLS & PARTITIONS, INTERIOR (PROVIDED): 0 HOUR
FLOOR CONSTRUCTION & SECONDARY MEMBERS (REQUIRED): 1 HOUR
FLOOR CONSTRUCTION & SECONDARY MEMBERS (PROVIDED): 1 HOUR
ROOF CONSTRUCTION & SECONDARY MEMBERS (REQUIRED): 1 HOUR
ROOF CONSTRUCTION & SECONDARY MEMBERS (PROVIDED): 1 HOUR

FEMA INFORMATION

FLOOD AREA IDENTIFIER: AE
BASE FLOOD ZONE AE10
-DESIGN FLOOD ELEVATION 11'-0" NAVD
-BELOW FLOOD:
GROUND FLOOR - USE: PARKING
NOTE: ALL MATERIAL BELOW DESIGN FLOOD ELEVATION MUST BE FLOOD RESISTANT I.e. NON ORGANIC

ZONING INFORMATION

SITE AREA: 41,401 (0.95 ACRES)
ECO ZONE: 26,533 SQUARE FEET / 0.61 ACRES
COMMERCIAL ZONE: 14,868 SQUARE FEET / 0.34 ACRES
ZONING: ECO ZONE & COMMERCIAL ZONE
MAXIMUM DENSITY ALLOWED = 12 UNITS
PROPOSED DENSITY = 15 UNITS
MAX LOT COVERAGE (SEC 126-1.452) = 45% = 18,630 S.F.
BUILDING SETBACKS "YARDS" (SECTION 58-446)
FRONT: 15'
SIDES: 15'
REAR: 200' MEAN HIGH WATER LINE OF THE SANIBEL RIVER
BUILDING AREA SUMMARY:
FLOOR UNITS GROSS S.F. AMENITY S.F. RES.NET S.F.
GROUND FLOOR: 0 N/A 0 S.F. 0 S.F.
1ST FLOOR: 5 N/A 0 S.F. 5,287 SQFT
2ND FLOOR: 5 N/A 0 S.F. 5,287 SQFT
3RD FLOOR: 5 N/A 0 S.F. 5,287 SQFT
TOTAL: 15 N/A 0 S.F. 15,861 SQFT
BUILDING / PARKING SUMMARY:
PARKING REQUIREMENT IS BASED UPON 1.25 SPACES PER UNIT.
2ND FLOOR THROUGH 3RD FLOOR (15 UNITS) 19 SPACES
(1.25 x 15 UNITS = 18.75 = 19 SPACES
GRAND TOTAL PARKING REQ 15 SPACES
PARKING PROVIDED UNDER PRINCIPAL BUILDING 10 SPACES
PARKING NOT UNDER COVER 10 SPACES
GRAND TOTAL PARKING PROVIDED 20 PARKING
MAXIMUM HEIGHT: 45' ABOVE NAVD
(B) HEIGHT. THE HEIGHT OF THE PRINCIPAL STRUCTURE IN THE GC GENERAL COMMERCIAL DISTRICT SHALL NOT EXCEED 45 FEET ABOVE MEAN SEA LEVEL.
BETWEEN 25 TO 50 PARKING SPACES, 2 ADA SPACES REQUIRED
SECTION 50-105(B)(3) PROPOSED SITE HAS LESS THAN 20 UNITS, 0 LOADING ZONES REQUIRED

PROJECT SUMMARY:

THE 1517 PERIWINKLE WAY PROJECT IS A NEW MULTI-FAMILY REDEVELOPMENT THAT CONSISTS OF ONE APARTMENT BUILDING ON THE SITE. TOTAL NUMBER OF STORIES ARE THREE FLOORS OVER ONE FLOOR OF PARKING. BUILDING CONSIST OF GROUND PARKING (10) UNITS. 2ND THRU 4TH FLOORS HAVE FIVE UNITS PER FLOOR.

PROJECT LOCATION

1517 Periwinkle Way, Sanibel, FL 33957

RIVERVIEW CHR DEVELOPMENT
1517 PERIWINKLE WAY, SANIBEL,
FL 33957

FLORIDA SEAL
REG# AR 16971

03/24/2025
06/16/25
PERMIT SET
CITY COMMENTS

PROJECT INFO

PHASE PR NO PA/PM 100% CD 23416 CC/PV

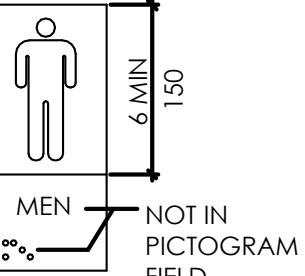
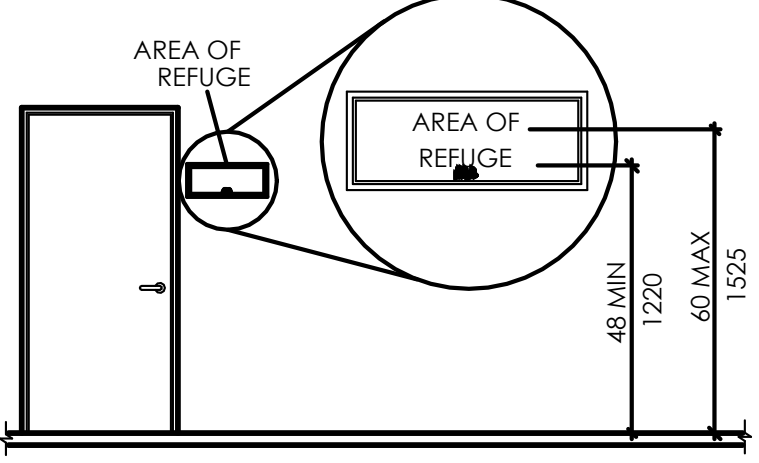
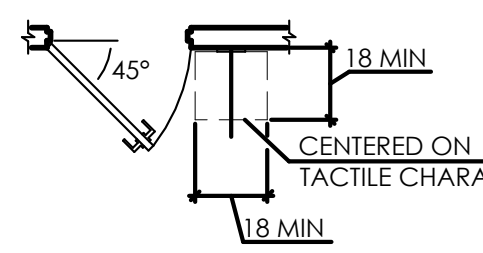
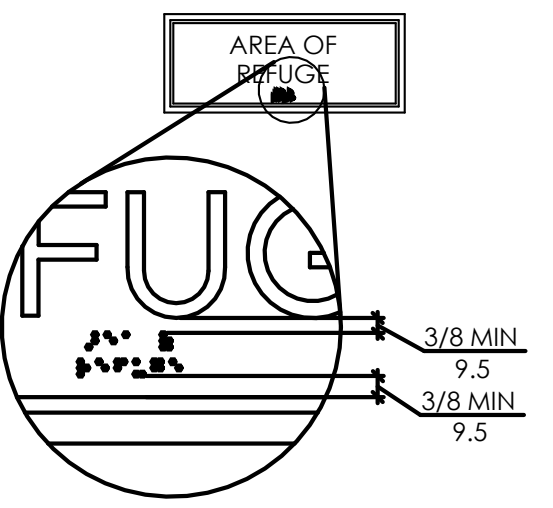
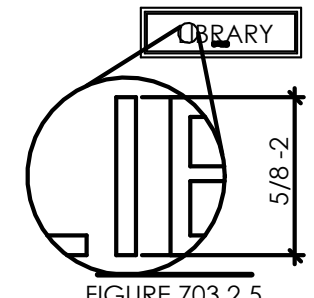
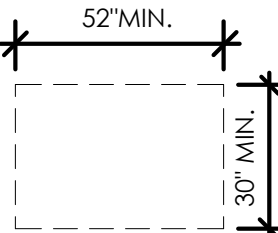
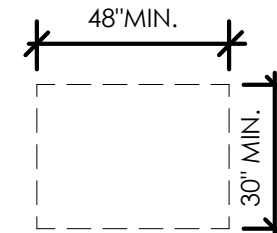
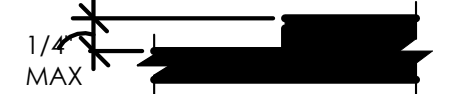
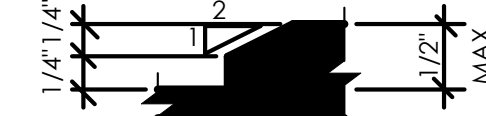
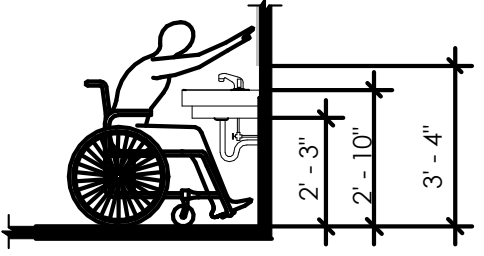
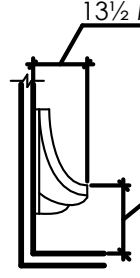
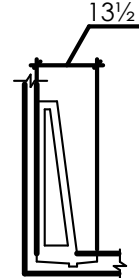
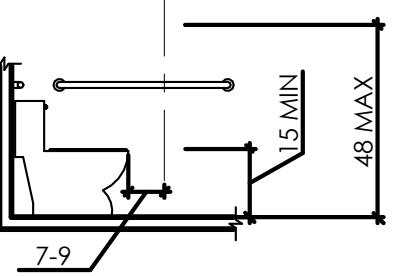
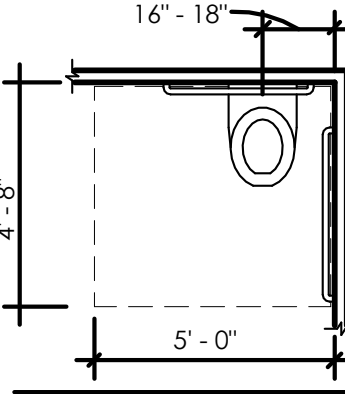
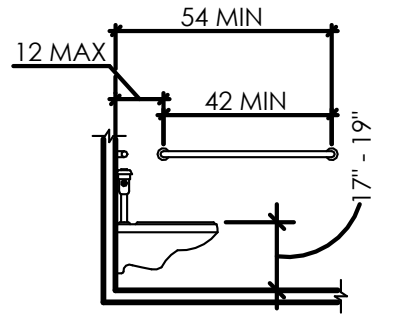
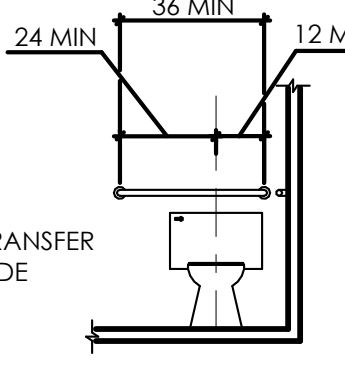
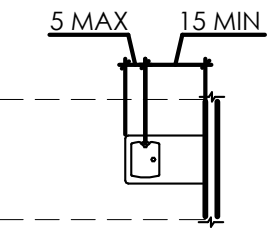
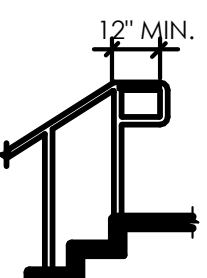
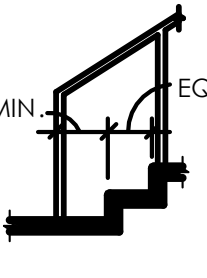
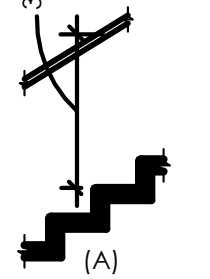
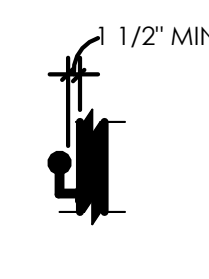
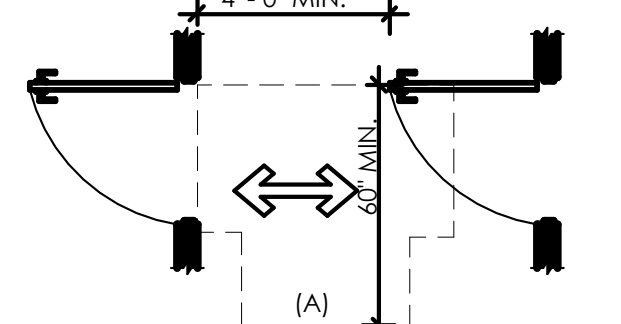
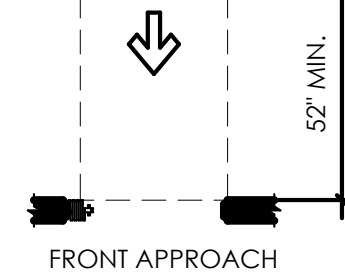
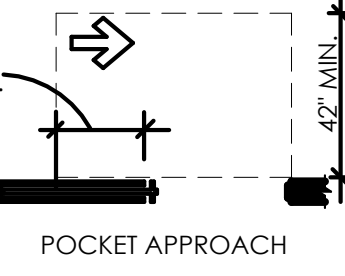
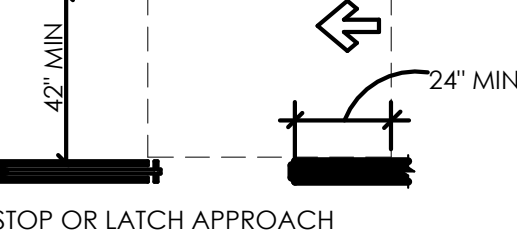
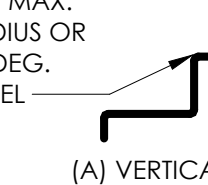
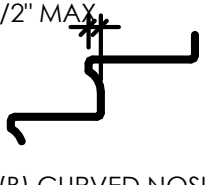
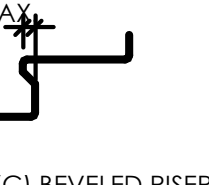
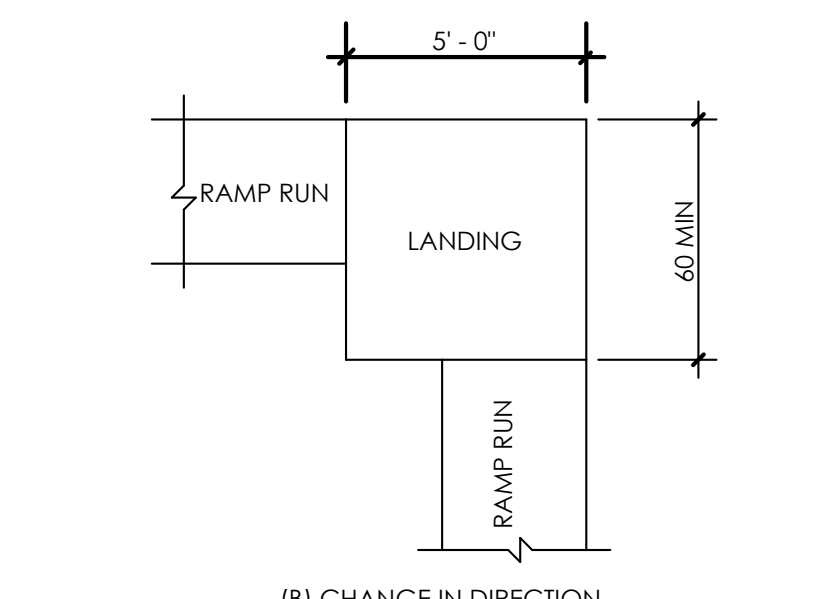
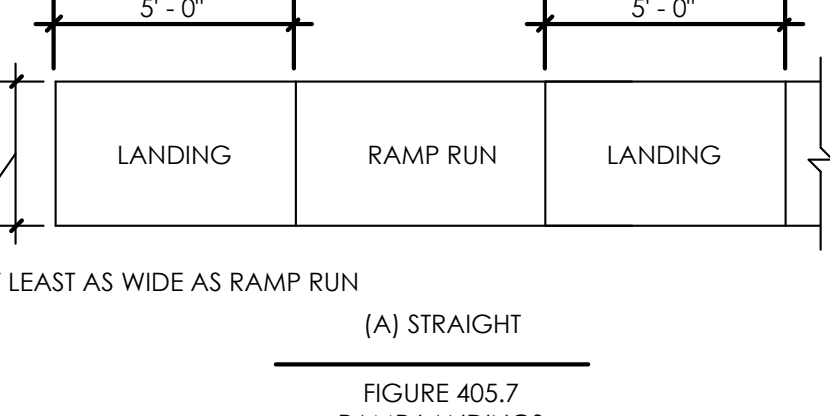
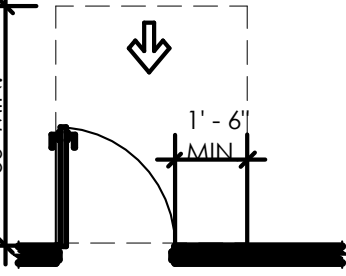
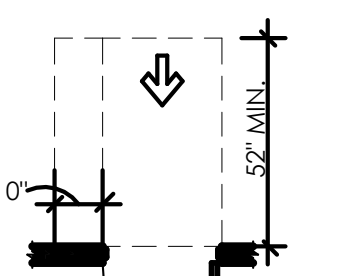
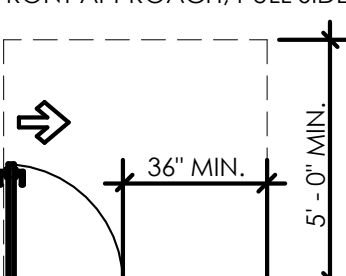
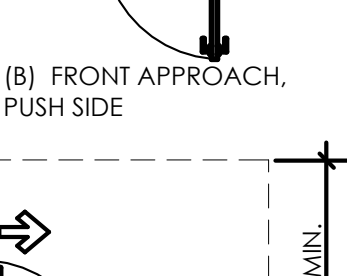
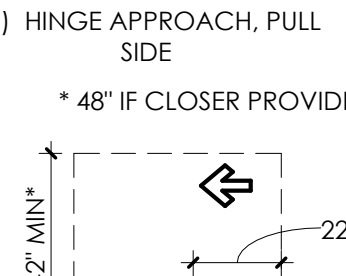
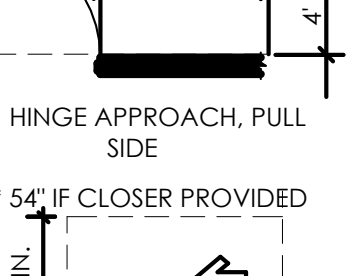
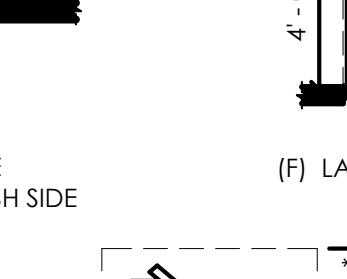
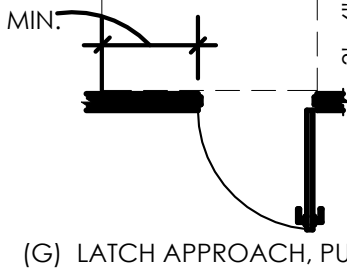
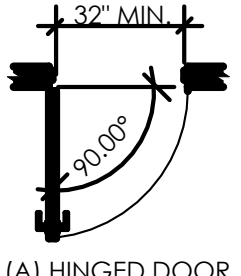
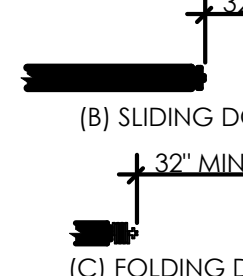
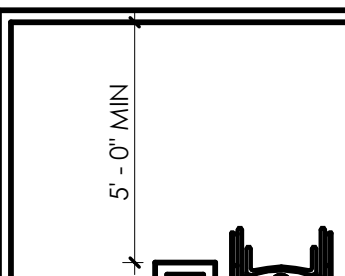
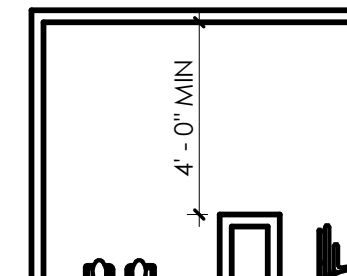
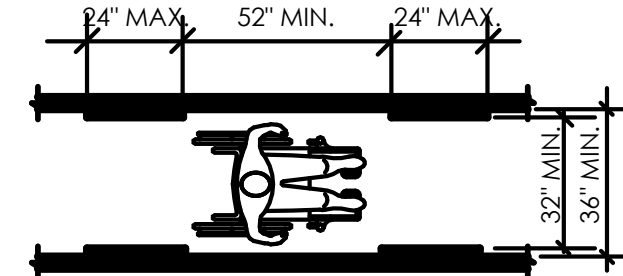
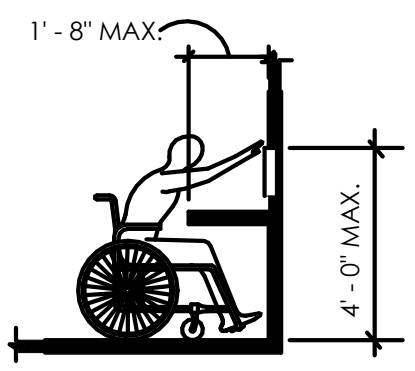
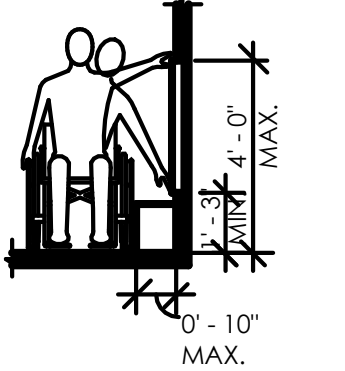
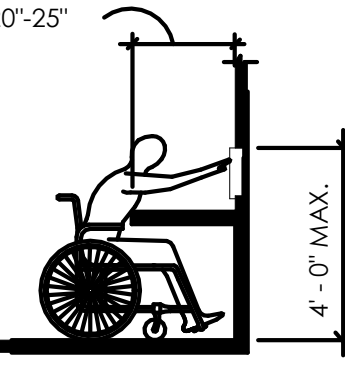
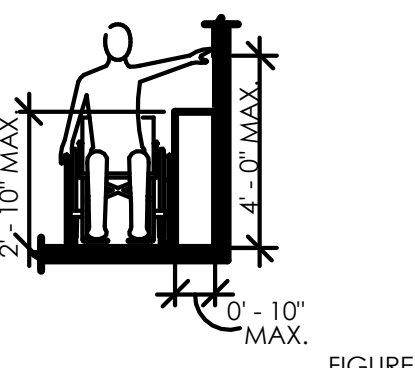
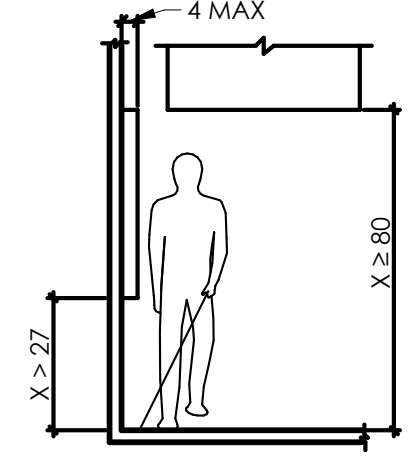
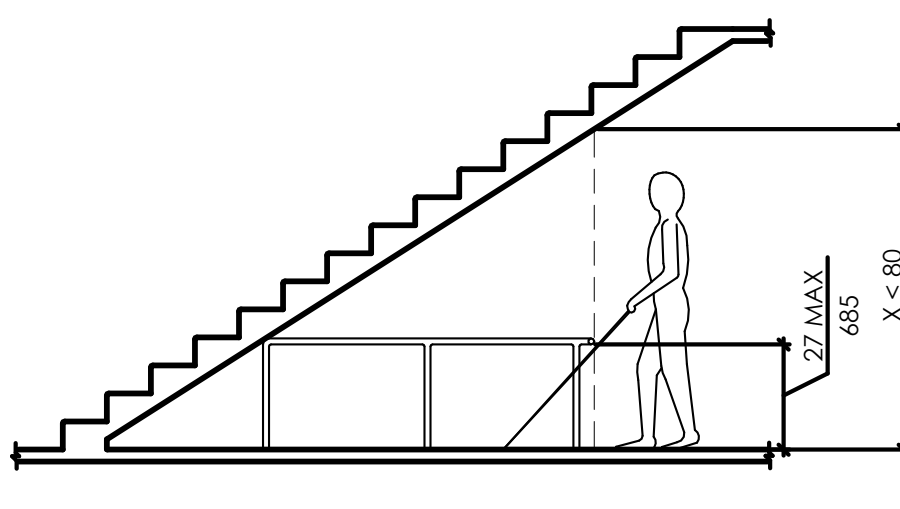
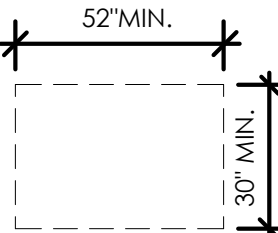
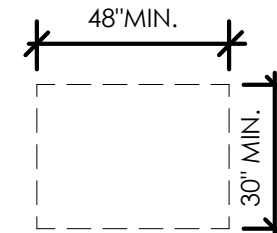
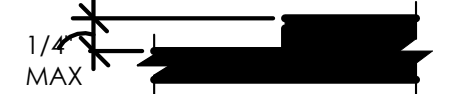
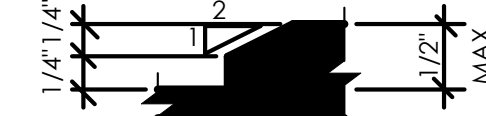
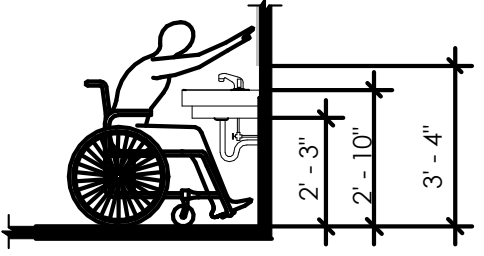
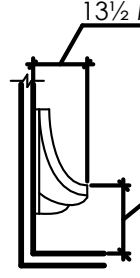
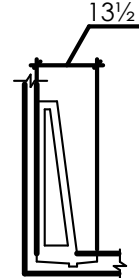
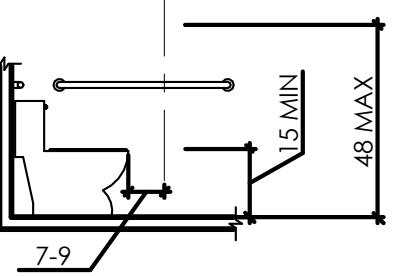
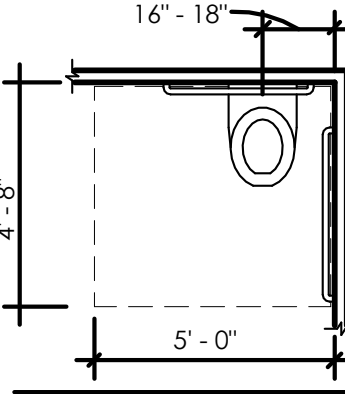
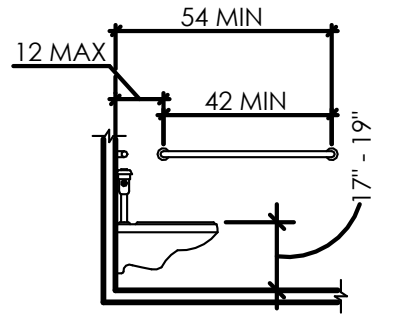
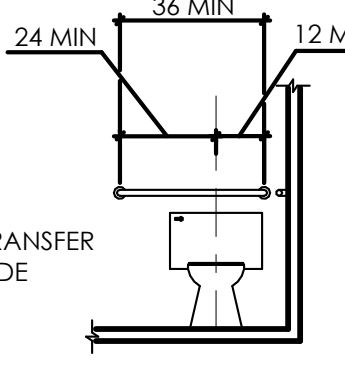
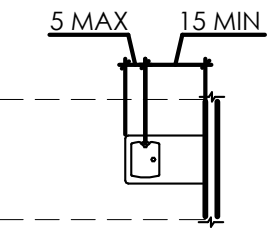
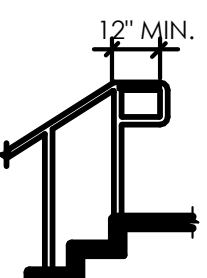
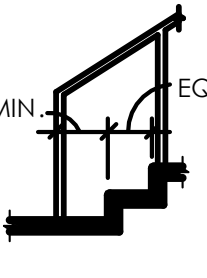
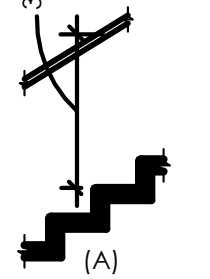
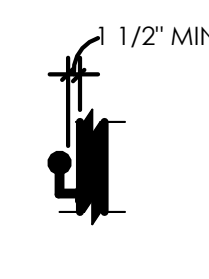
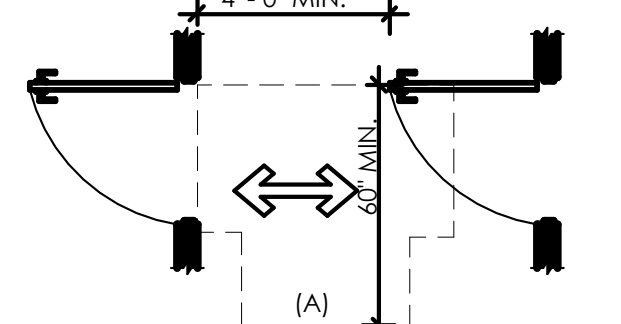
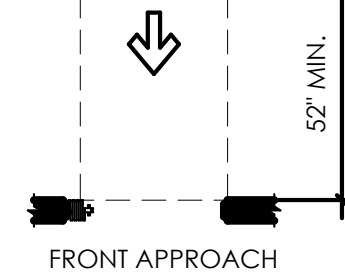
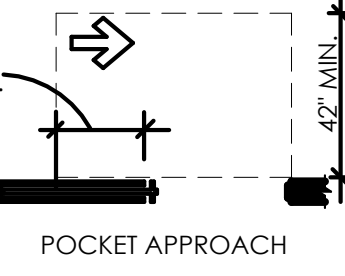
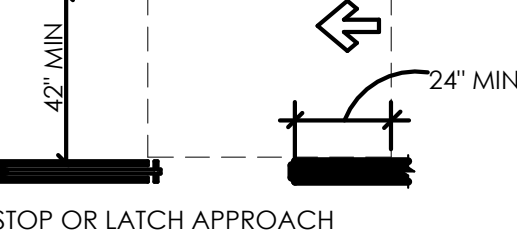
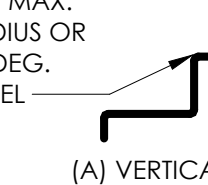
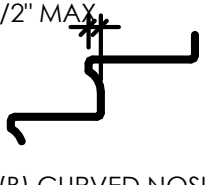
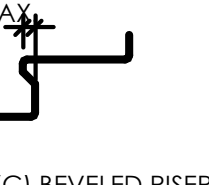
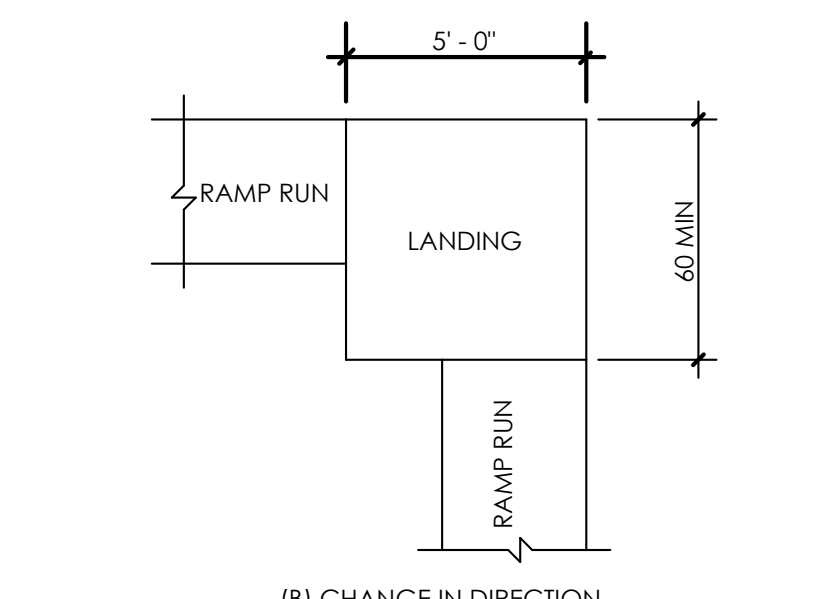
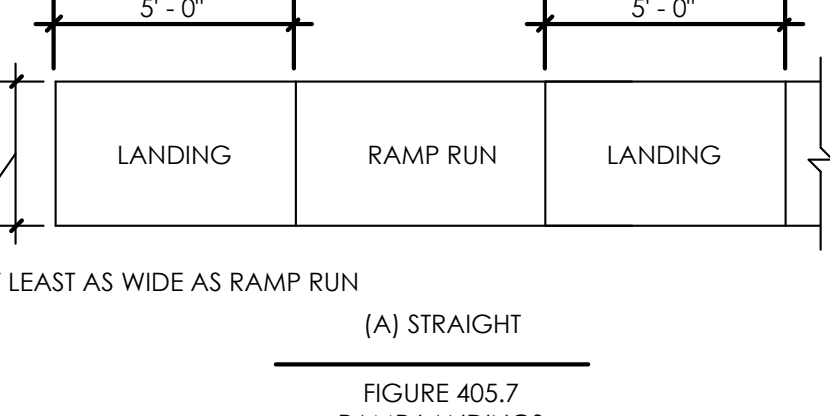
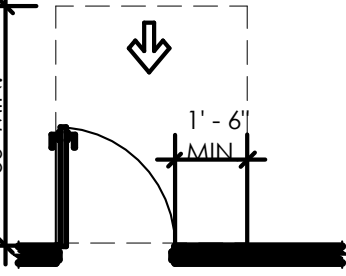
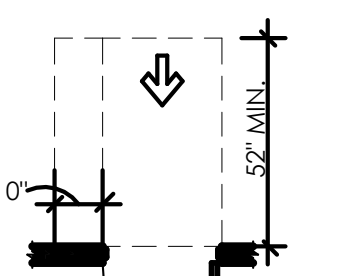
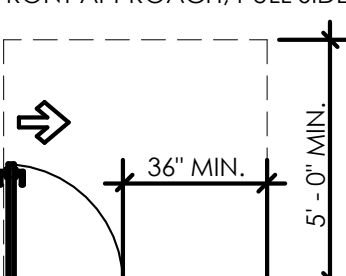
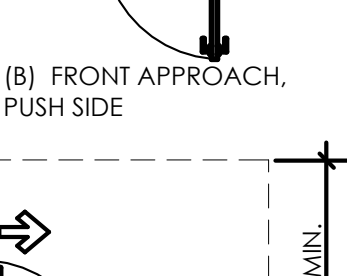
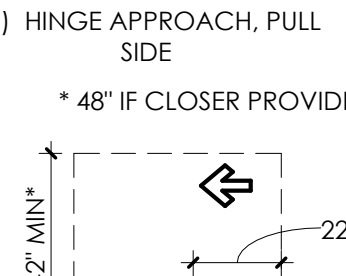
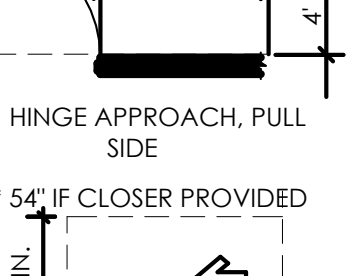
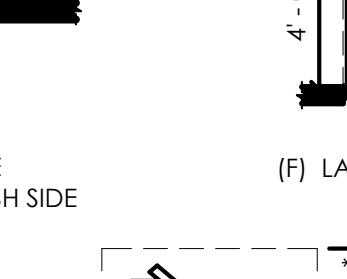
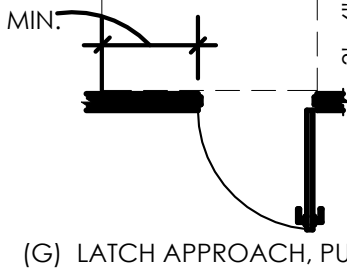
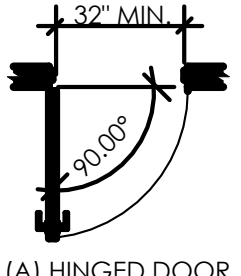
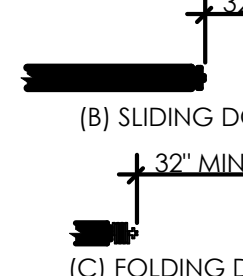
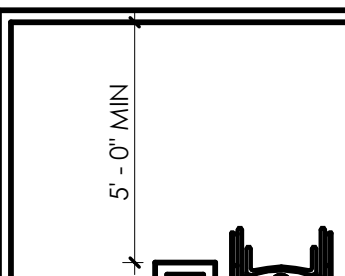
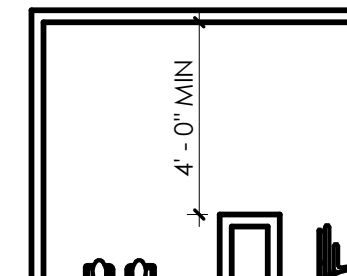
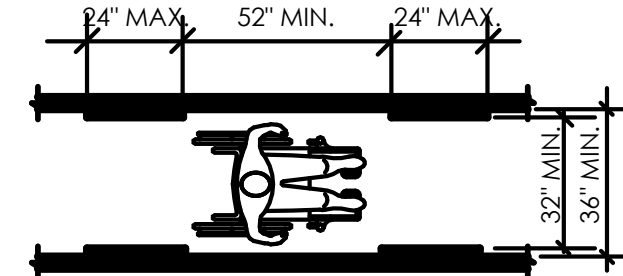
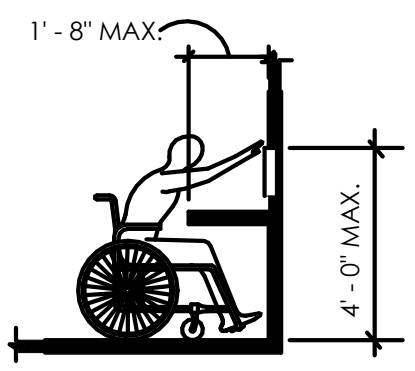
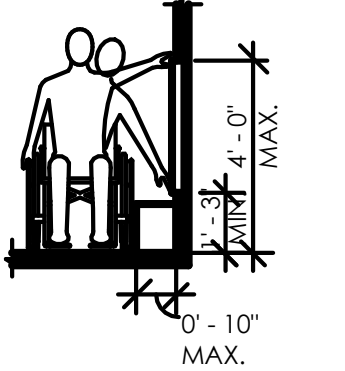
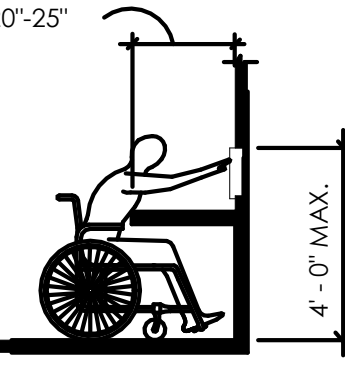
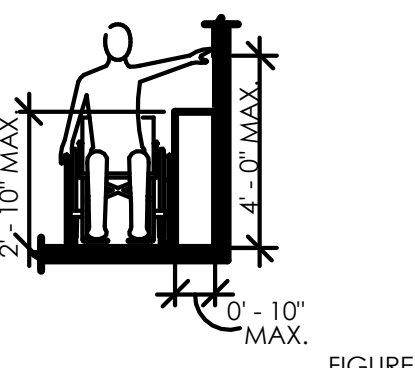
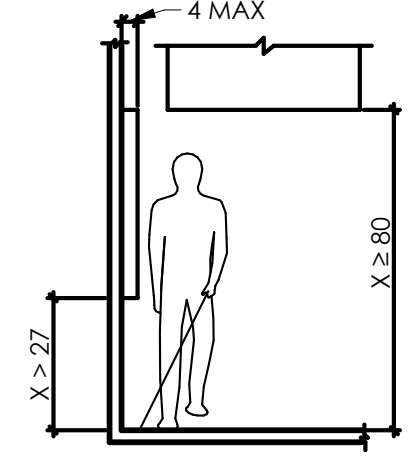
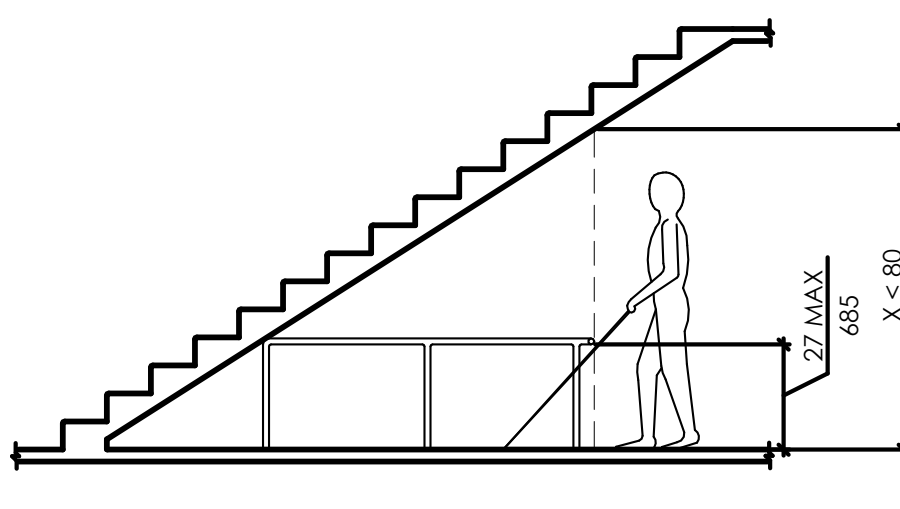
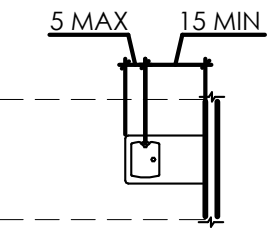
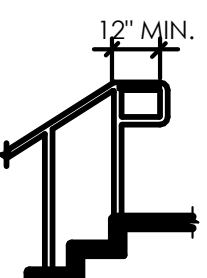
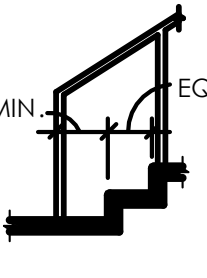
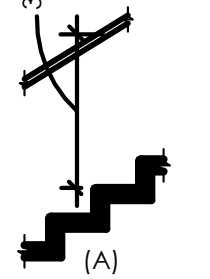
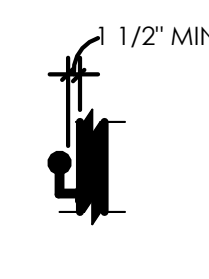
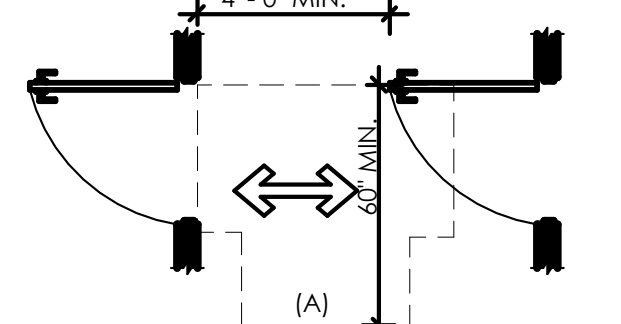
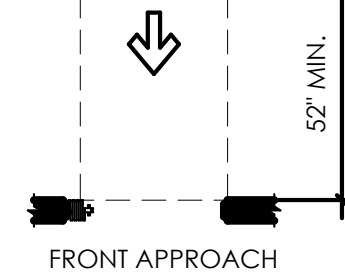
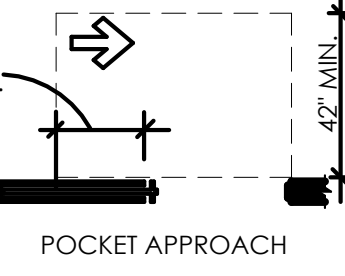
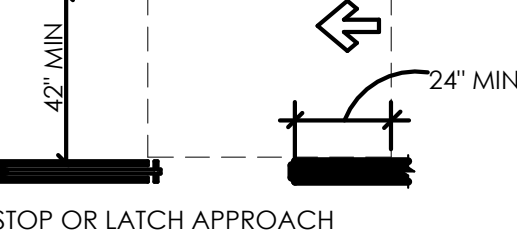
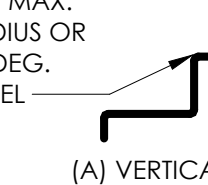
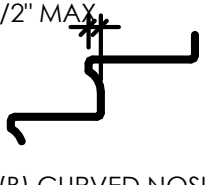
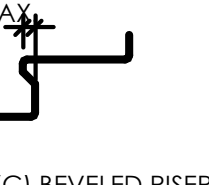
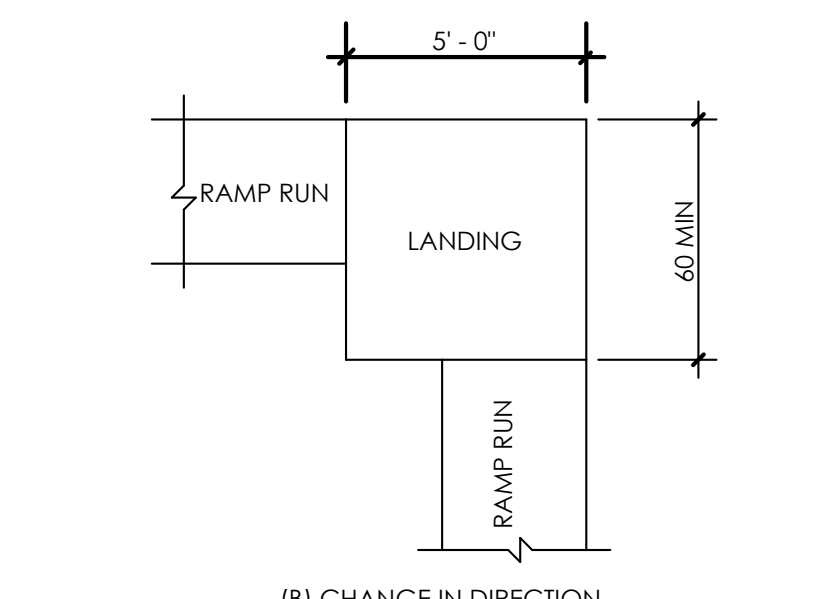
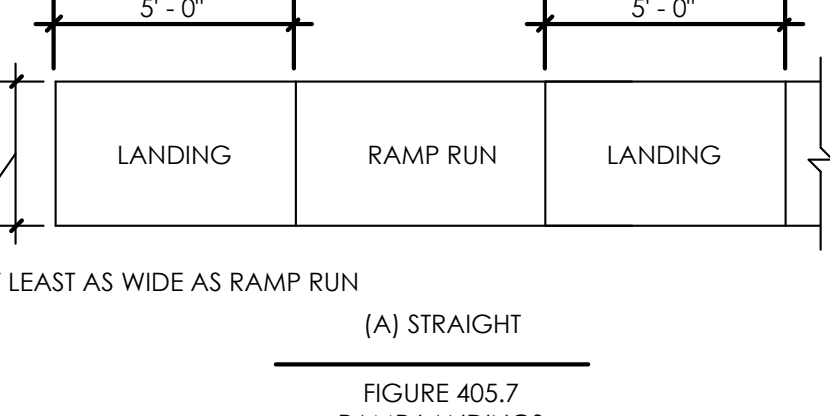
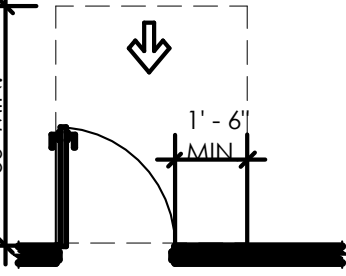
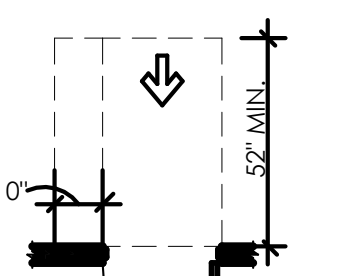
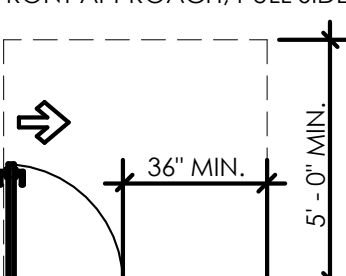
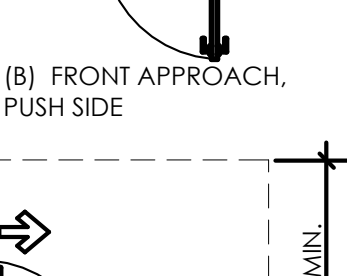
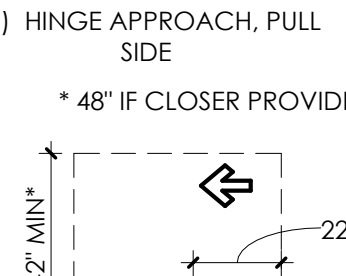
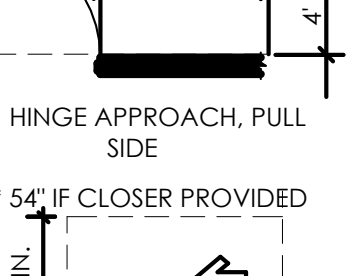
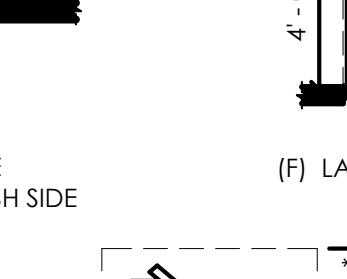
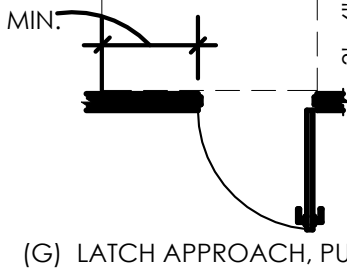
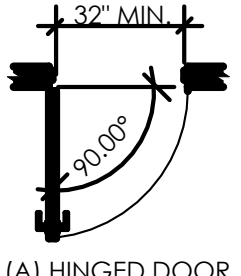
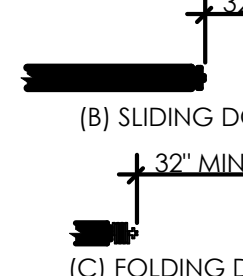
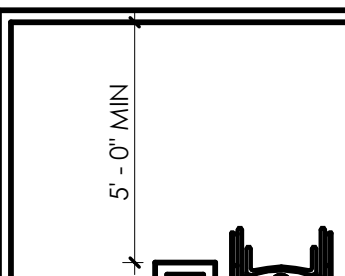
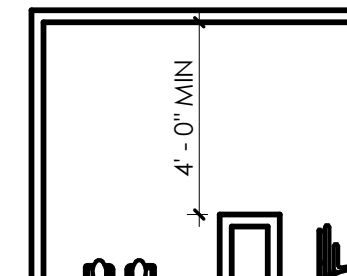
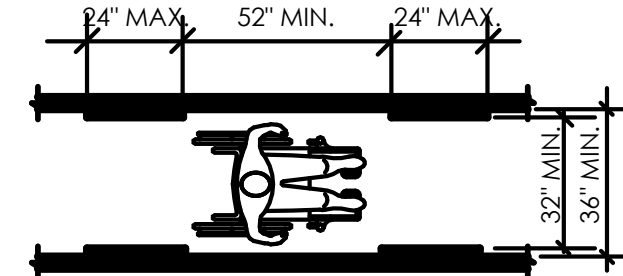
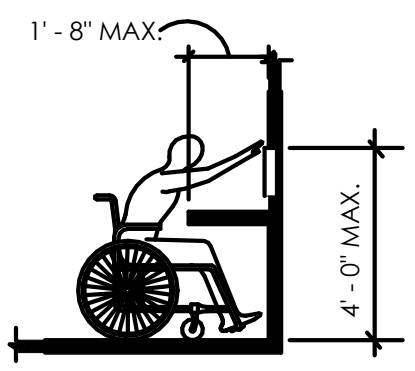
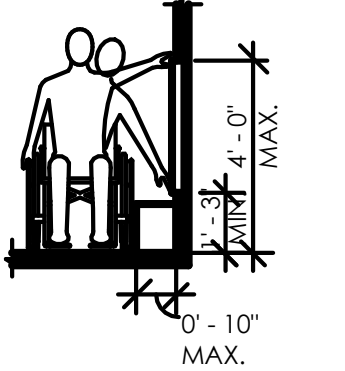
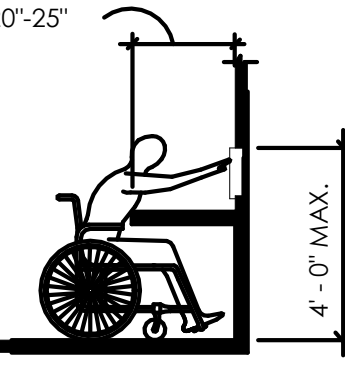
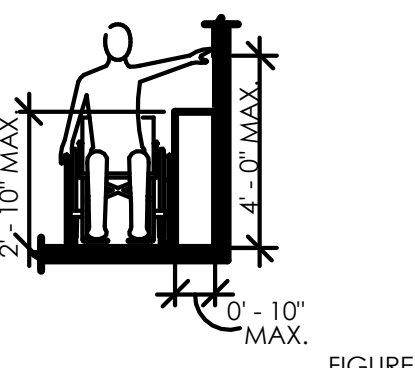
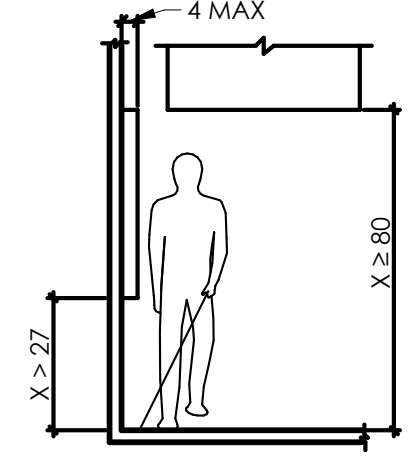
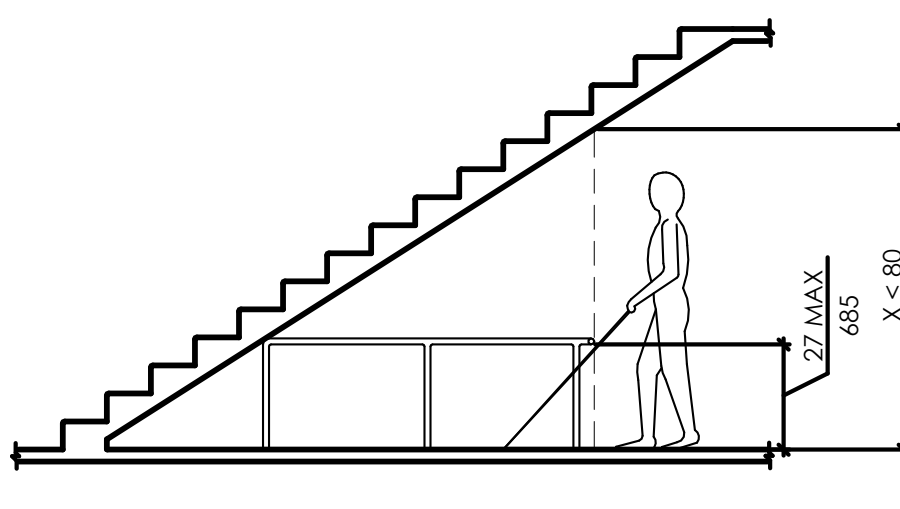
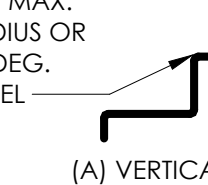
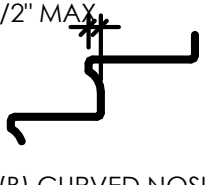
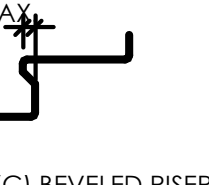
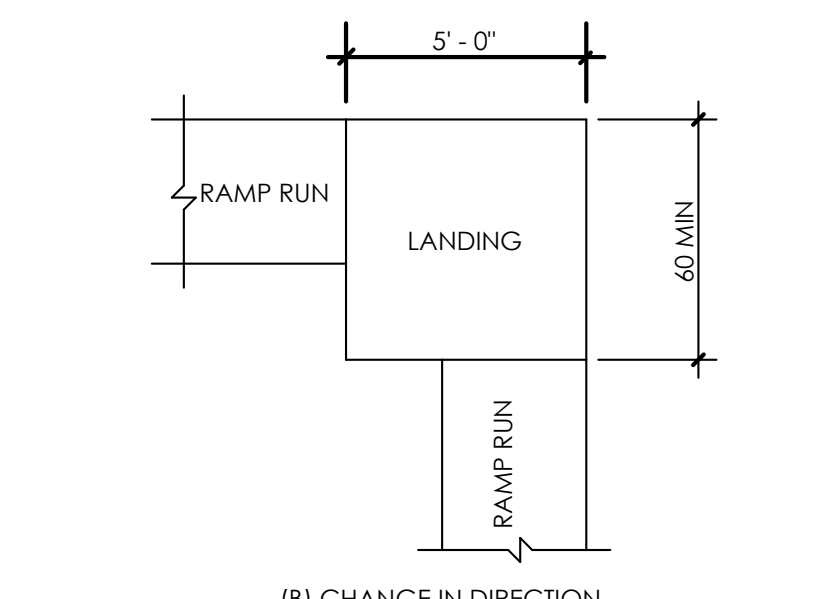
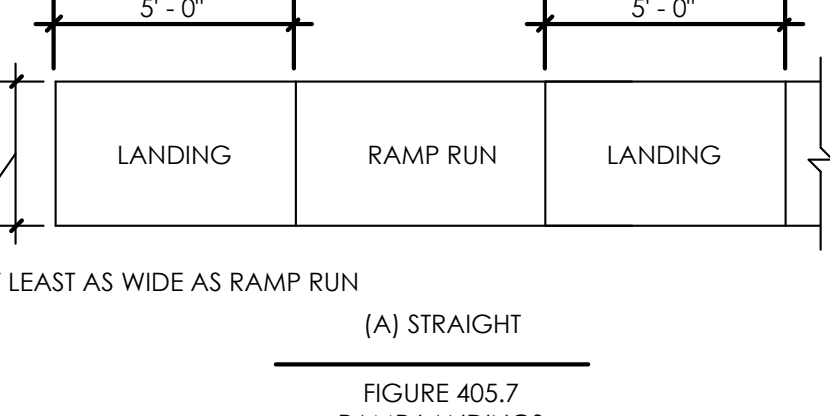
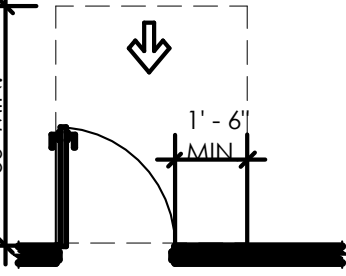
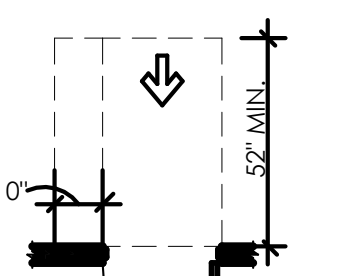
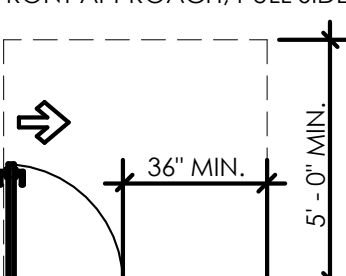
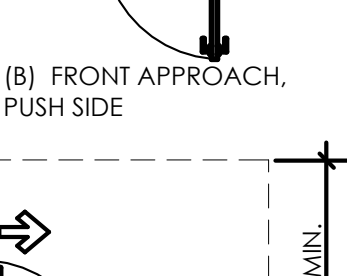
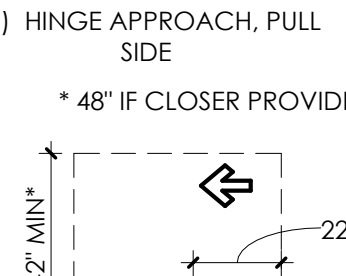
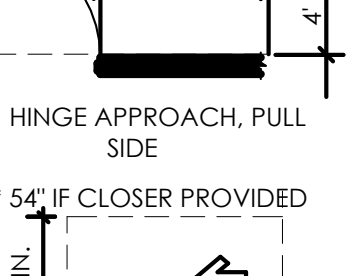
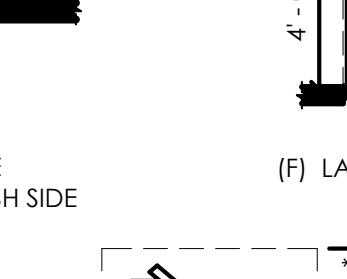
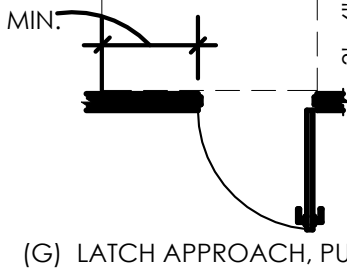
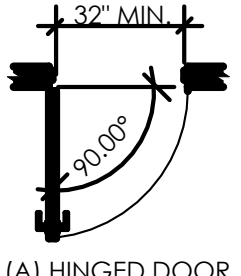
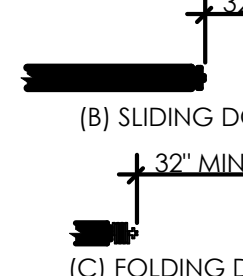
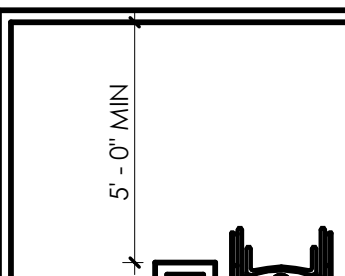
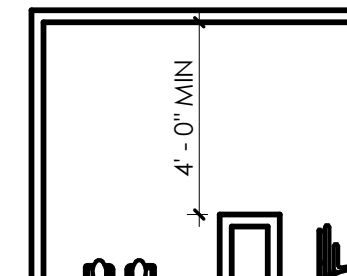
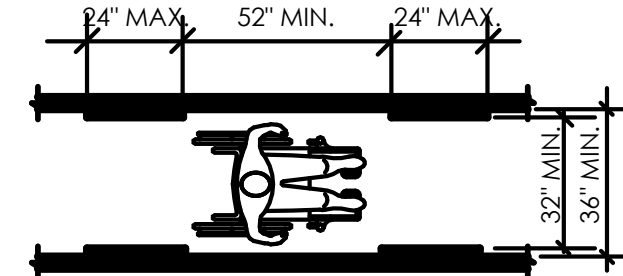
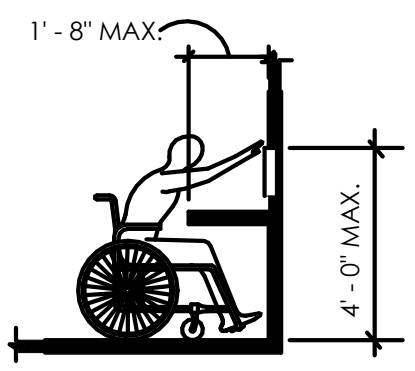
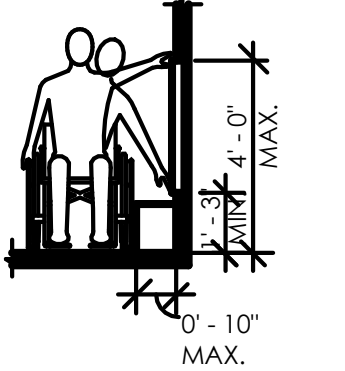
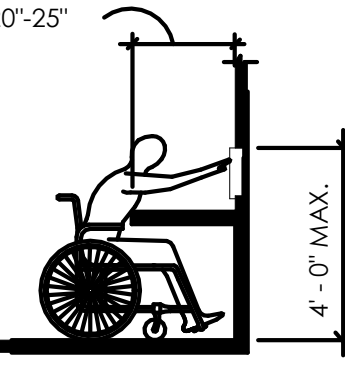
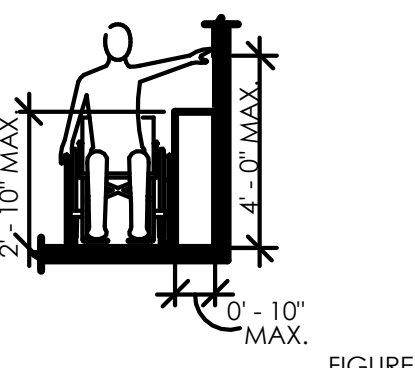
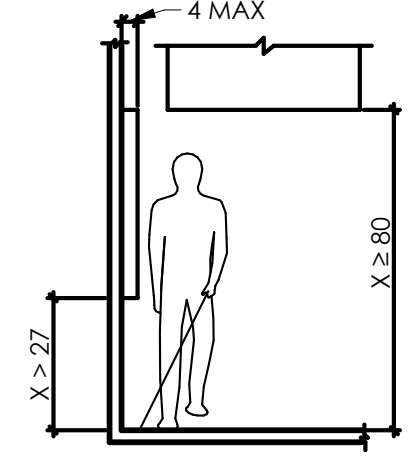
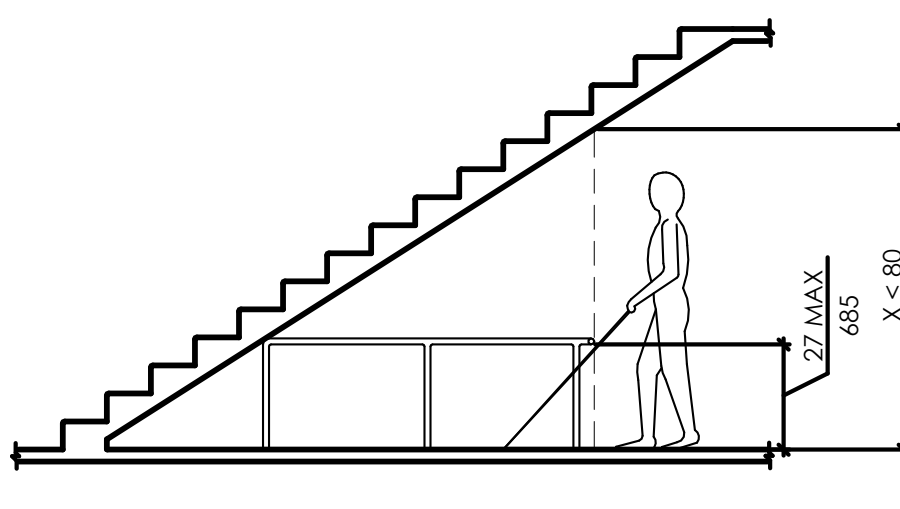
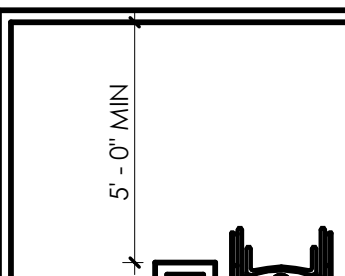
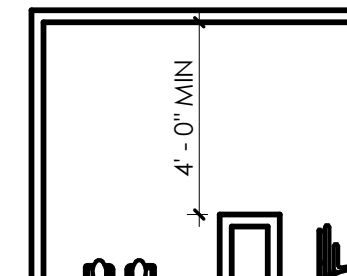
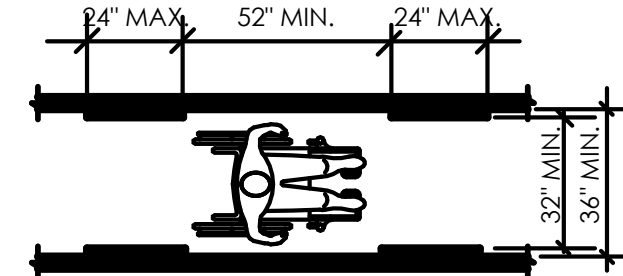
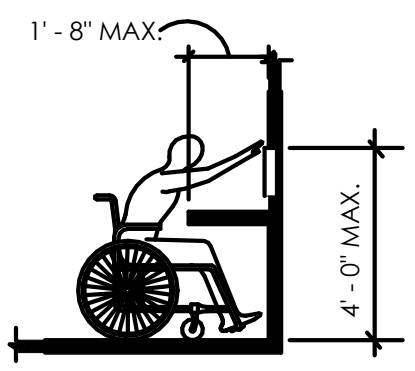
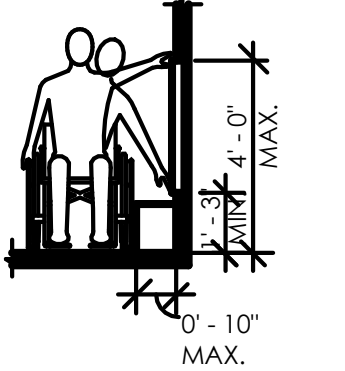
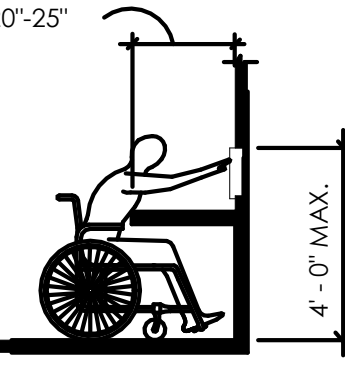
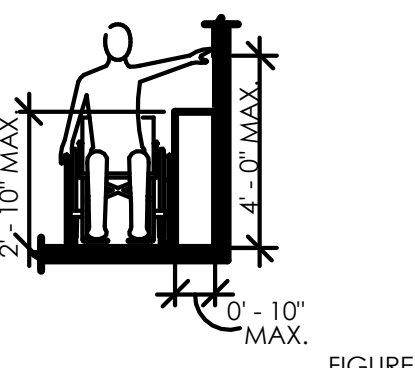
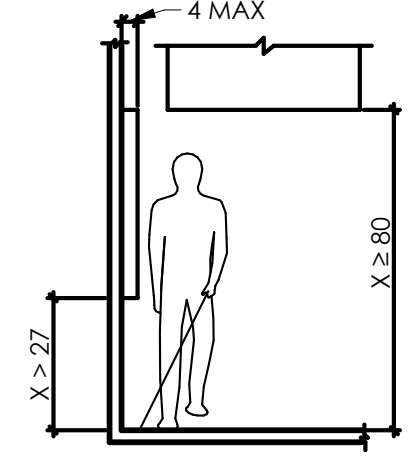
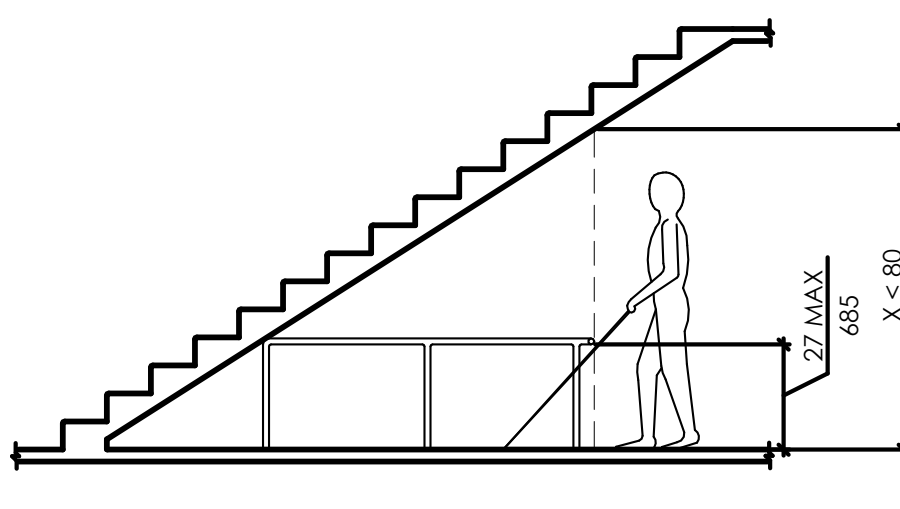
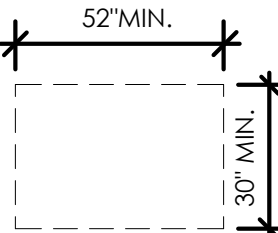
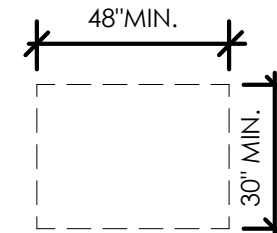
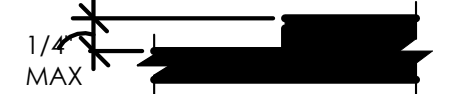
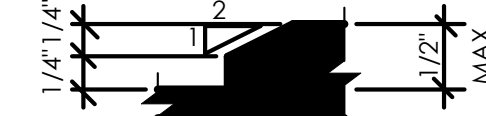
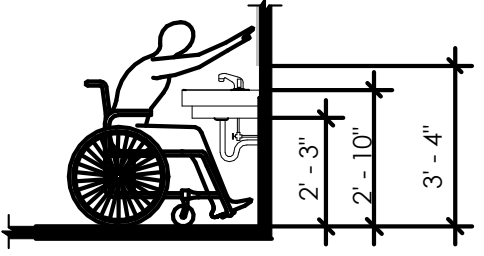
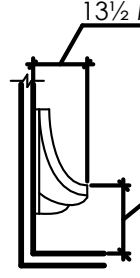
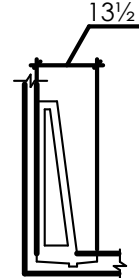
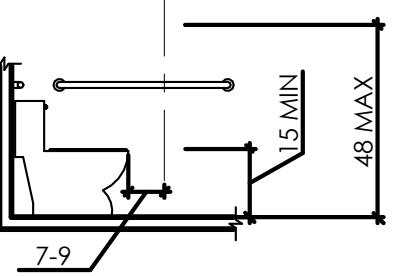
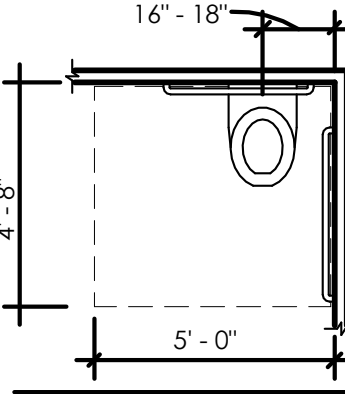
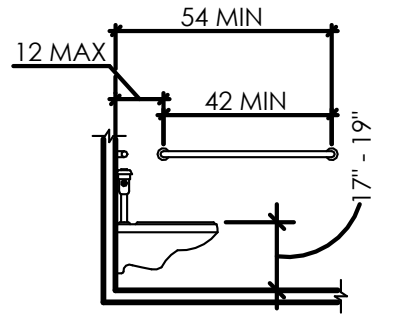
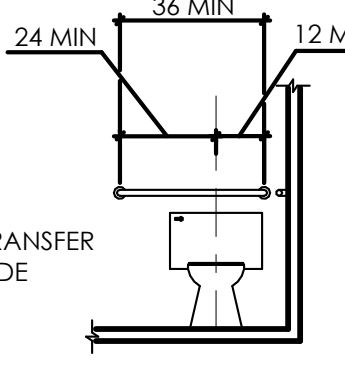
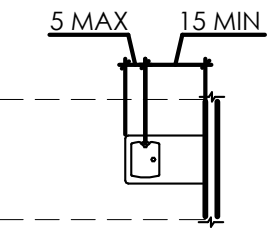
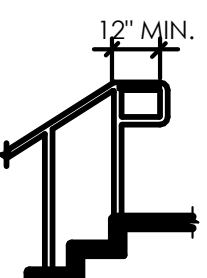
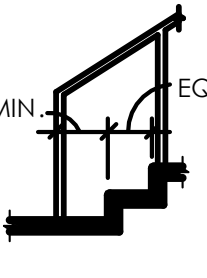
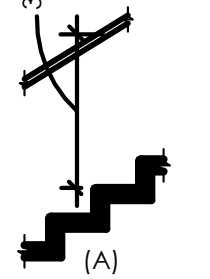
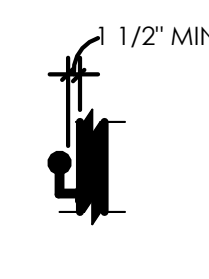
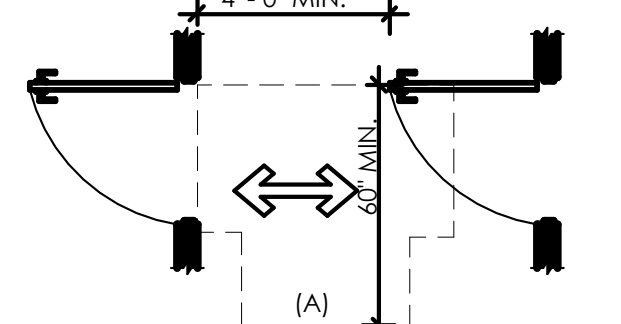
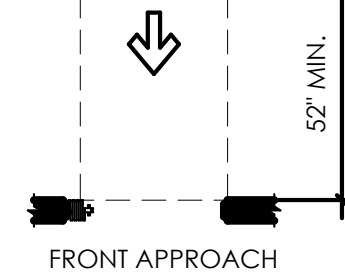
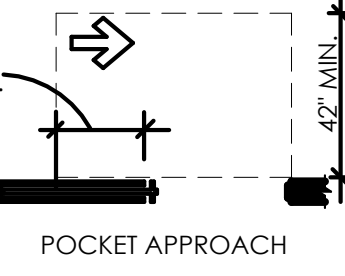
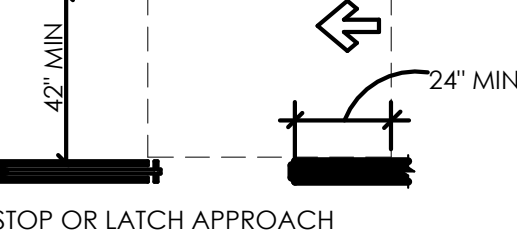
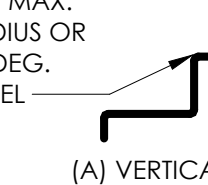
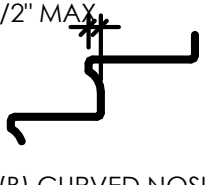
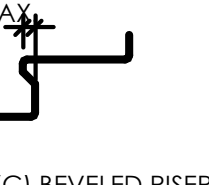
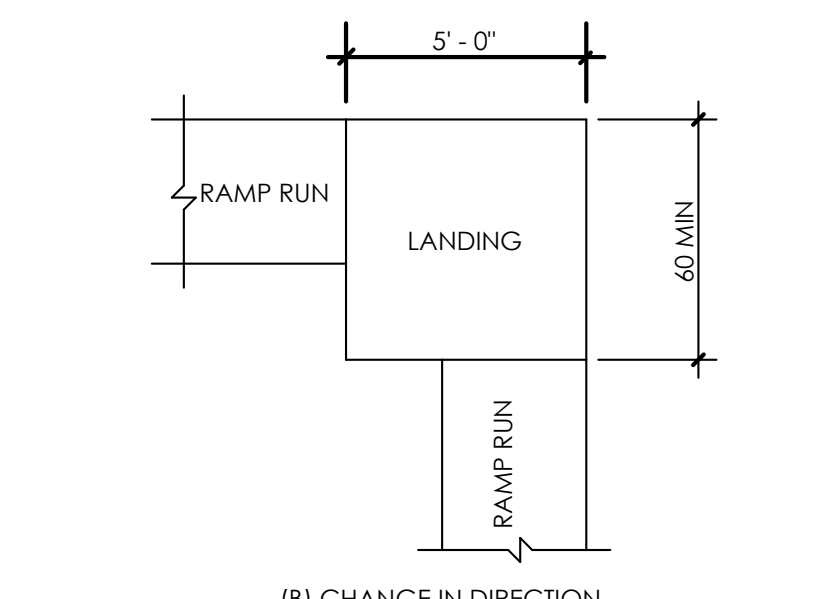
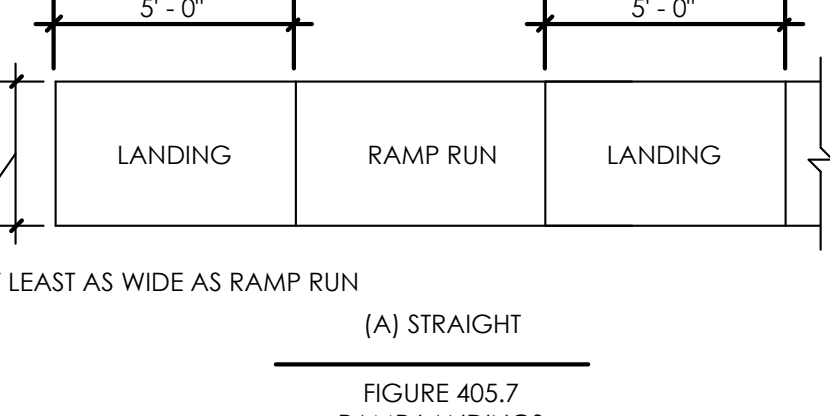
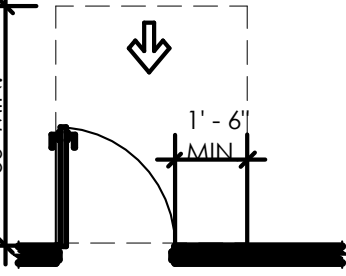
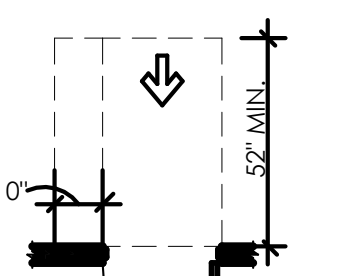
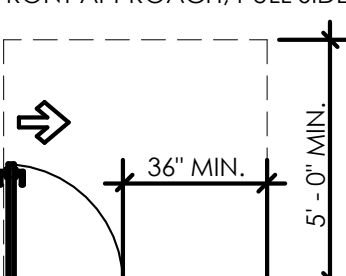
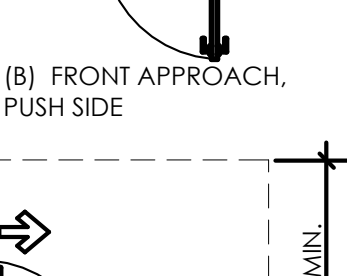
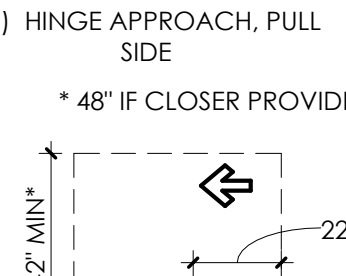
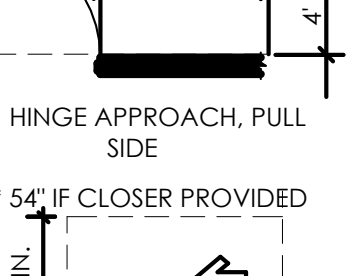
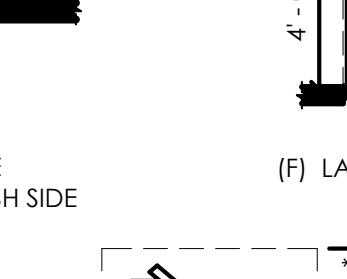
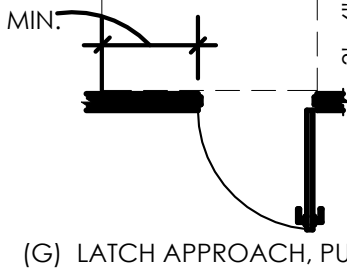
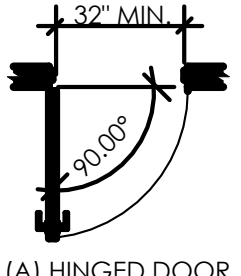
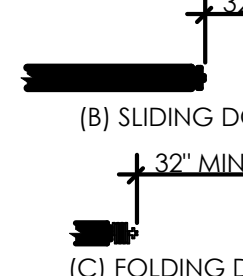
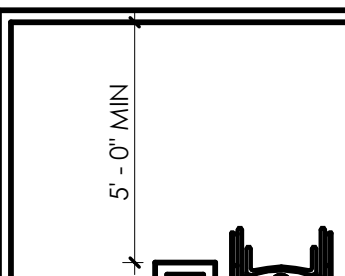
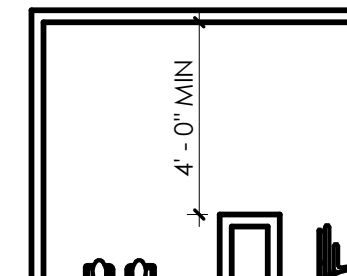
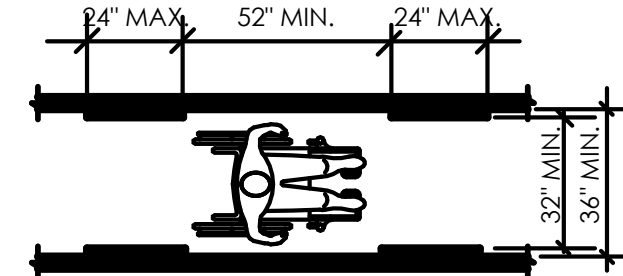
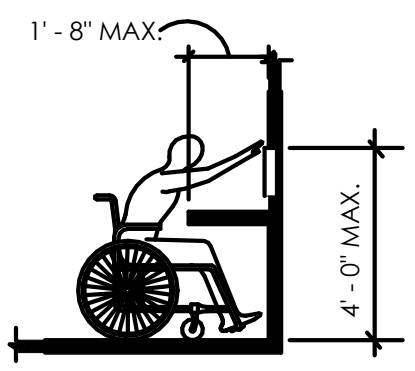
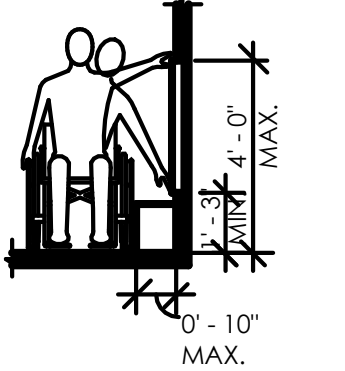
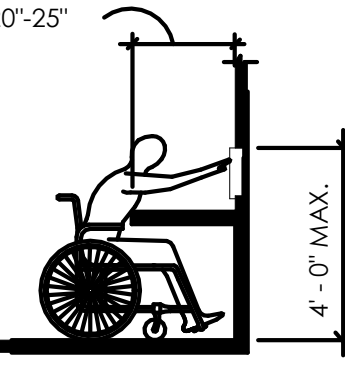
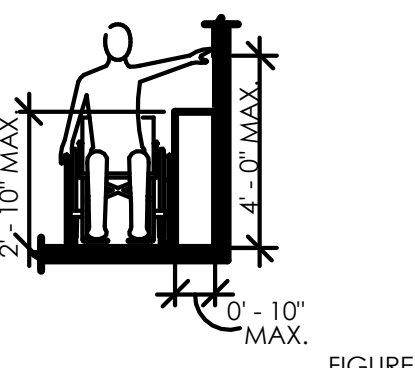
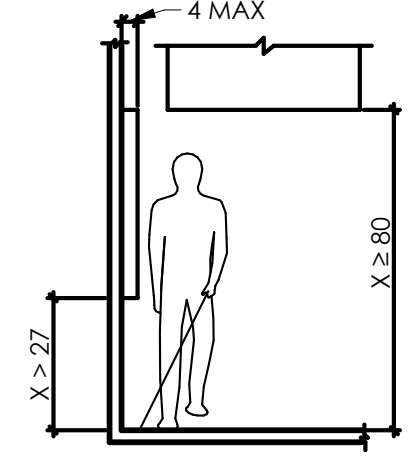
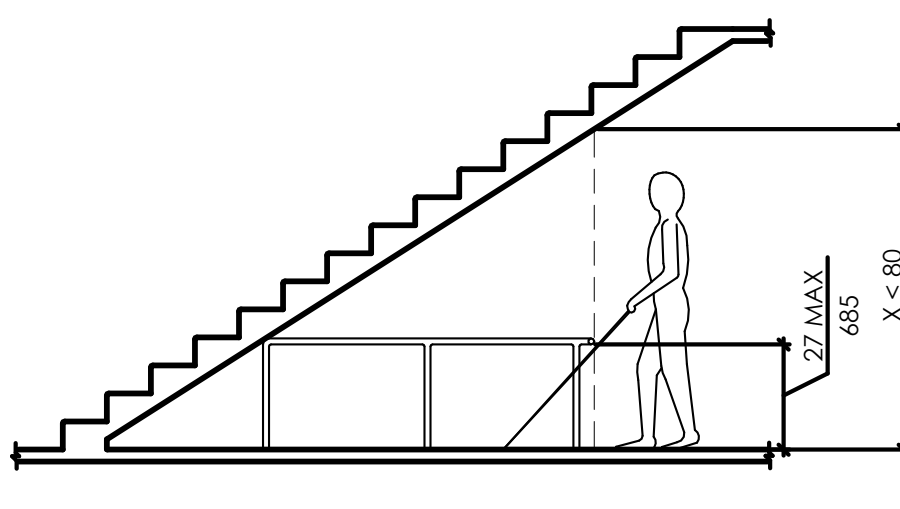
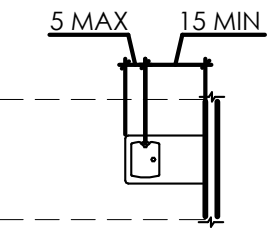
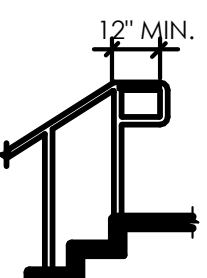
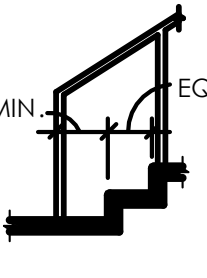
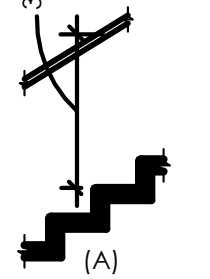
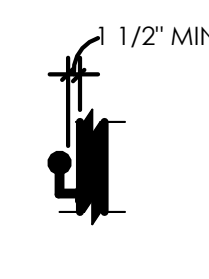
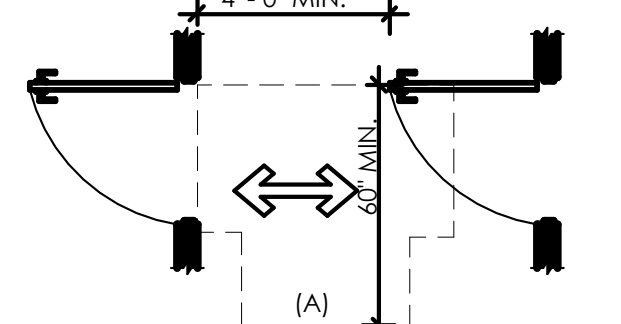
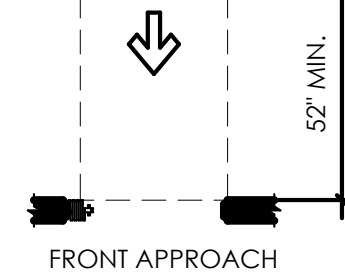
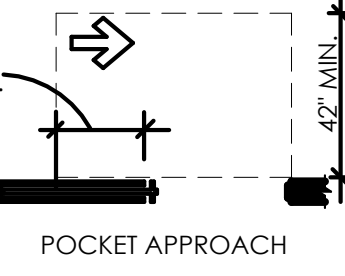
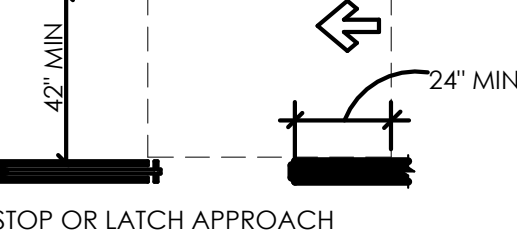
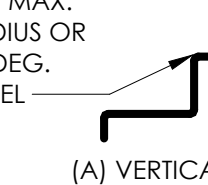
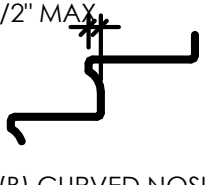
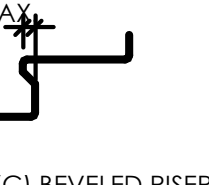
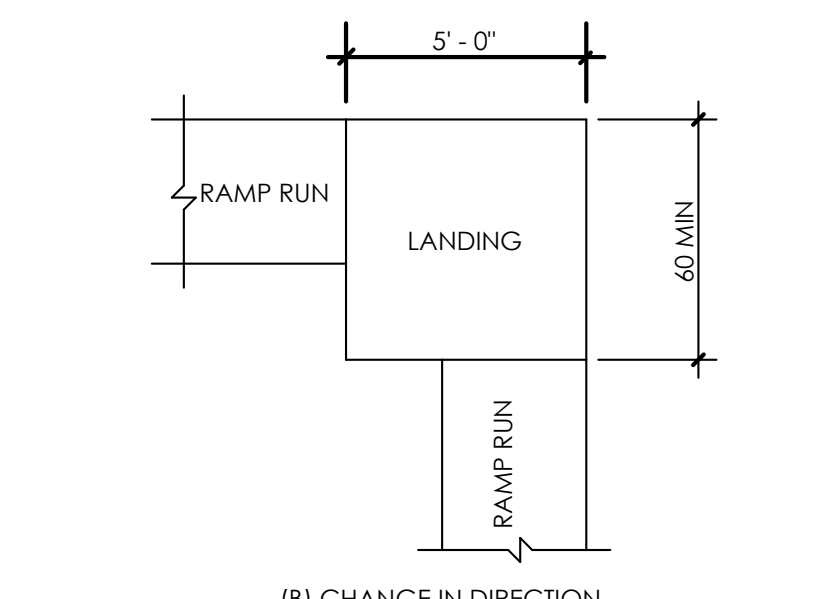
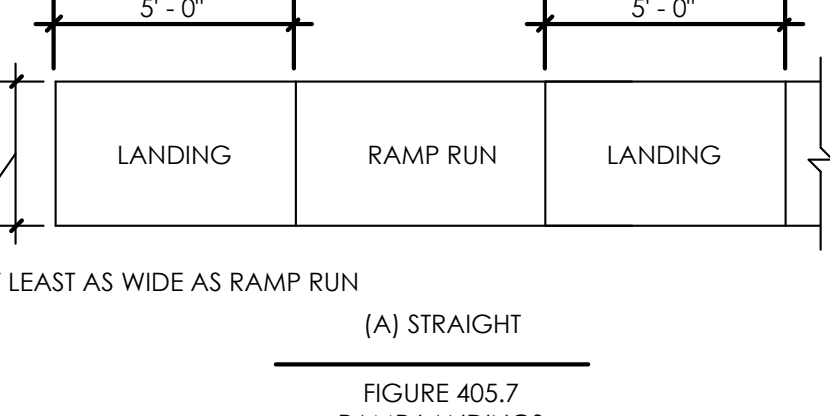
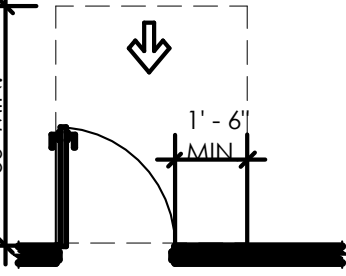
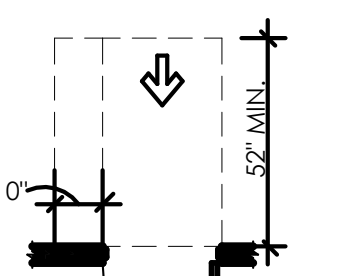
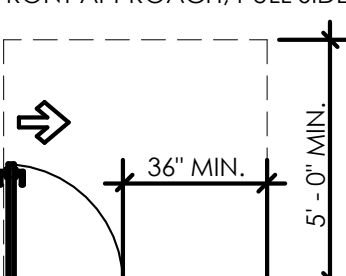
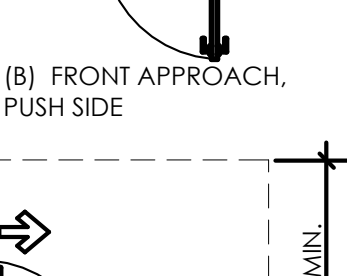
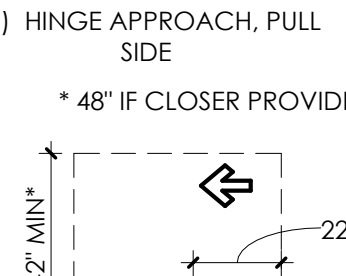
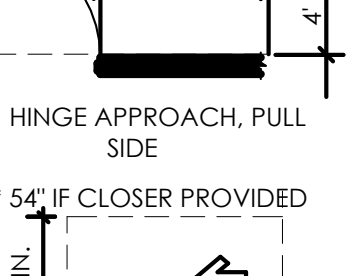
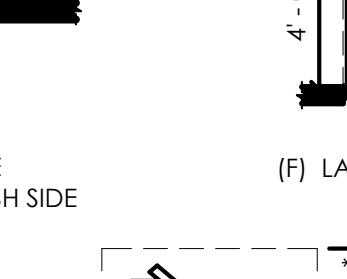
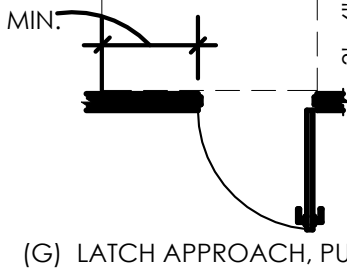
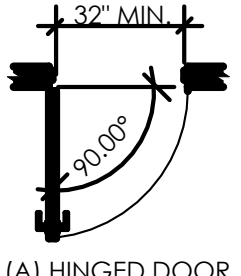
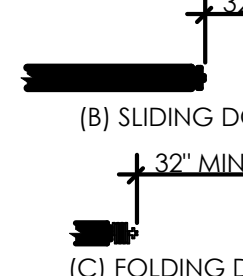
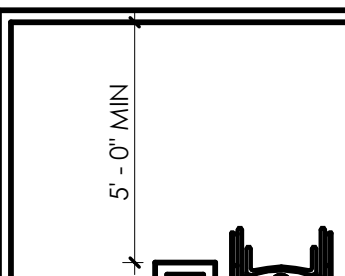
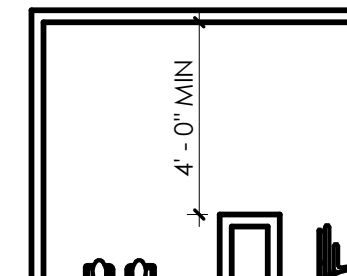
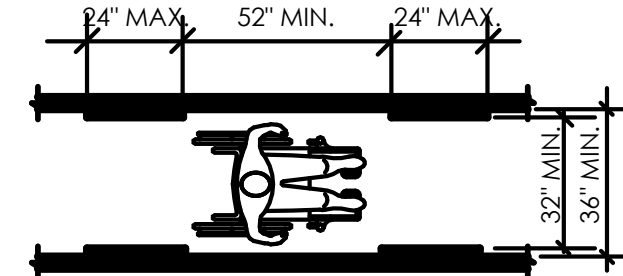
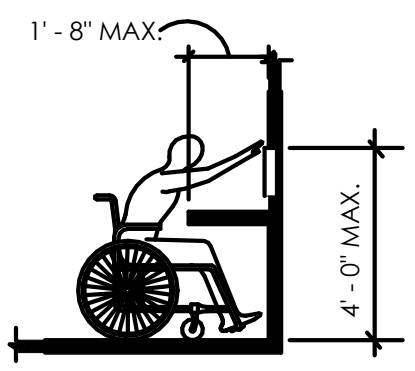
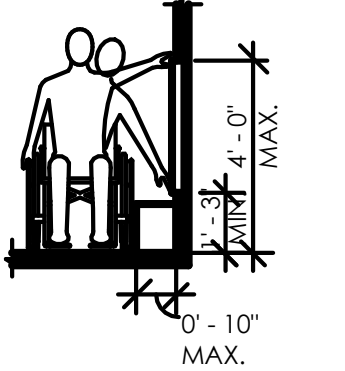
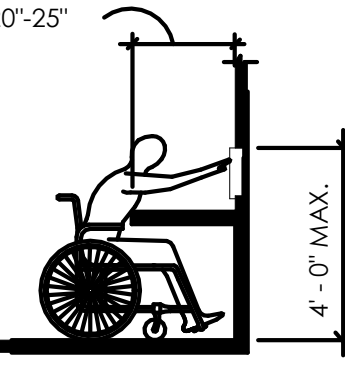
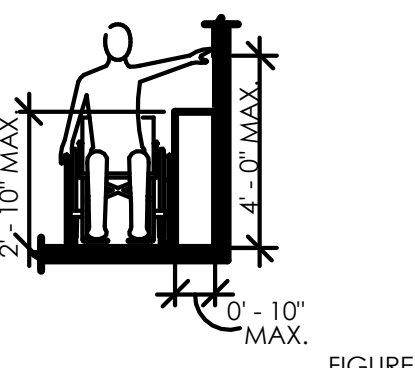
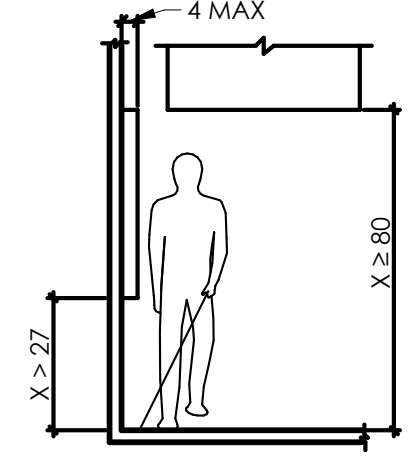
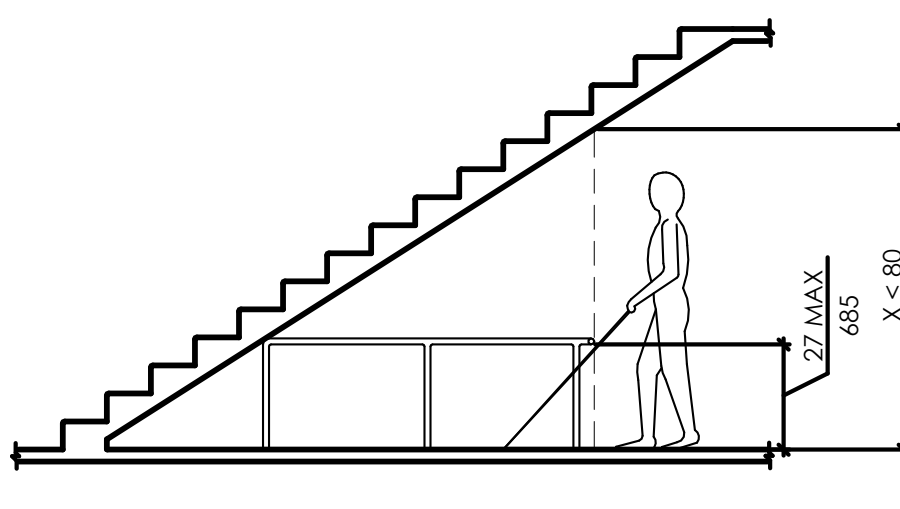
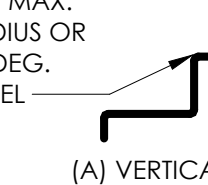
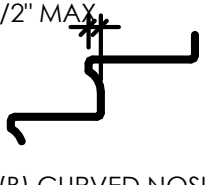
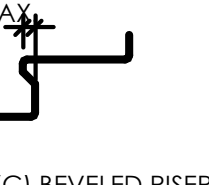
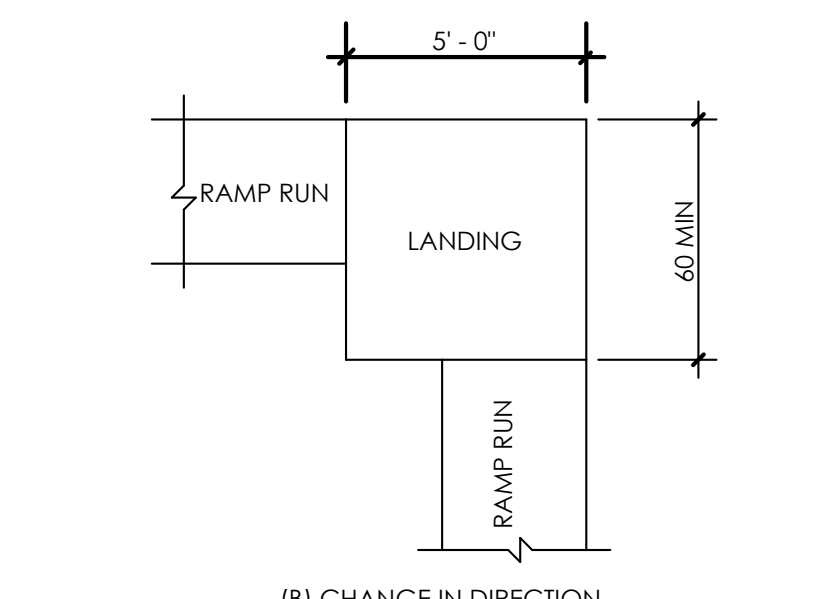
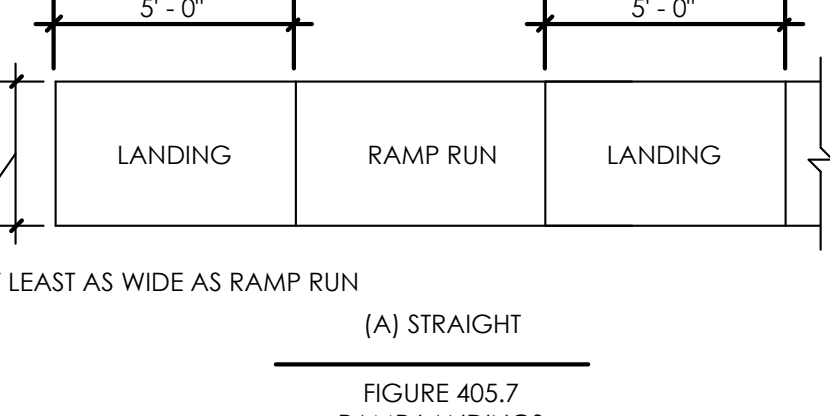
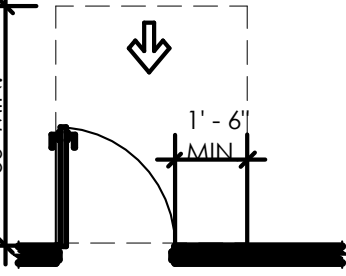
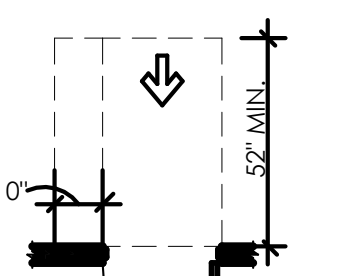
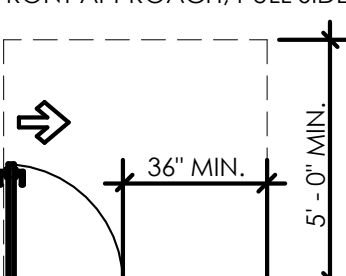
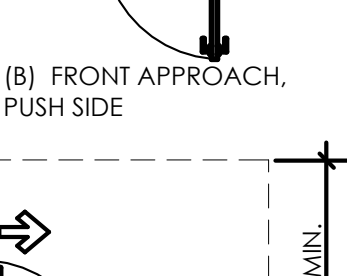
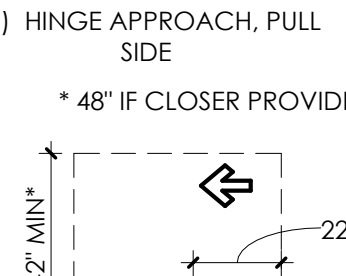
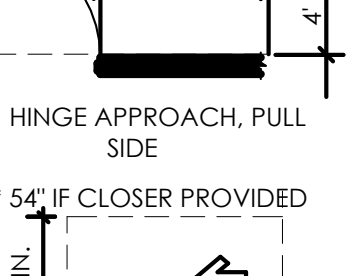
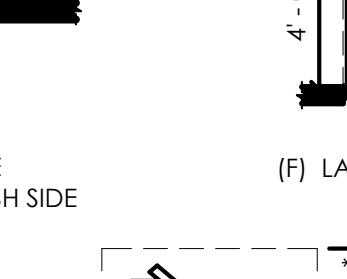
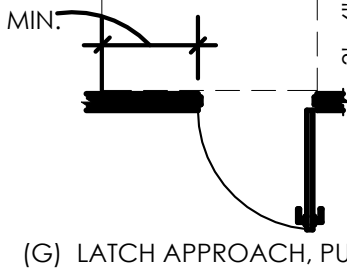
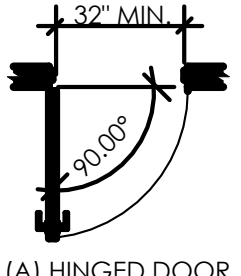
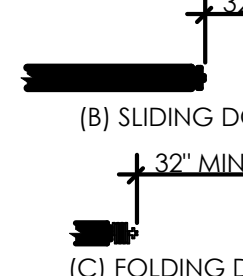
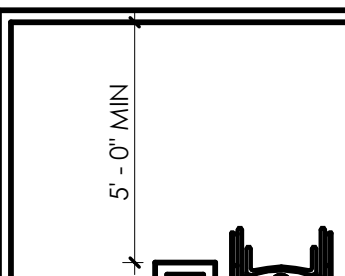
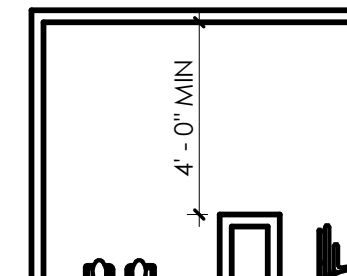
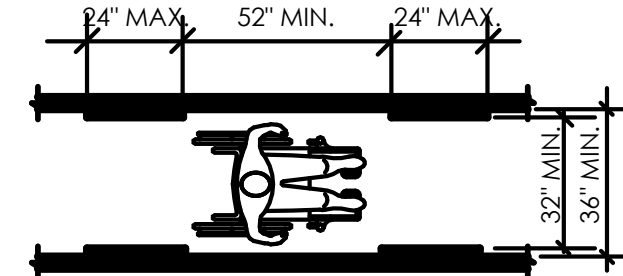
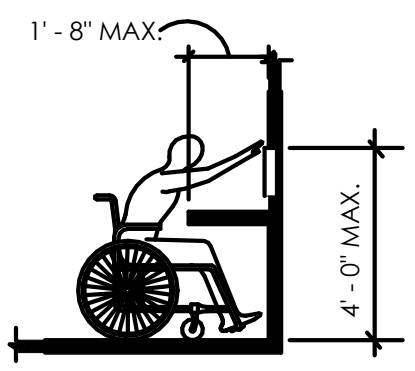
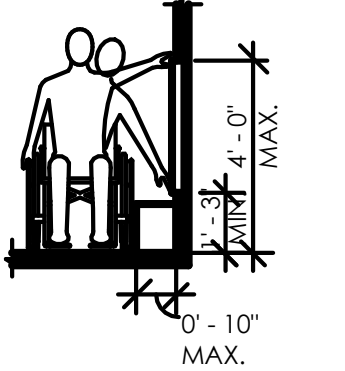
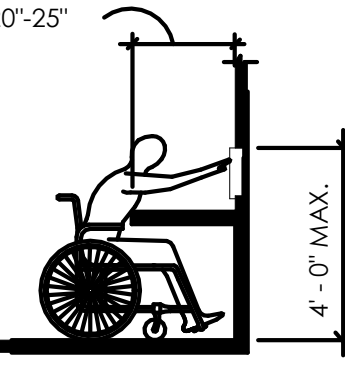
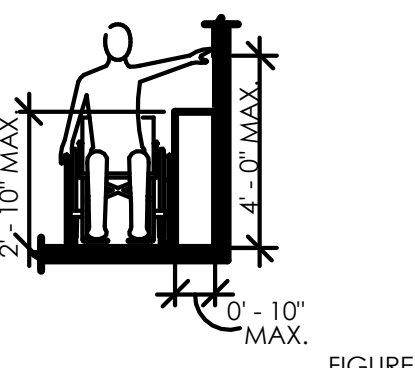
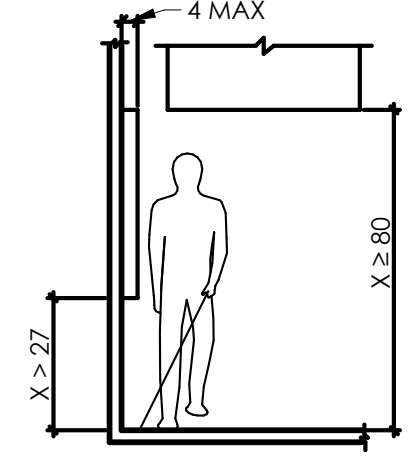
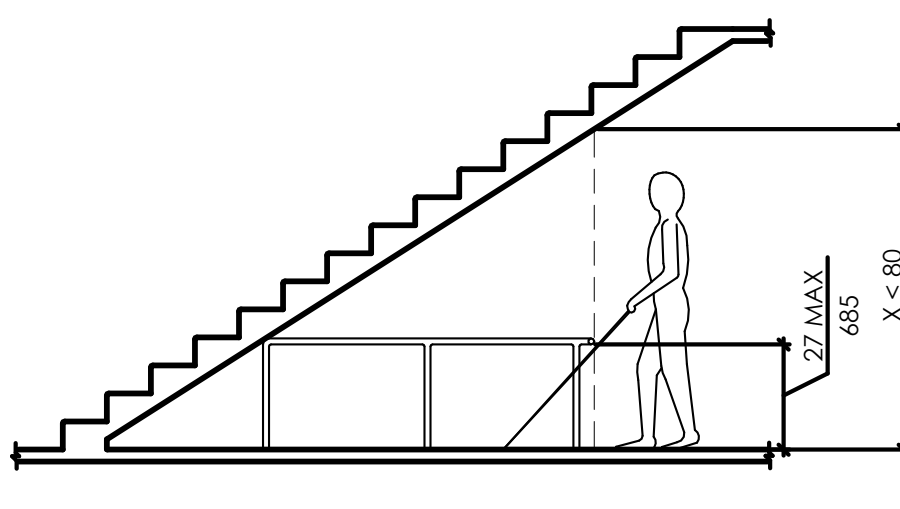
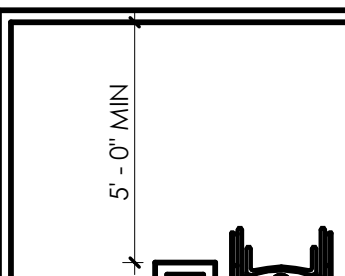
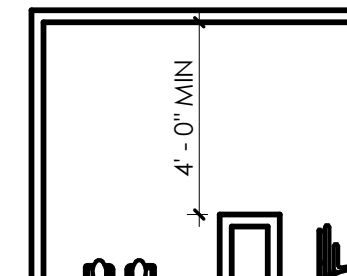
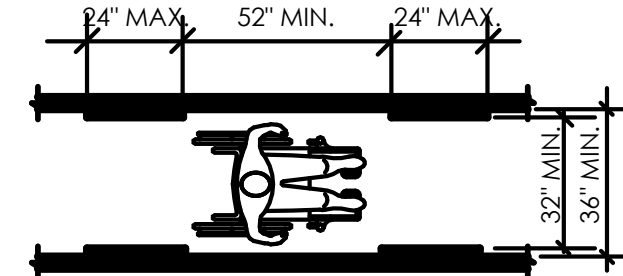
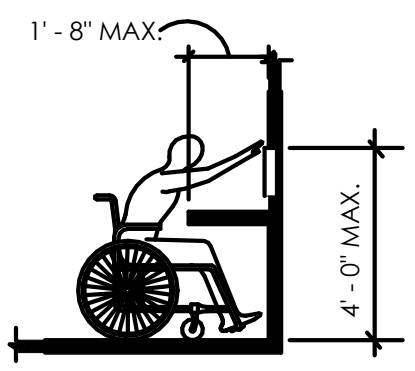
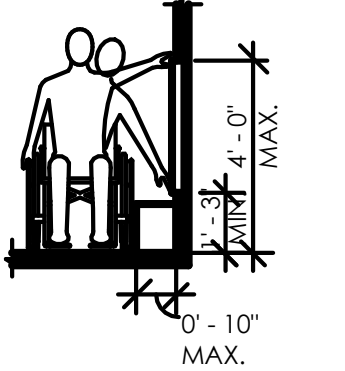
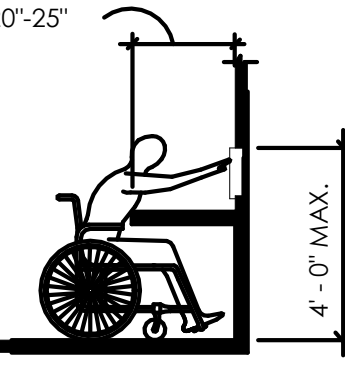
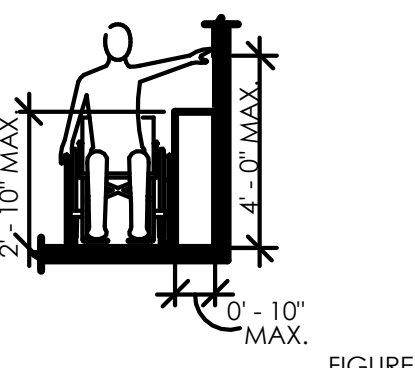
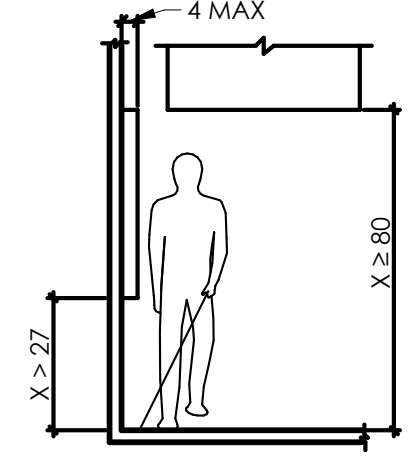
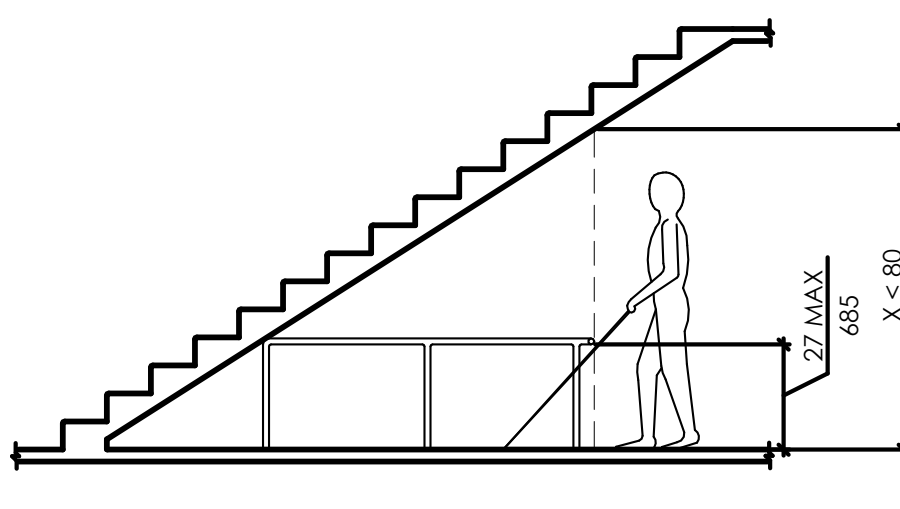
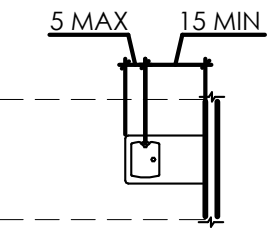
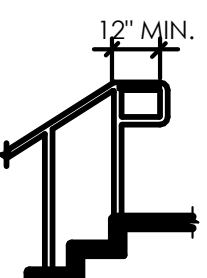
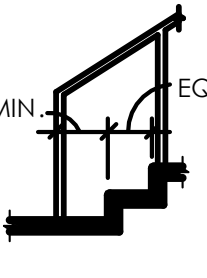
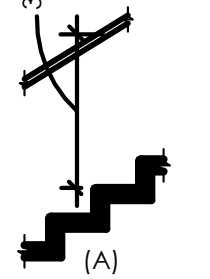
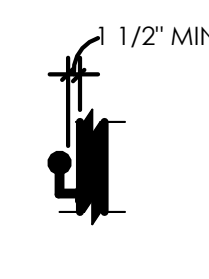
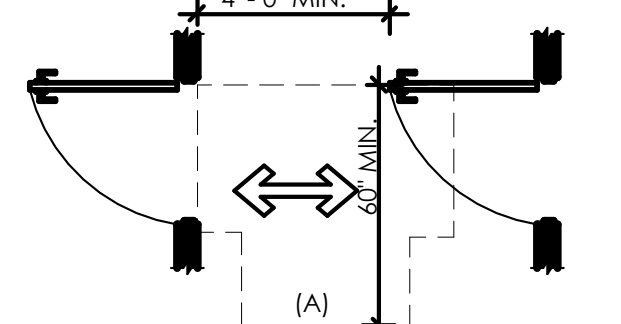
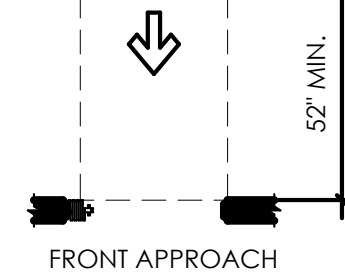
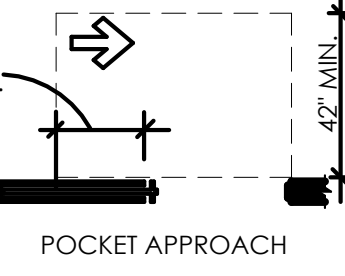
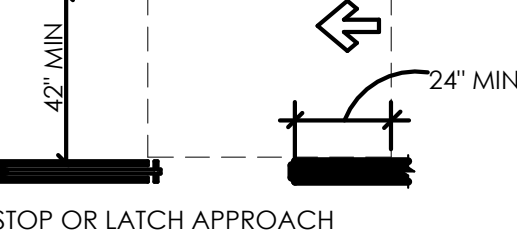
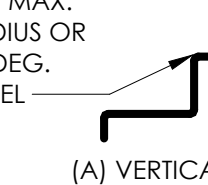
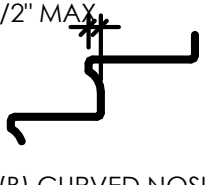
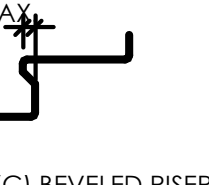
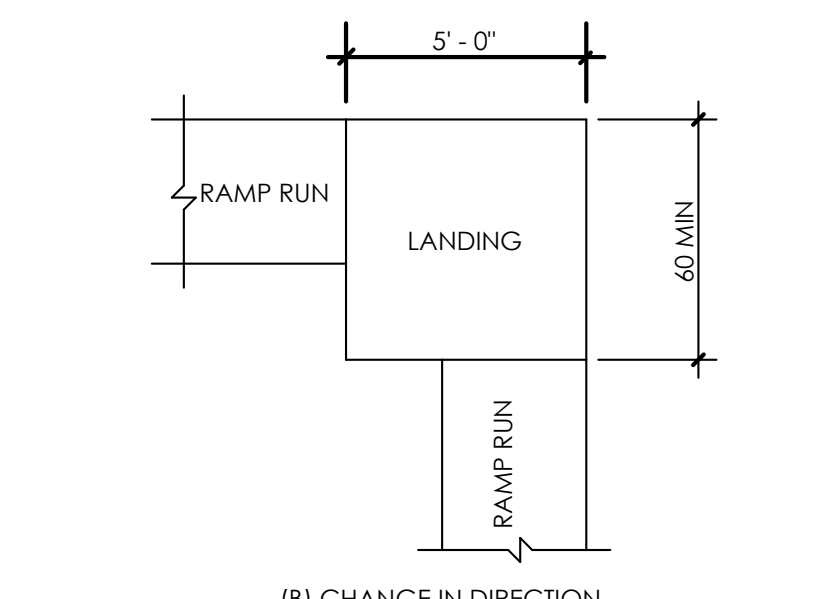
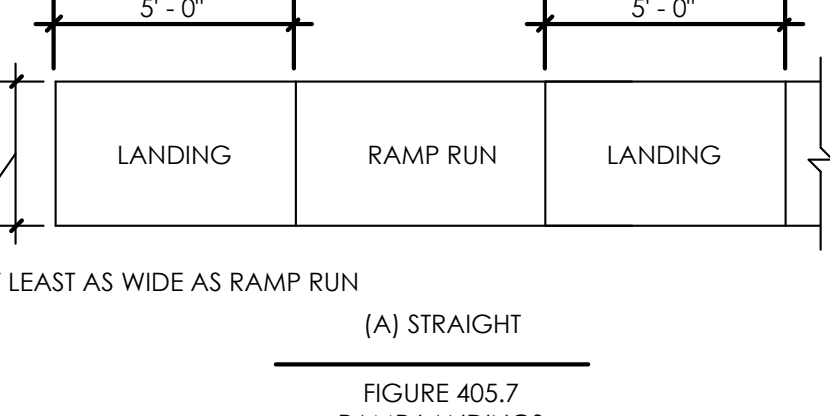
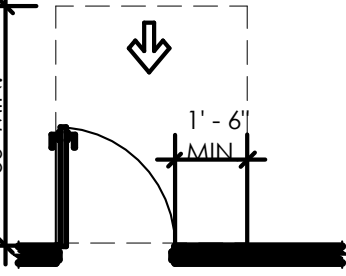
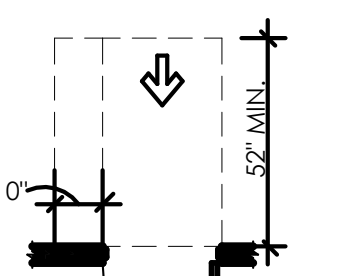
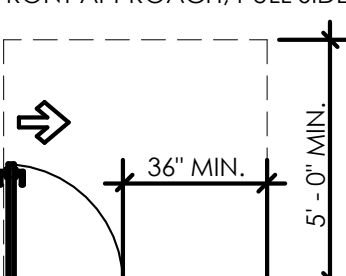
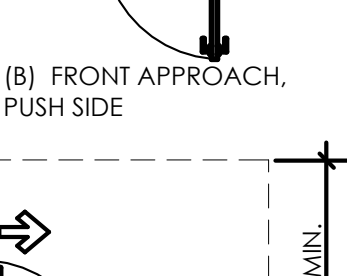
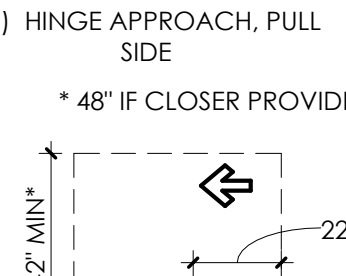
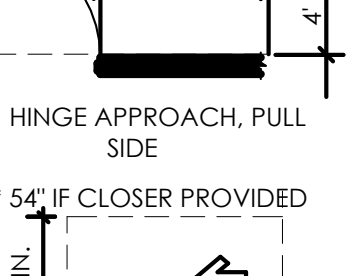
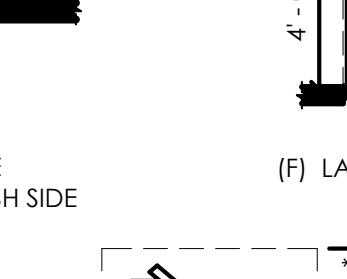
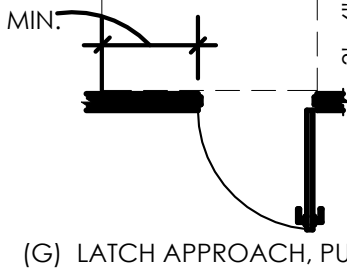
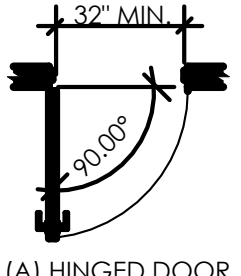
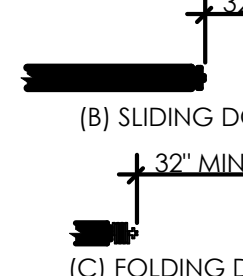
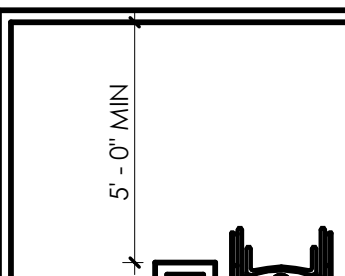
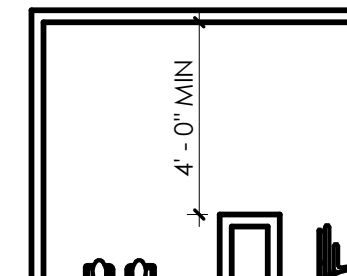
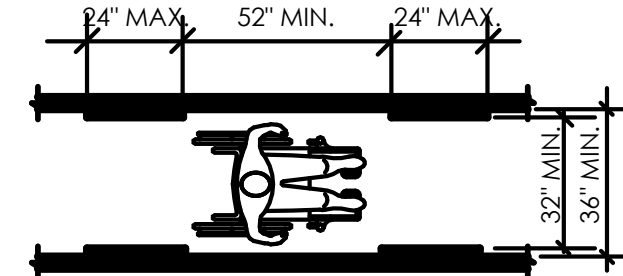
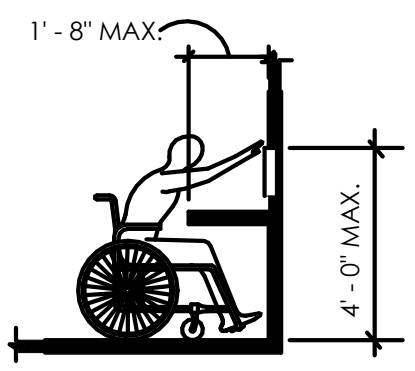
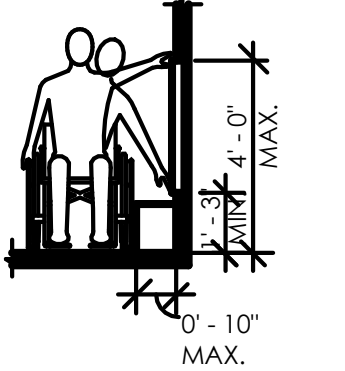
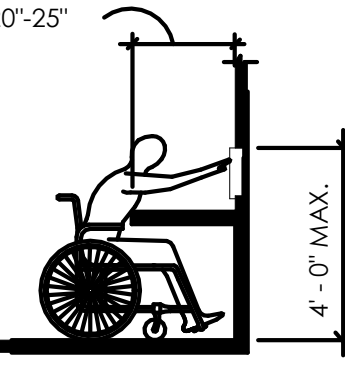
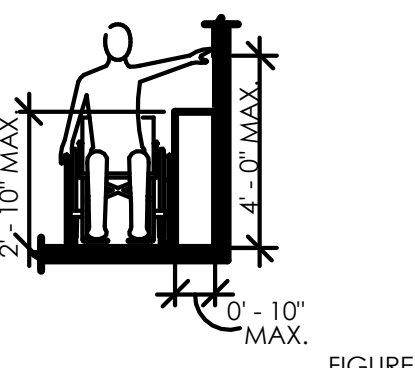
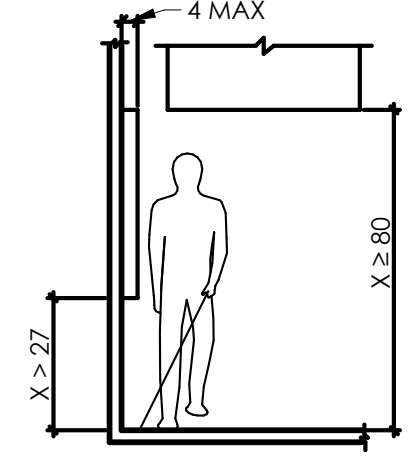
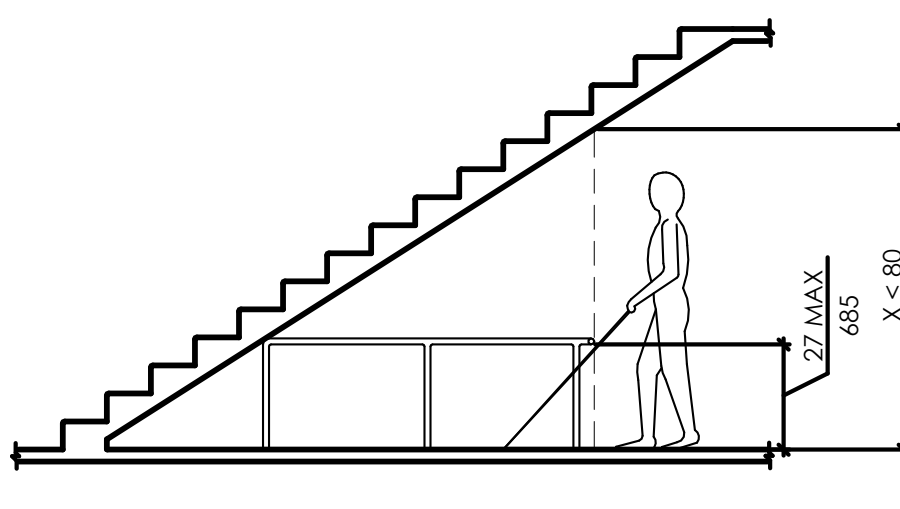
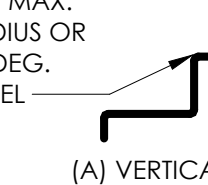
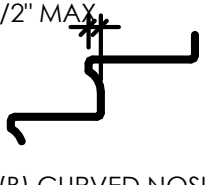
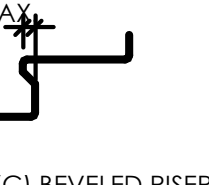
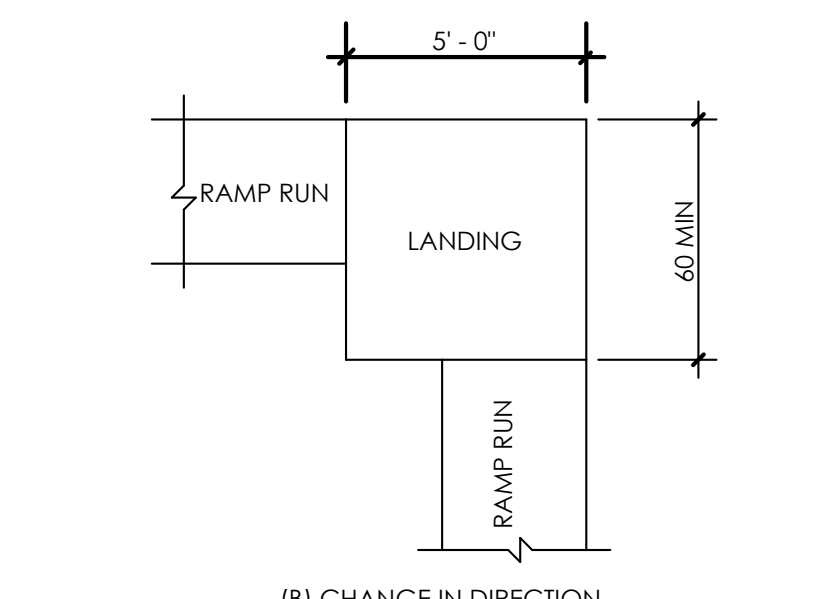
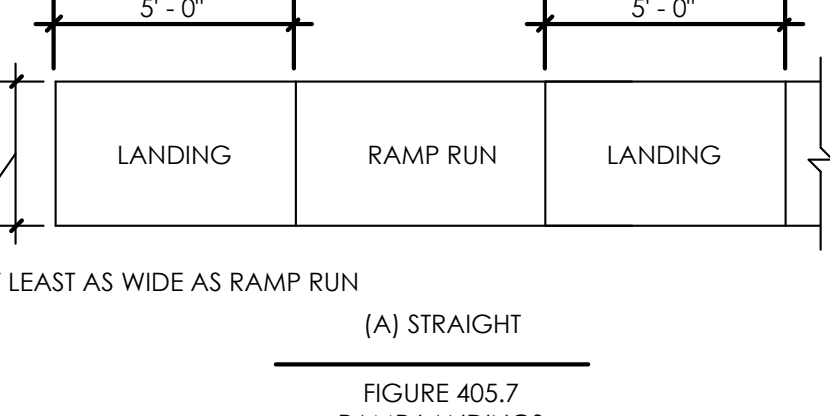
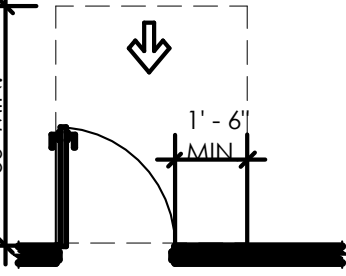
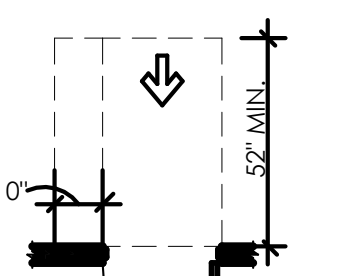
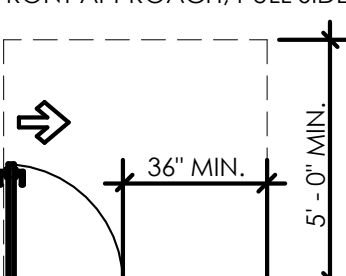
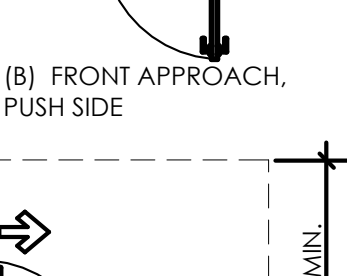
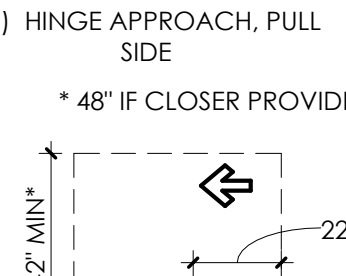
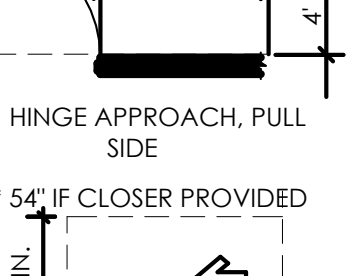
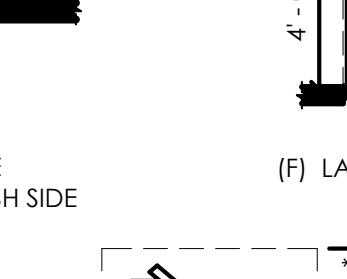
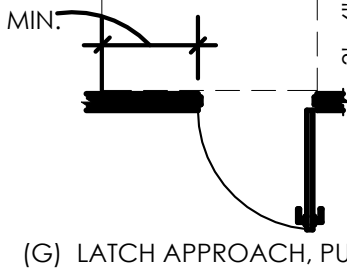
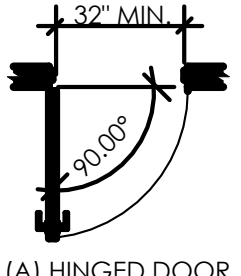
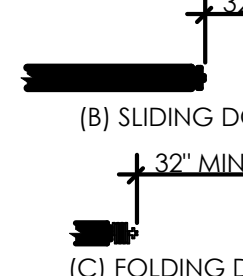
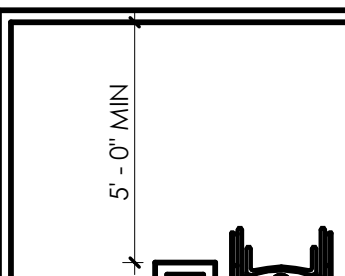
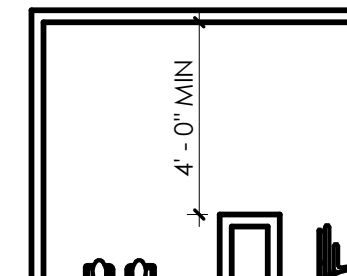
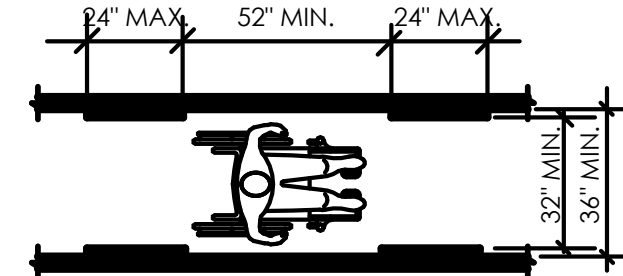
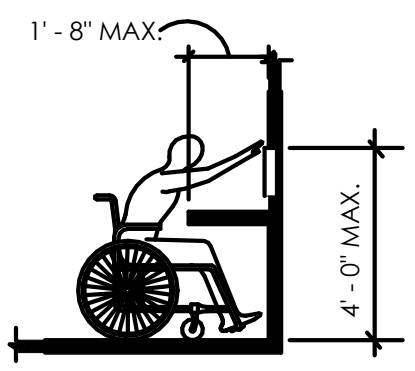
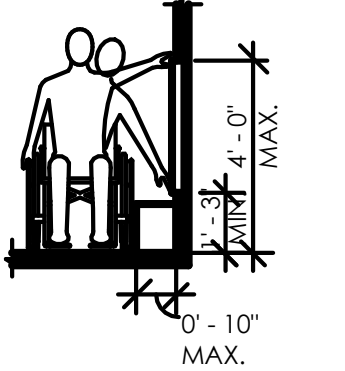
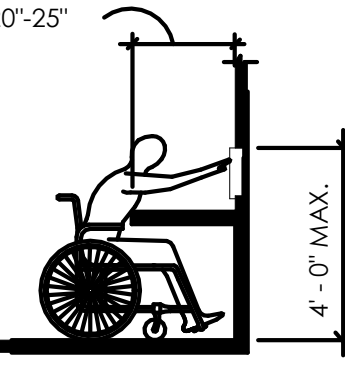
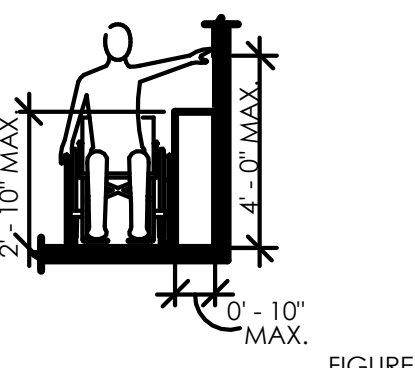
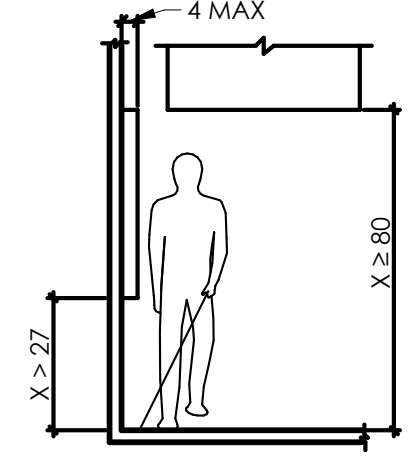
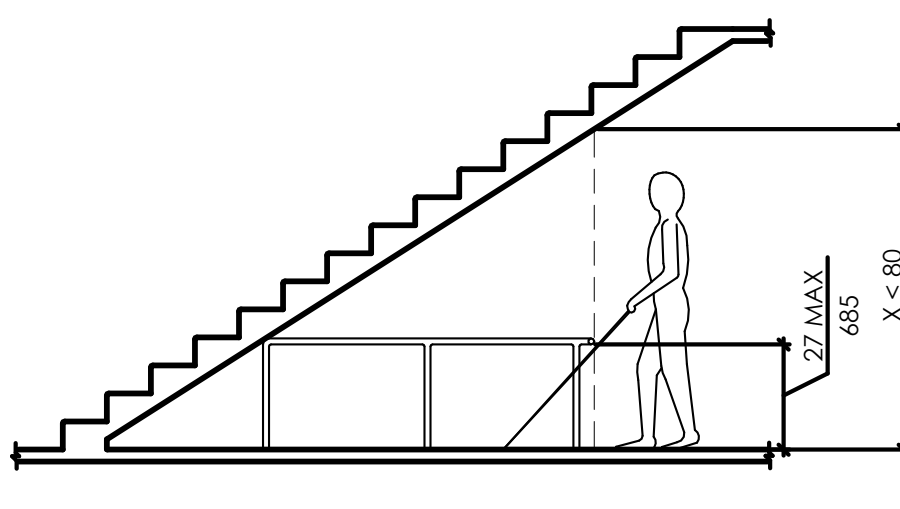
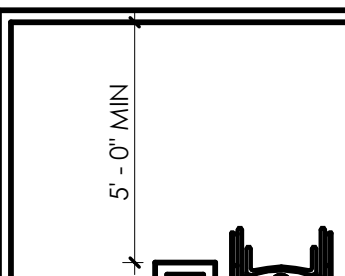
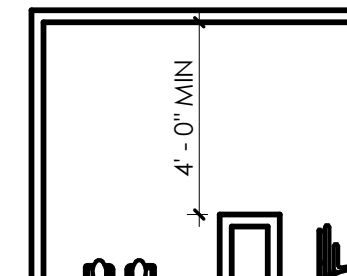
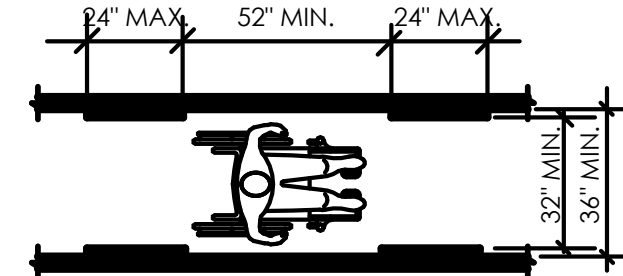
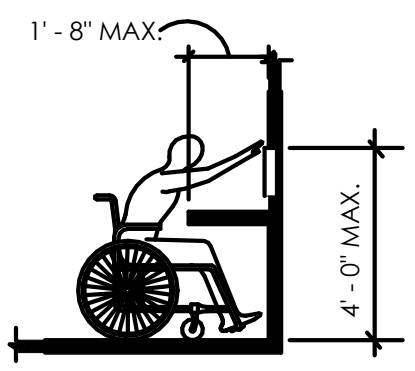
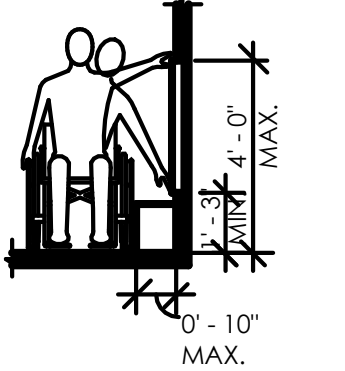
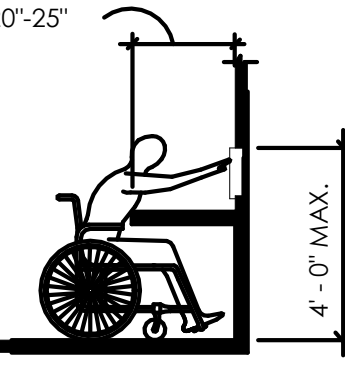
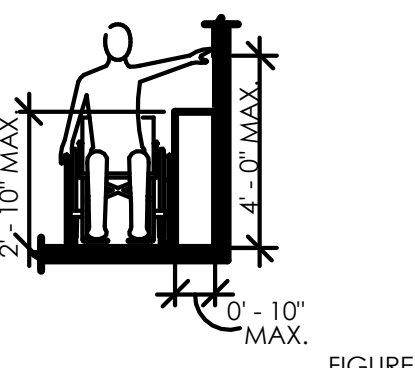
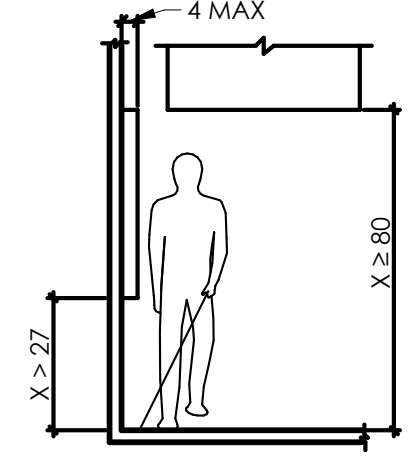
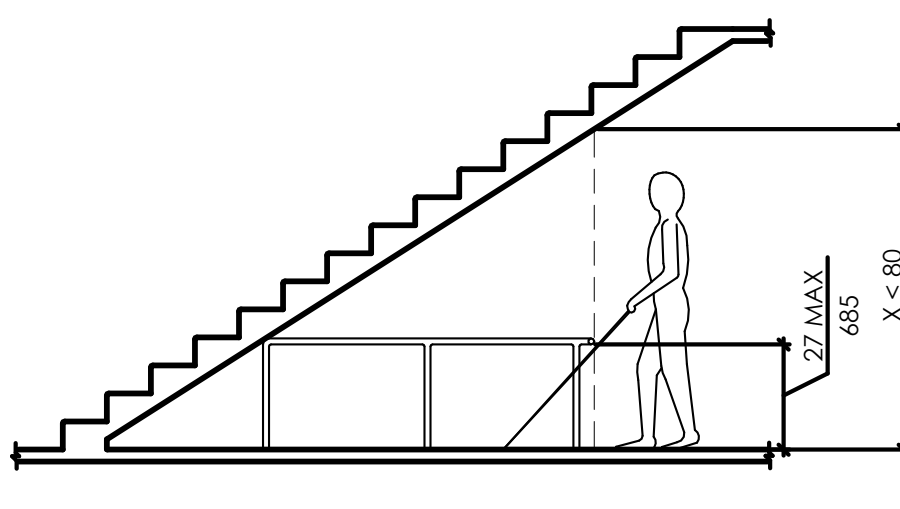
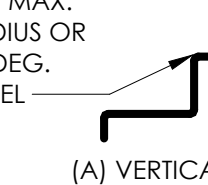
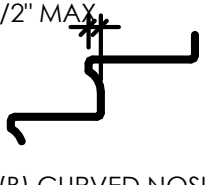
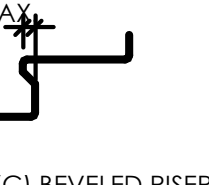
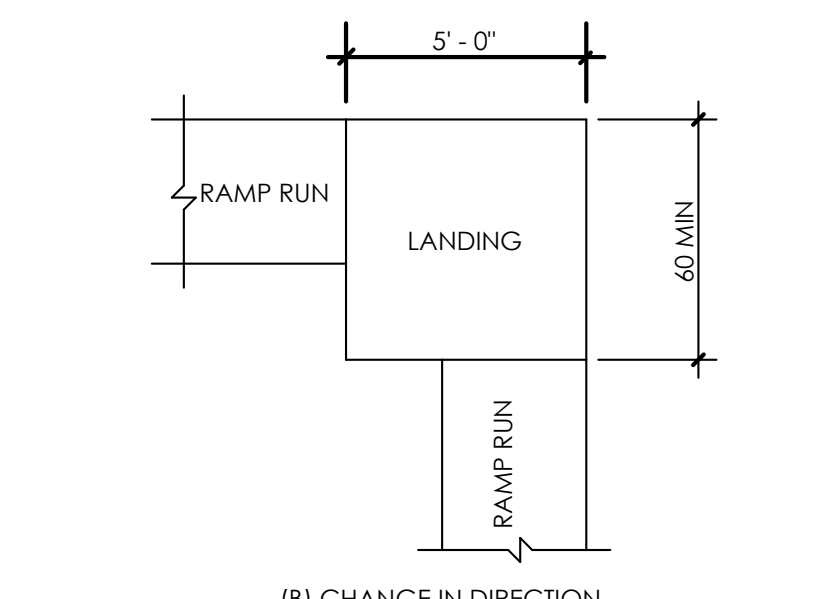
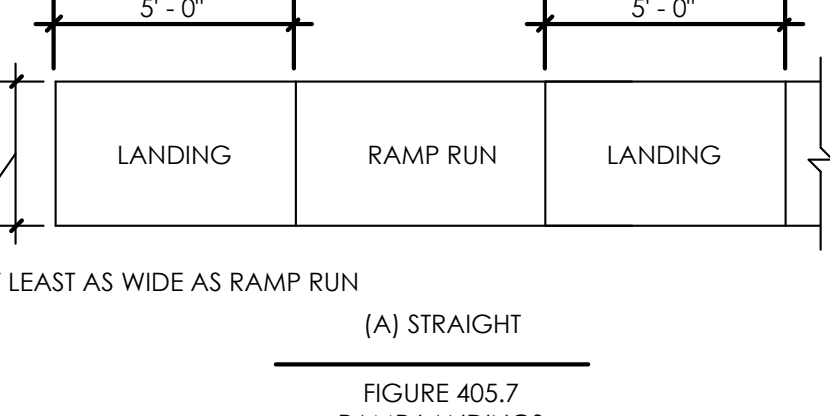
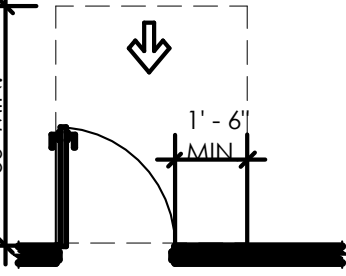
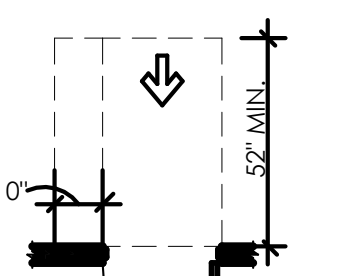
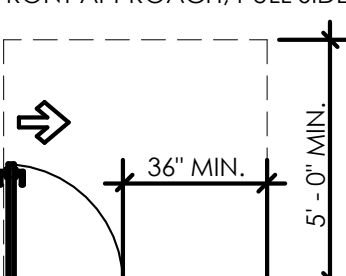
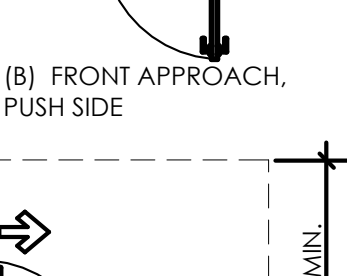
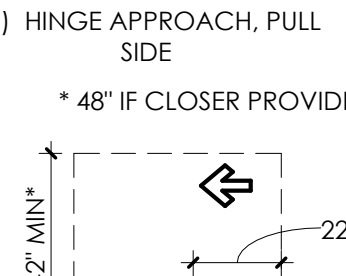
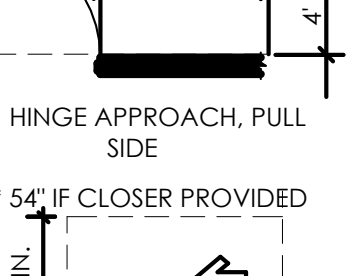
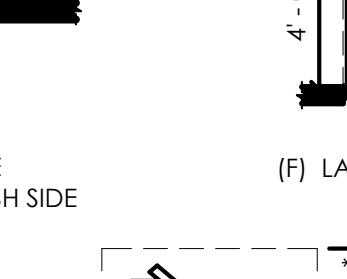
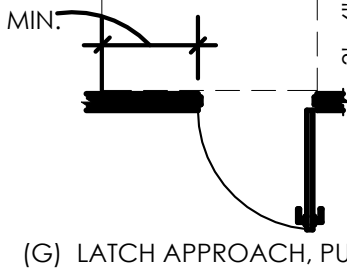
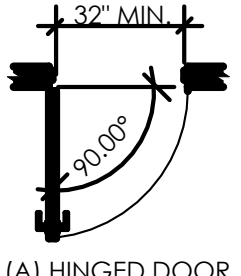
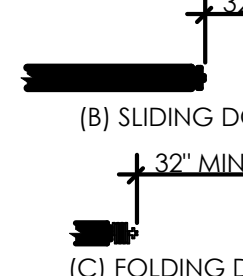
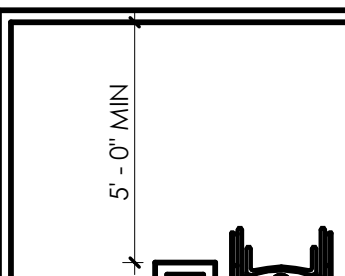
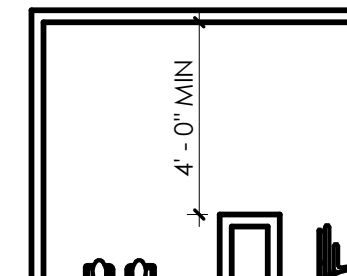
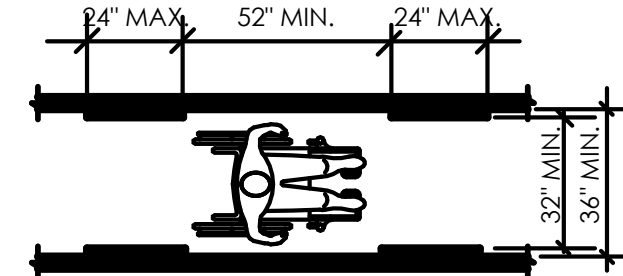
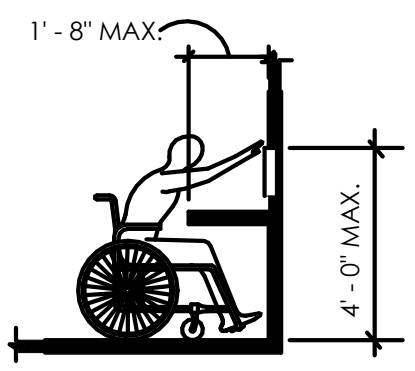
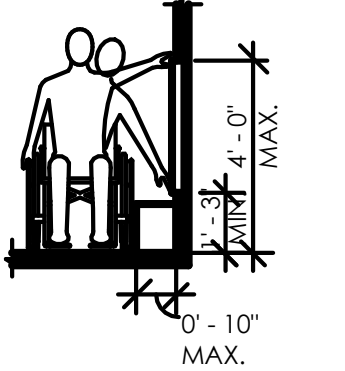
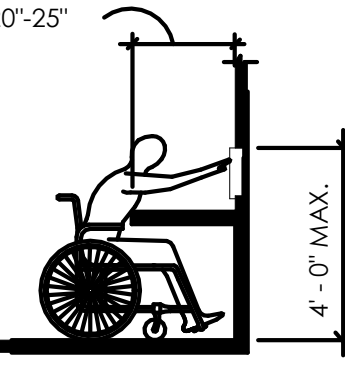
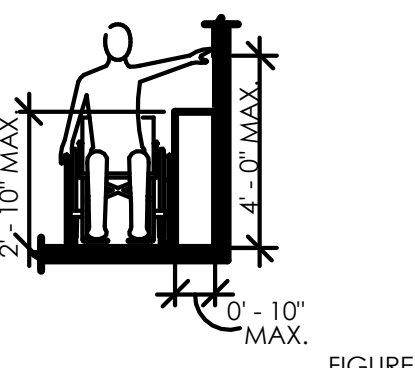
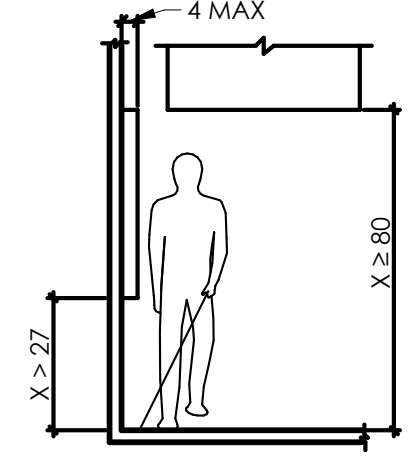
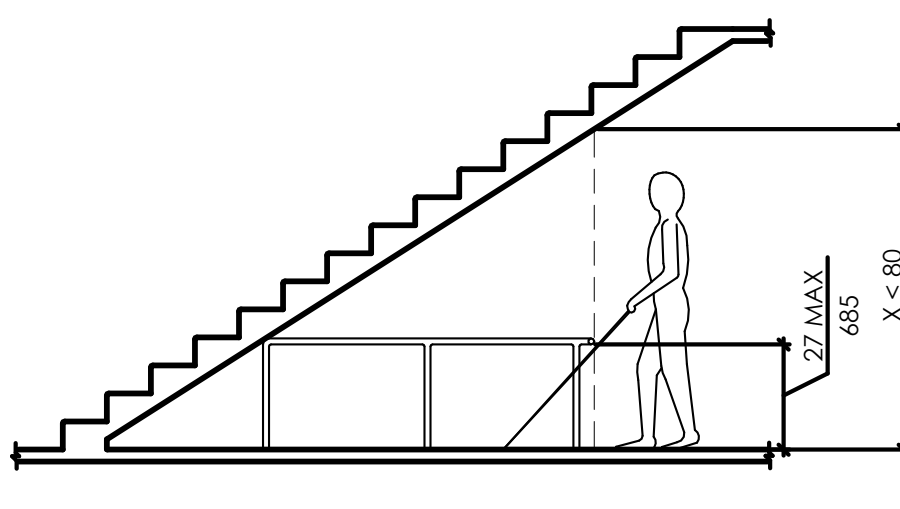
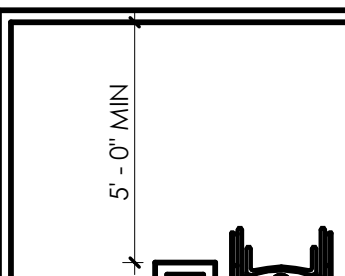
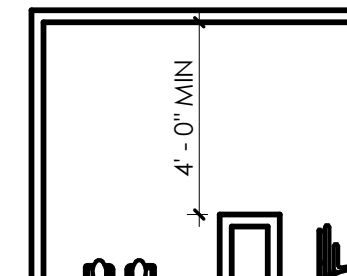
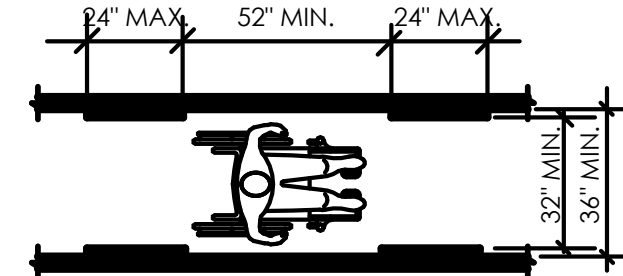
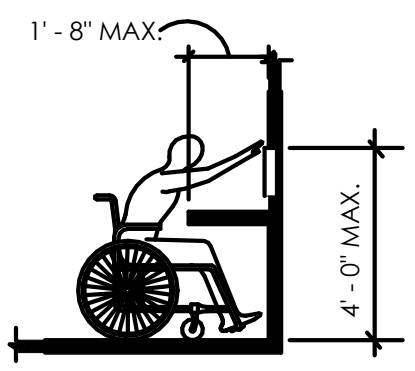
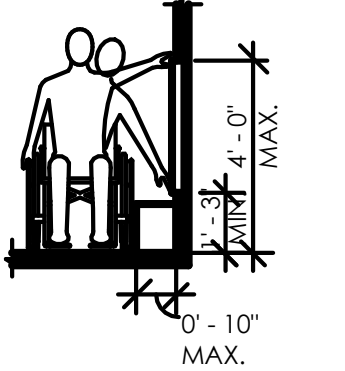
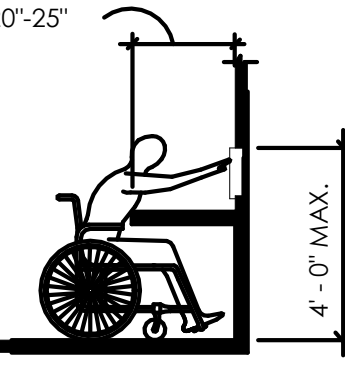
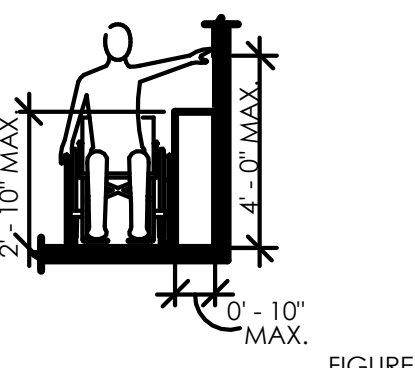
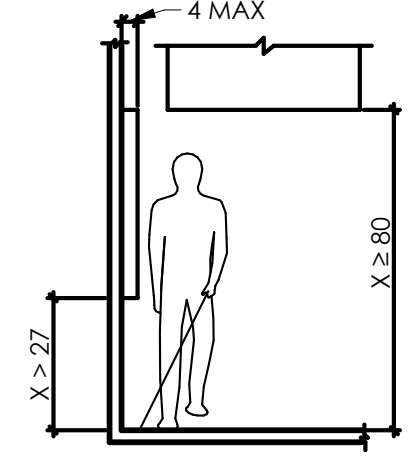
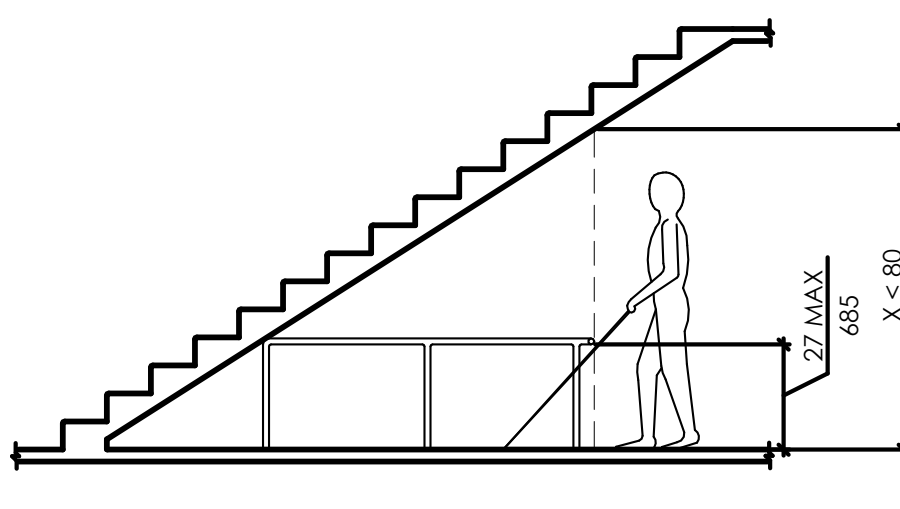
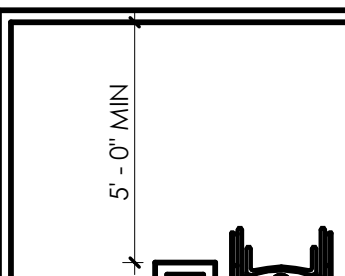
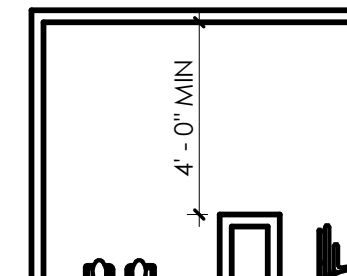
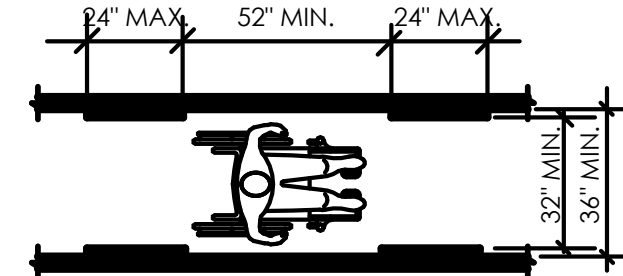
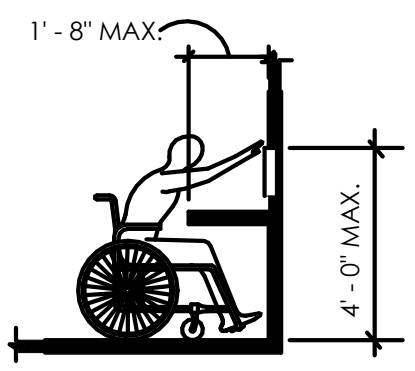
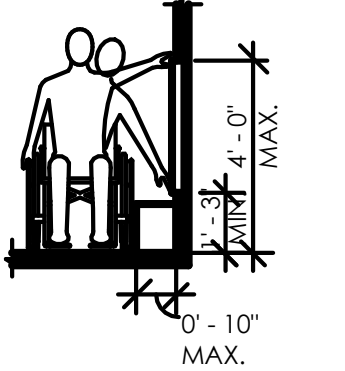
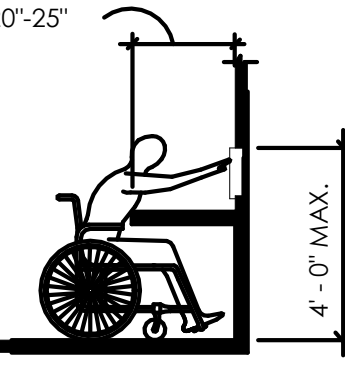
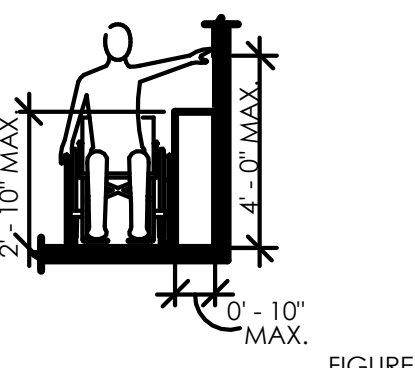
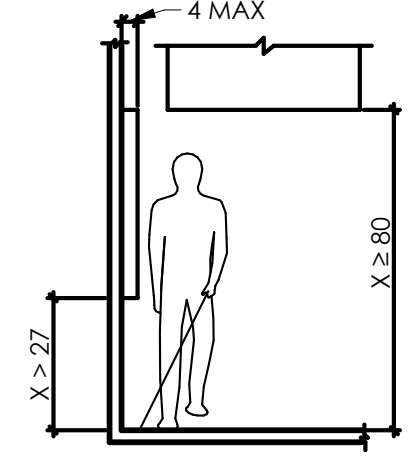
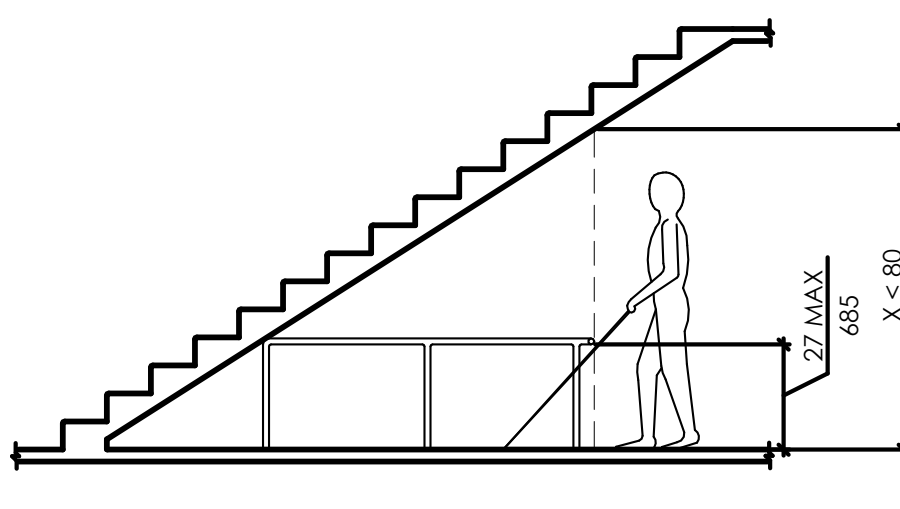
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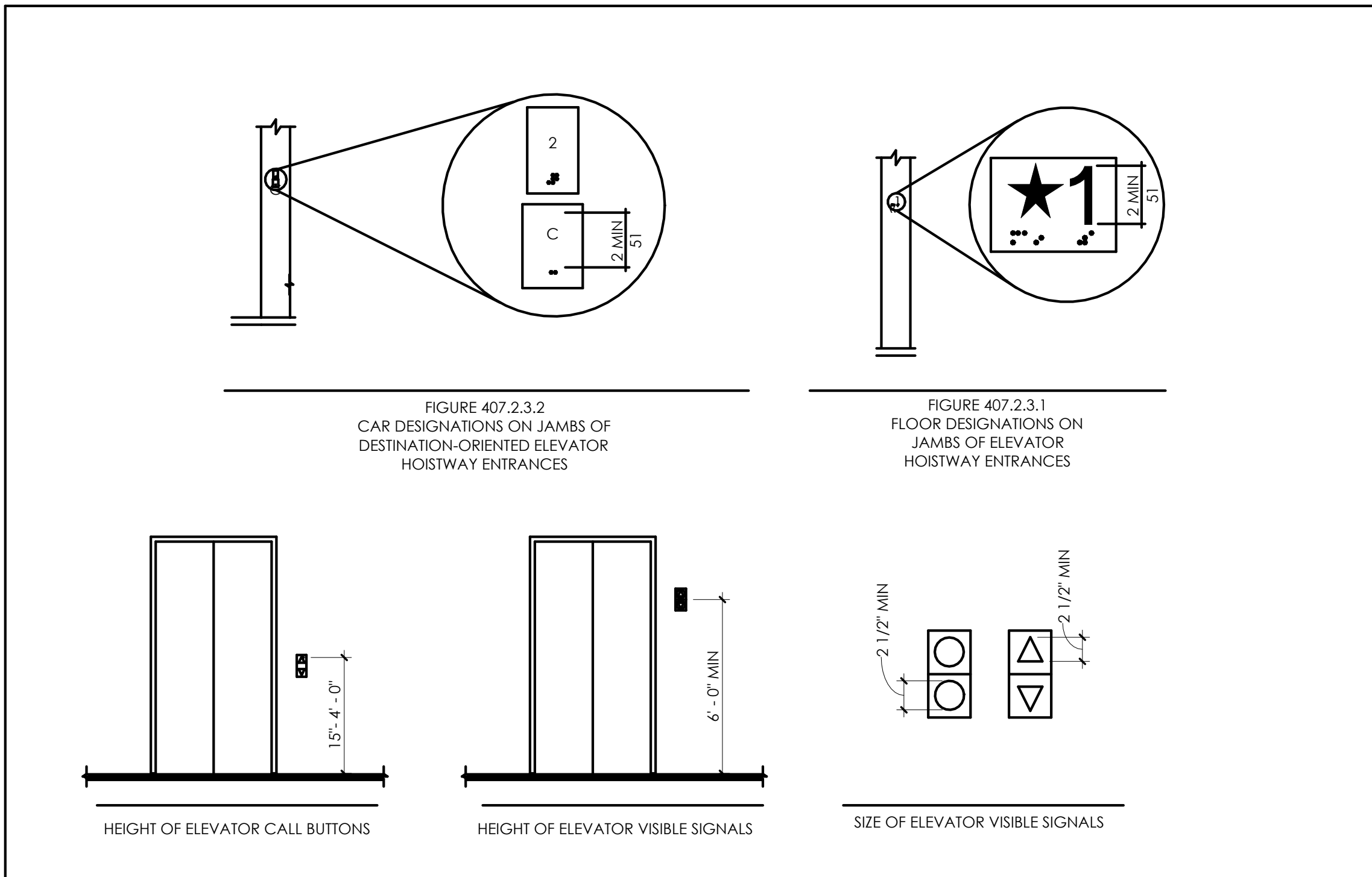
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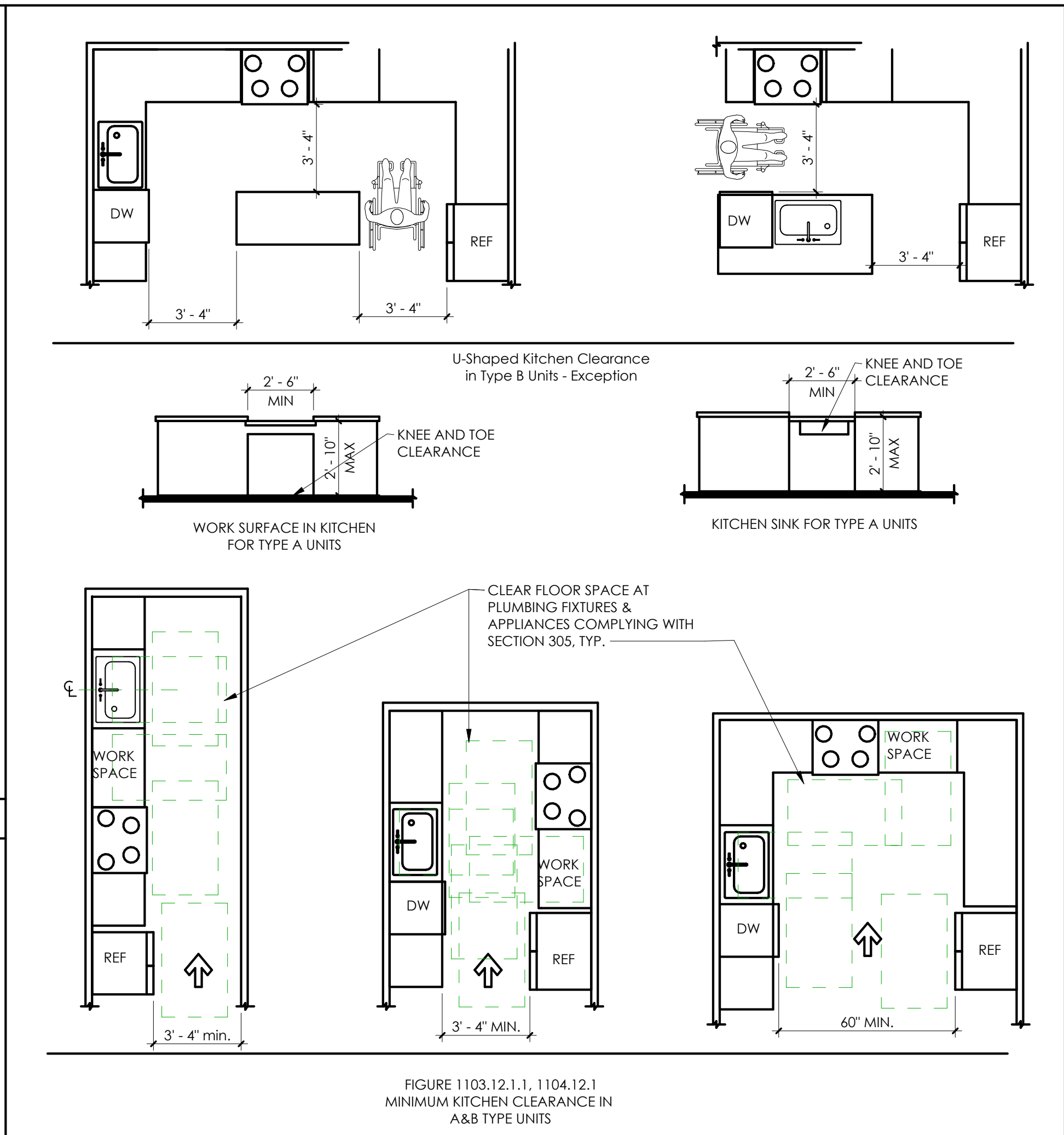
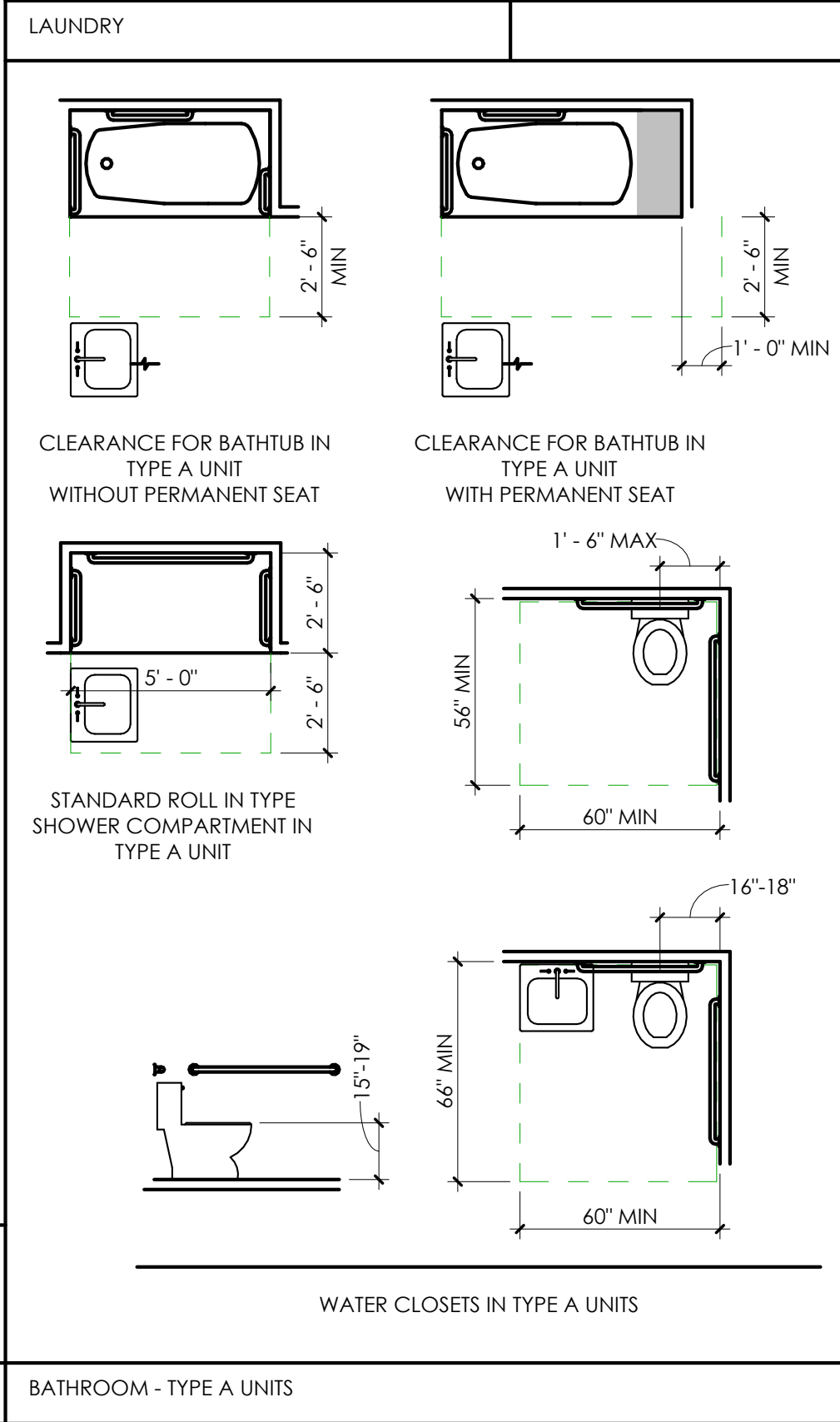
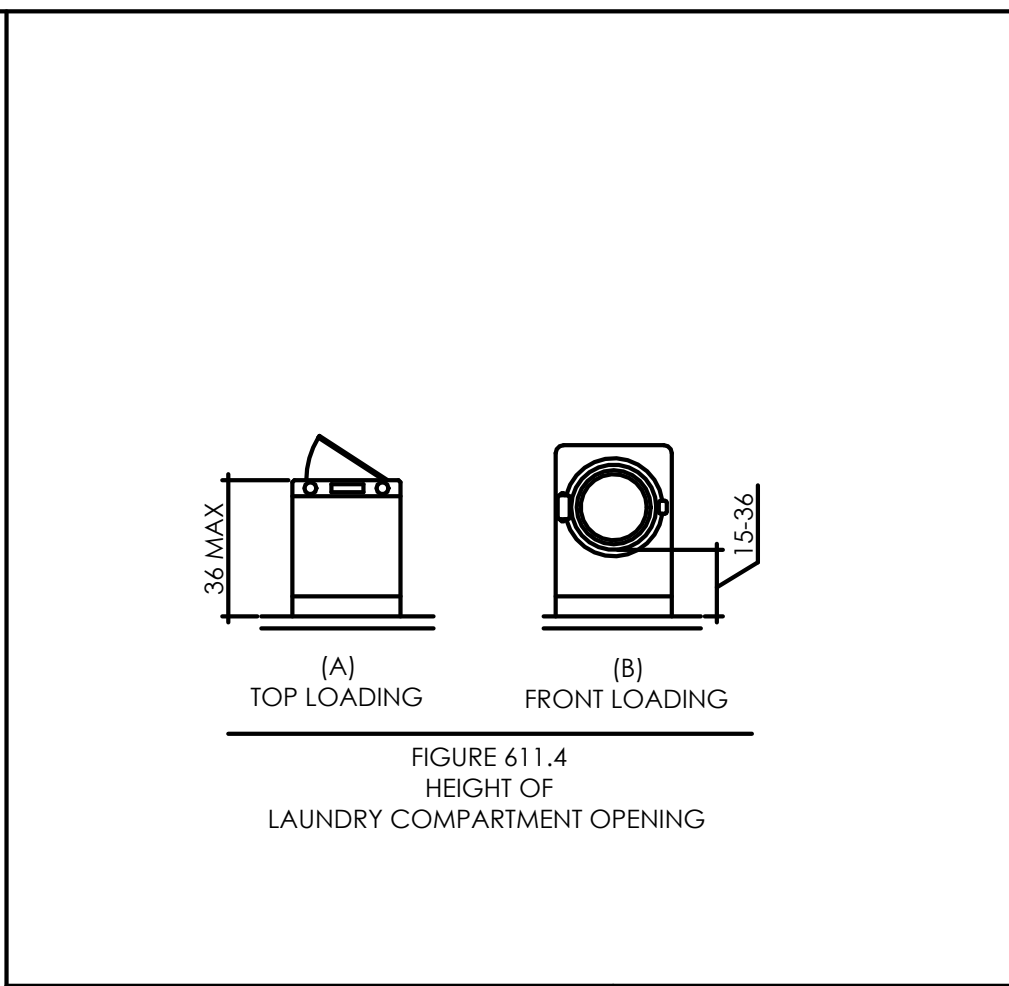
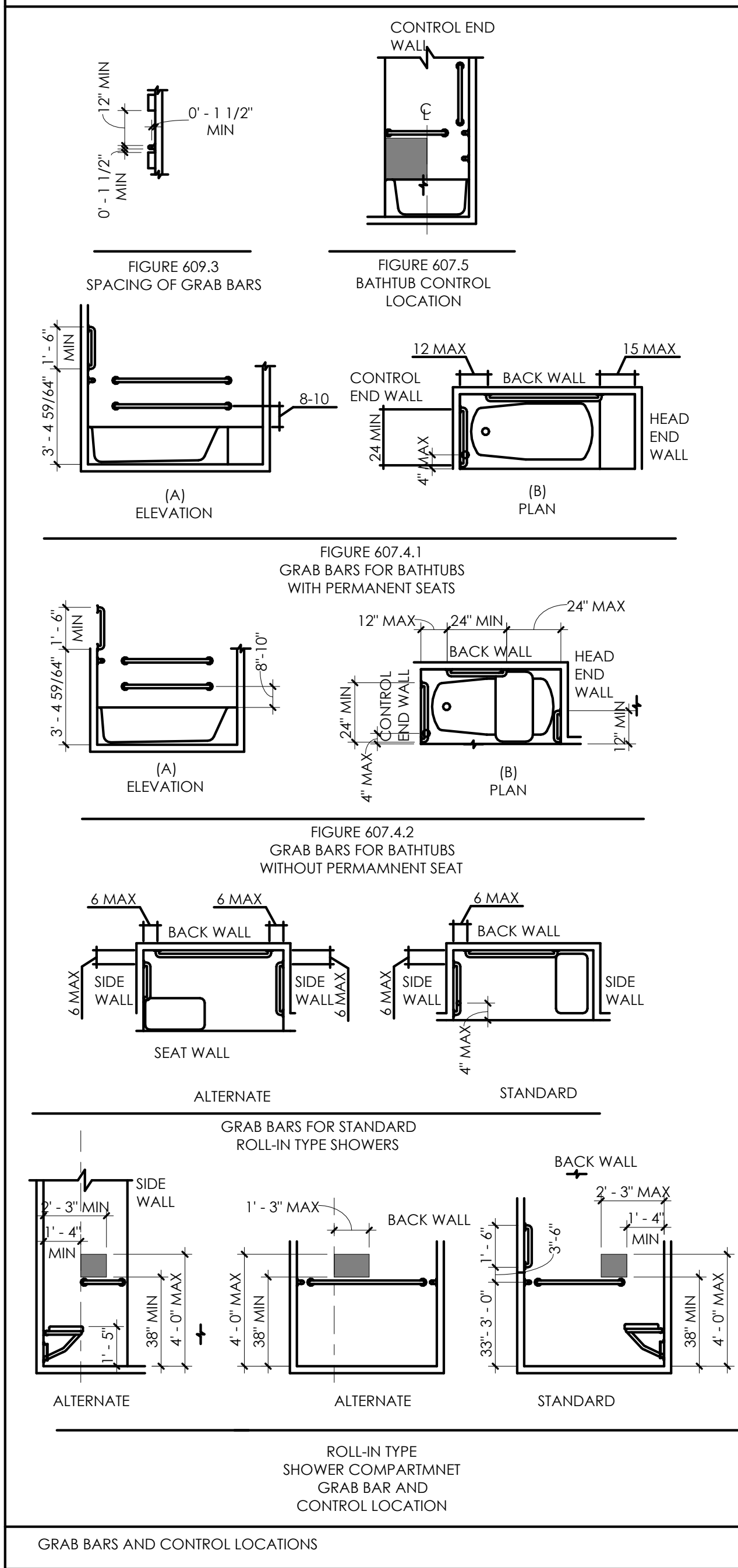
DRAWING INDEX				
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION	CURRENT REVISION DATE
GENERAL				
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G102	ANSI 117 REQUIREMENTS	03/24/2025	1	06/16/25
G103	TYPE A/B REQUIREMENTS	03/24/2025	1	06/16/25
G104	VERTICAL ASSEMBLIES	03/24/2025	3	10/15/2025
G105	HORIZONTAL ASSEMBLIES	03/24/2025	3	10/15/2025
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LS01	LIFE SAFETY TYP. FLOOR PLAN	03/24/2025		
ARCHITECTURE				
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A106	ROOF PLAN	03/24/2025	3	10/15/2025
A152	GROUND FLOOR RCP	03/24/2025	3	10/15/2025
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A201	EXTERIOR ELEVATIONS	03/24/2025	3	10/15/2025
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A203	EXTERIOR ELEVATIONS	03/24/2025	3	10/15/2025
A301	BUILDING SECTIONS	03/24/2025	3	10/15/2025
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A452	ENLARGED UNIT TYP. A2 FLOOR PLAN / RCP	03/24/2025	3	10/15/2025
A550	TYPICAL SECTION ROOF DETAILS	03/24/2025	3	10/15/2025
A553	TYP. RAILINGS BUILDING A/ STAIRWAY LANDINGS	03/24/2025	3	10/15/2025
A600	DOORS AND WINDOWS	03/24/2025	3	10/15/2025
A601	DOOR & WINDOW DETAILS	03/24/2025		
A602	TYPICAL DOOR DETAILS	03/24/2025	3	10/15/2025
A701	STAIRS A	03/24/2025	3	10/15/2025
A702	STAIRS B	03/24/2025	3	10/15/2025
A703	ELEVATOR	03/24/2025	3	10/15/2025
A704	ELEVATOR FLOOR PLAN	03/24/2025	3	10/15/2025
A801	RENDERS	03/24/2025		
MECHANICAL				
M000	HVAC NOTES, LEGENDS AND ABBREVIATONS	03/24/2025		
M001	HVAC GROUND FLOOR PLAN	03/24/2025		
M102	HVAC 1-3 TYP. FLOOR	03/24/2025		
M501	HVAC DETAILS	03/24/2025		
M601	HVAC SCHEDULES	03/24/2025		
ELECTRICAL				
E001	ELECTRICAL SYMBOL LEGEND	03/24/2025		
E002	ELECTRICAL GENERAL NOTES & SPECS	03/24/2025		
E010	ELECTRICAL SITE PLAN	03/24/2025		
E101	GROUND FLOOR LIGHTING PLAN	03/24/2025		

DRAWING INDEX				
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION	CURRENT REVISION DATE
E102	FIRST FLOOR LIGHTING PLAN	03/24/2025		
E103	SECOND FLOOR LIGHTING PLAN	03/24/2025		
E104	THIRD FLOOR LIGHTING PLAN	03/24/2025		
E201	GROUND FLOOR POWER PLAN	03/24/2025		
E202	FIRST FLOOR POWER PLAN	03/24/2025		
E203	SECOND FLOOR POWER PLAN	03/24/2025		
E204	THIRD FLOOR POWER PLAN	03/24/2025		
E301	ENLARGED UNIT TYPE A1 ELECTRICAL	03/24/2025		
E302	ENLARGED UNIT TYPE A2 ELECTRICAL	03/24/2025		
E501	ELECTRICAL RISER DIAGRAM	03/24/2025		
E601	ELECTRICAL DETAILS AND DIAGRAMS	03/24/2025		
E602	ELECTRICAL DETAILS AND DIAGRAMS	03/24/2025		
E603	ELECTRICAL DETAILS AND DIAGRAMS	03/24/2025		
PLUMBING				
P000	PLUMBING NOTES, LEGENDS, AND ABBREVIATIONS	03/21/2025		
P100	PLUMBING UNDERGROUND FLOOR PLAN	03/21/2025		
P101	PLUMBING GROUND FLOOR PLAN	03/21/2025		
P102	PLUMBING FIRST FLOOR PLAN	03/21/2025		
P103	PLUMBING SECOND FLOOR PLAN	03/21/2025		
P104	PLUMBING THIRD FLOOR PLAN	03/21/2025		
P201	PLUMBING GROUND FLOOR PLAN	03/21/2025		
P202	PLUMBING FIRST FLOOR PLAN	03/21/2025		
P203	PLUMBING SECOND FLOOR PLAN	03/21/2025		
P204	PLUMBING THIRD FLOOR PLAN	03/21/2025		
P301	PLUMBING ISOMETRIC - GRAVITY	03/21/2025		
P302	PLUMBING ISOMETRIC - PRESSURE	03/21/2025		
P501	PLUMBING DETAILS	03/21/2025		
P601	PLUMBING SCHEDULES	03/21/2025		
FIRE PROTECTION				
F000	NOTE, LEGENDS, AND ABBREVIATIONS	03/24/2025		
F101	FIRE PROTECTION - GROUND FLOOR PLAN	03/24/2025		
F102	FIRE PROTECTION - FIRST FLOOR PLAN	03/24/2025		
F103	FIRE PROTECTION - SECOND FLOOR PLAN	03/24/2025		
F104	FIRE PROTECTION - THIRD FLOOR PLAN	03/24/2025		
F501	DETAILS	03/24/2025		
STRUCTURAL				
S-1	FOUNDATION OVERALL PLAN	03/24/2025		
S-1.1	PILE DIMENSIONS PLAN	03/24/2025		
S-2	1ST FLOOR FRAMING PLAN	03/24/2025		
S-3	2ND FLOOR FRAMING PLAN	03/24/2025		
S-4	3RD FLOOR FRAMING PLAN	03/24/2025		
S-5	ROOF FRAMING PLAN	03/24/2025		
S-6	GENERAL NOTES	03/24/2025		
S-7	EXPOSURE PRESSURES	03/24/2025		
S-8	SECTIONS	03/24/2025		
S-9	SECTIONS	03/24/2025		
S-10	SECTIONS	03/24/2025		
S-11	SECTIONS	03/24/2025		
S-12	SECTIONS	03/24/2025		
S-13	SECTIONS	03/24/2025		
S-14	SECTIONS	03/24/2025		

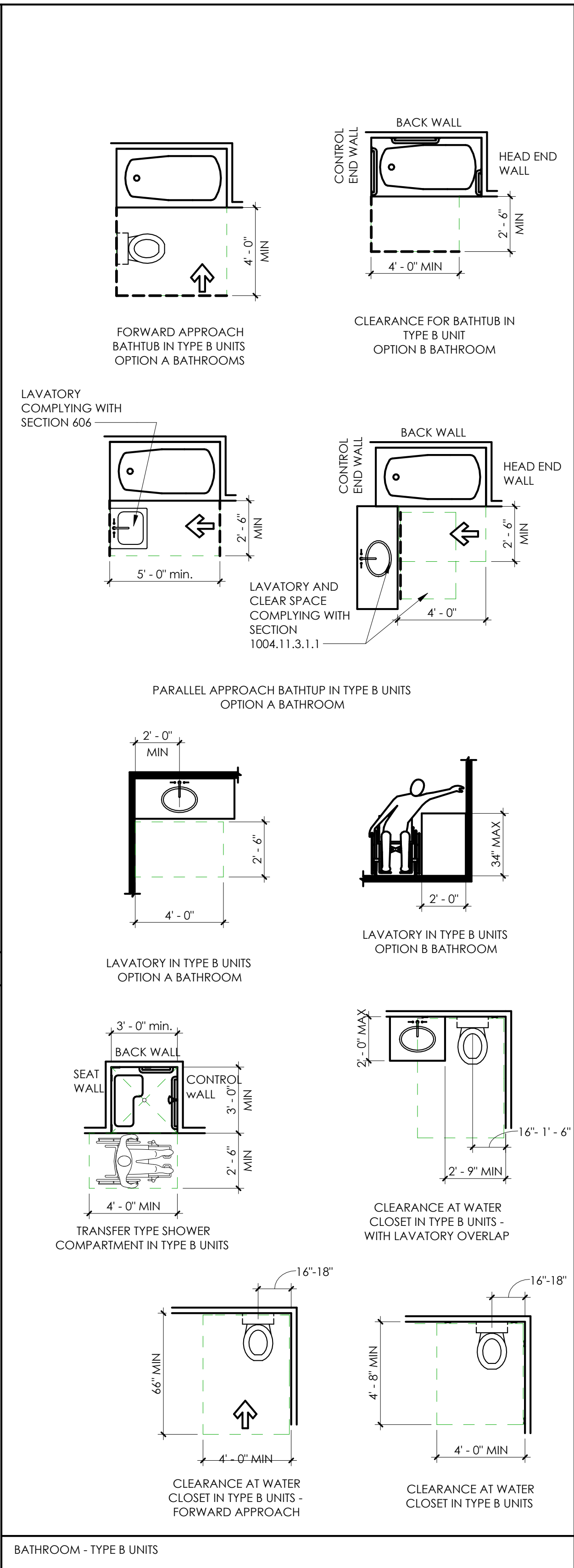
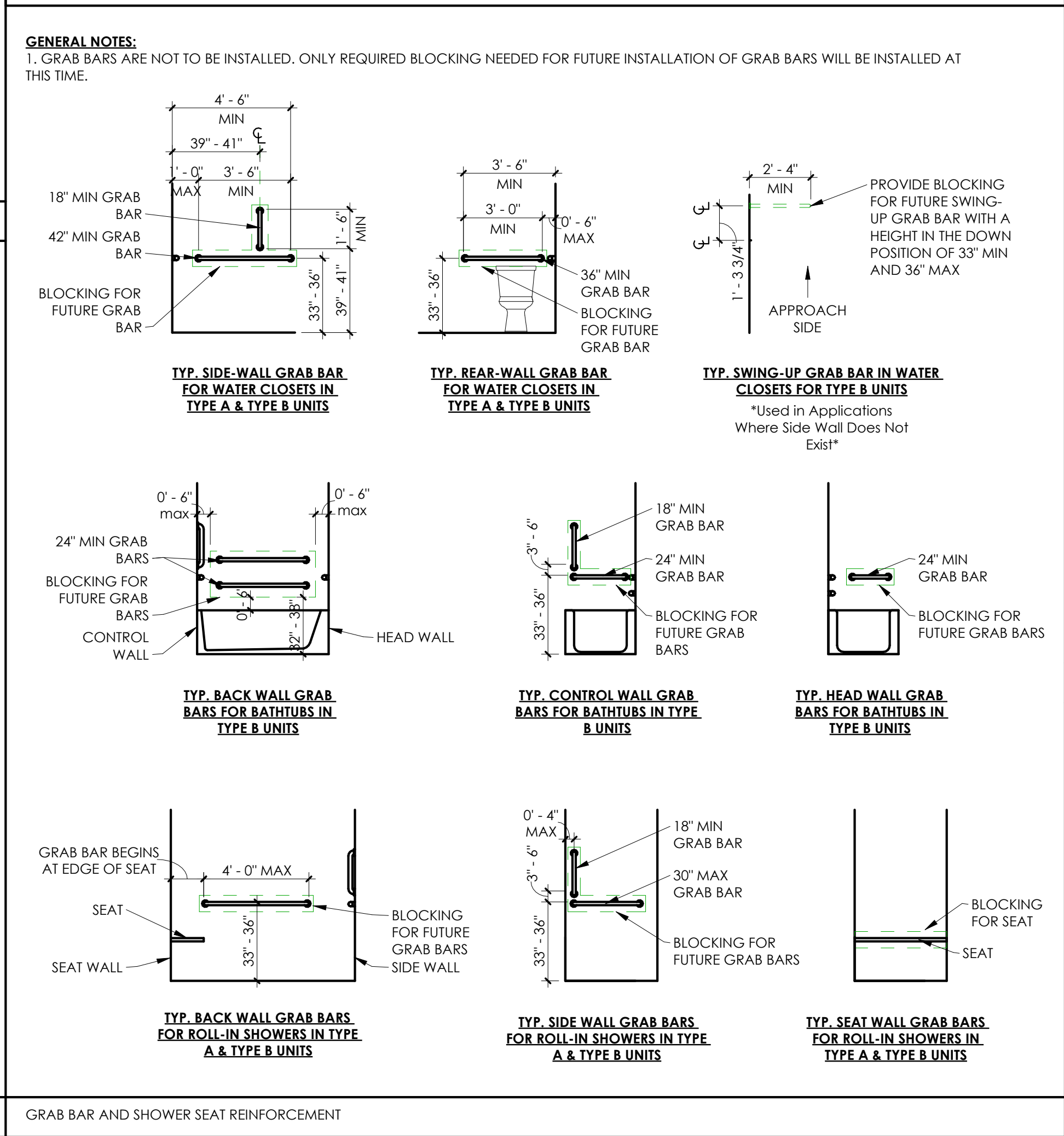
<div><div><div><div><div></div><div>FIGURE 703.7.2.4 INTERNATIONAL SYMBOL OF ACCESS FOR HEARING LOSS</div></div><div><div></div><div>FIGURE 703.7.2.3 VOLUME-CONTROLLED TELEPHONE</div></div><div><div></div><div>FIGURE 703.7.2.2 INTERNATIONAL TTY SYMBOL</div></div><div><div></div><div>FIGURE 703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY</div></div></div><div><div></div><div>Figure 703.6 Pictogram Field</div></div><div><div></div><div>FIGURE 703.4.1 HEIGHT OF TACTILE CHARACTERS ABOVE FLOOR OR GROUND</div></div><div><div></div><div>FIGURE 703.4.2 LOCATION OF TACTILE SIGNS AT DOORS</div></div><div><div></div><div>FIGURE 703.3.2 POSITION OF BRAILLE</div></div><div><div></div><div>FIGURE 703.2.3 HEIGHT OF RAISED CHARACTERS</div></div></div><tr><td data-bbox="726 51 1132 1923"><div><div><div><div></div><div>NEW BUILDINGS</div></div><div><div></div><div>EXISTING BUILDINGS</div></div></div><div><div></div><div>FIGURE 303.2 VERTICAL CHANGES IN LEVEL</div></div><div><div></div><div>FIGURE 303.3 BEVELED CHANGES IN LEVEL</div></div><div><div></div><div>FIGURE 302.2 CARPET ON FLOOR OR GROUND SURFACES</div></div><div><div></div><div>FIGURE 606.3 HEIGHT ON LAVATORIES, SINKS, AND MIRRORS</div></div><div><div><div></div><div>13 1/2" MIN</div></div><div><div></div><div>13 1/2" MIN</div></div></div><div><div>FIGURE 404.2 HEIGHT AND DEPTH OF URINALS</div></div><div><div></div><div>FIGURE 604.7 DISPENSER OUTLET LOCATION</div></div><div><div></div><div>FIGURE 604.3.1 SIZE OF CLEARANCE AT WATER CLOSETS</div></div><div><div></div><div>FIGURE 604.5.1 SIDE WALL GRAB BAR AT WATER CLOSETS</div></div><div><div></div><div>FIGURE 604.5.2 REAR WALL GRAB BAR AT WATER CLOSETS</div></div></div><tr><td data-bbox="1132 51 1504 1923"><div><div><div><div></div><div>FIGURE 402.5 DRINKING FOUNTAIN SPOUT LOCATION</div></div><div><div></div><div>FIGURE 505.10.2 TOP HANDRAIL EXTENSIONS AT STAIRS</div></div><div><div></div><div>FIGURE 505.10.3 BOTTOM HANDRAIL EXTENSIONS AT STAIRS</div></div><div><div></div><div>FIGURE 505.10.1 TOP AND BOTTOM HANDRAIL EXTENSIONS AT RAMP</div></div><div><div></div><div>FIGURE 505.4 HANDRAIL HEIGHT</div></div><div><div></div><div>FIGURE 505.5 HANDRAIL CLEARANCE</div></div></div><div><div><div></div><div>FIGURE 404.2.5 TWO DOORS IN SERIES</div></div><div><div></div><div>FRONT APPROACH</div></div><div><div></div><div>POCKET APPROACH</div></div><div><div></div><div>STOP OR LATCH APPROACH</div></div><div><div>FIGURE 404.2.3.3 – MANEUVERING CLEARANCES AT SLIDING AND FOLDING DOORS</div></div></div></div><tr><td data-bbox="1504 51 1931 1923"><div><div><div><div></div><div>(A) VERTICAL RISER</div></div><div><div></div><div>(B) CURVED NOSING</div></div></div><div><div><div></div><div>(D) ANGLED RISER</div></div><div><div></div><div>(C) BEVELED RISER</div></div></div><div><div></div><div>FIGURE 504.2 TREADS AND RISERS FOR ACCESSIBLE STAIRWAYS</div></div><div><div></div><div>504 STAIRWAYS</div></div><div><div></div><div>FIGURE 405.7 RAMP LANDINGS</div></div><div><div><div></div><div>(A) FRONT APPROACH, PULL					
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VERTICAL CLEARANCE</div></div></div> <tr><td data-bbox="2383 51 2813 1923"><div><div><div><div></div><div>FIGURE 306.2
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SIZE OF WHEELCHAIR TURNING SPACE (EXISTING BUILDINGS)</div></div><div><div>304 WHEELCHAIR TURNING SPACE</div></div></div></td></tr>
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| <div><div><div><div></div><div>FIGURE 402.5
DRINKING FOUNTAIN
SPOUT LOCATION</div></div><div><div></div><div>FIGURE 505.10.2
TOP HANDRAIL EXTENSIONS
AT STAIRS</div></div><div><div></div><div>FIGURE 505.10.3
BOTTOM HANDRAIL
EXTENSIONS AT STAIRS</div></div><div><div></div><div>FIGURE 505.10.1
TOP AND BOTTOM HANDRAIL
EXTENSIONS AT RAMP</div></div><div><div></div><div>FIGURE 505.4
HANDRAIL HEIGHT</div></div><div><div></div><div>FIGURE 505.5
HANDRAIL CLEARANCE</div></div></div><div><div><div></div><div>FIGURE 404.2.5
TWO DOORS IN SERIES</div></div><div><div></div><div>FRONT APPROACH</div></div><div><div></div><div>POCKET APPROACH</div></div><div><div></div><div>STOP OR LATCH APPROACH</div></div><div><div>FIGURE 404.2.3.3 – MANEUVERING CLEARANCES AT
SLIDING AND FOLDING DOORS</div></div></div></div> <tr><td data-bbox="1504 51 1931 1923"><div><div><div><div></div><div>(A) VERTICAL RISER</div></div><div><div></div><div>(B) CURVED NOSING</div></div></div><div><div><div></div><div>(D) ANGLED RISER</div></div><div><div></div><div>(C) BEVELED RISER</div></div></div><div><div></div><div>FIGURE 504.2 TREADS
AND RISERS FOR
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ELEVATOR CONTROLS



KITCHENS



BATHROOM - TYPE B UNITS

TYPE A AND B REQUIREMENTS

WALL PARTITIONS

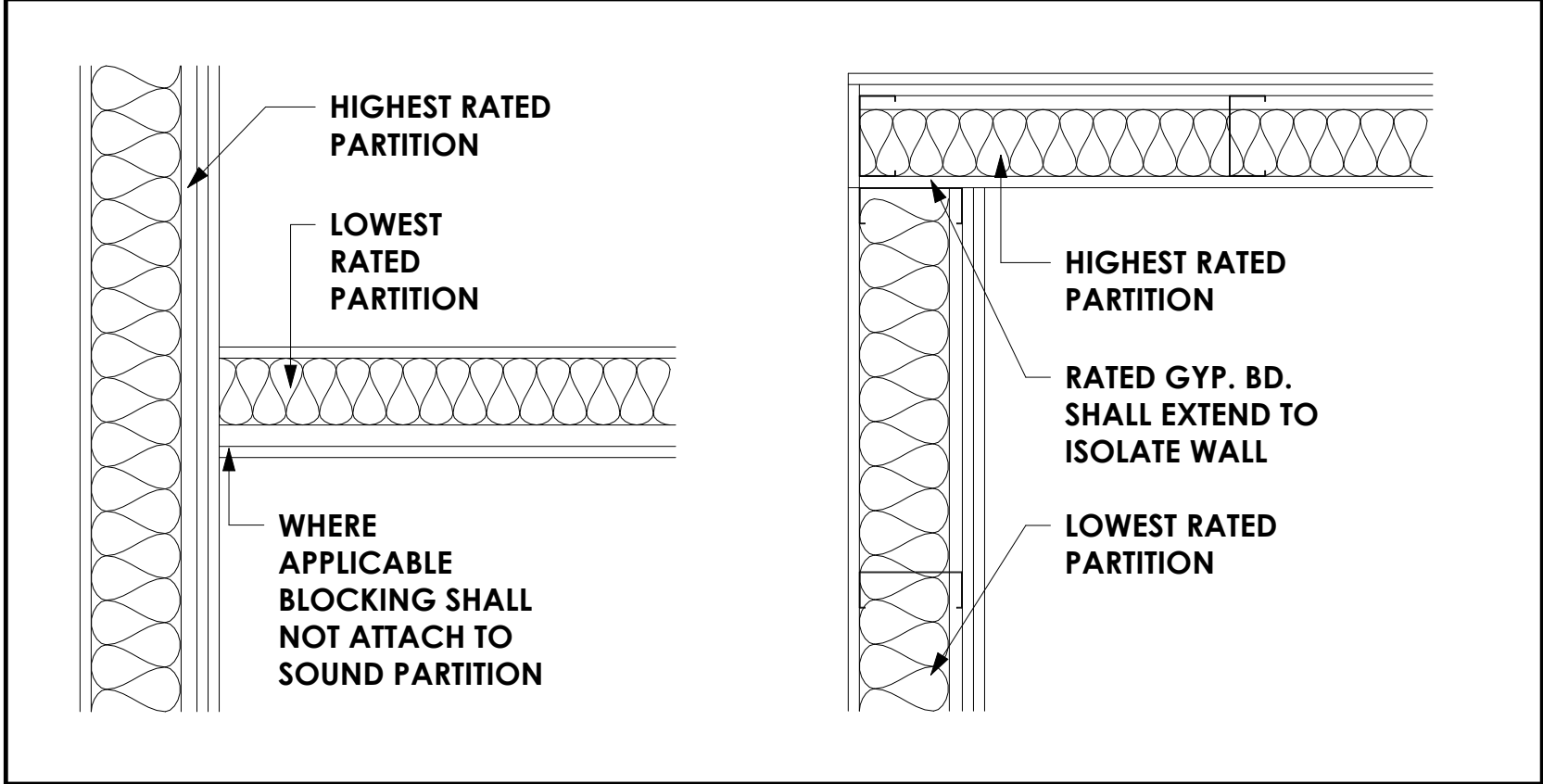
EXTERIOR WALLS

A.1	HORIZONTAL SIDING ON WOOD STUD	A.2	BOARD & BATTEN ON WOOD STUD	B	BOARD & BATTEN ON CMU	C	MECH WALL	G	GROUND FLOOR COLUMN
	- HORIZONTAL SIDING COLOR WHITE SW 7006 [SEE EXTERIOR ELEVATIONS AND WALL SECTIONS FOR FINISH LOCATIONS] 5/8" CDX EXTERIOR GRADE PLYWOOD OR OSB PLYWOOD - WATERPROOFING MEMBRANE - hardie wrap WEATHER BARRIES OR APPROVED EQUAL - BATT INSULATION TO ACHIEVE A R-5.7 VALUE 2"x6" WOOD STUD FRAMING ATTACHED TO FLOOR AND CEILING WITH FASTENERS SPACED 16 IN. O.C. MAX. (SEE FLOOR PLAN). - GYPSUM BOARD* - NOM. 5/8 IN. THICK [1/2 IN. THICK NON-FIRE RATED], 4FT WIDE GYPSUM PANELS, ATTACHED TO WOOD STUDS & FLOOR & CEILING TRACK WITH 1 IN. LONG, TYPE 9 STEEL SCREWS SPACED 8 IN. O.C. ALONG EDGES OF BOARD & 12 IN. O.C. IN THE FIELD OF THE BOARD. JOINTS ORIENTED VERTICALLY & STAGGERED ON OPPOSITE SIDES OF THE ASSEMBLY. WHEN ATTACHED TO FURRING CHANNELS W. 1 IN. LONG, TYPE S SCREWS SPACED 12 IN. O.C. - JOINT TAPE AND COMPOUND- VINYL OR DRY PREMIXED JOINT COMPOUND APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS. PAPER TAPE , 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS. - NEW FINISH PAINT, (1) COAT PRIMER (2) FINISH COATS OVER 5/8" GWB (#6) - CONT. FIRE RATED ACOUSTICAL SEALANT @ TOP AND BOTTOM OF WALL FOR RATED WALLS. PROVIDE NON-FIRE-RATED ACOUSTICAL SEALANT AT NON-RATED WALL - INTERIOR BASEBOARD, PROBIDED AND INSTALLED BY GC, SELECTED BY OWNER *USG'S WATER-RESISTANT (GREEN BOARD) IN HUMID AREAS EXTERIOR WALLS TYPE A ARE BEARING. SEE STRUCTURAL		- CEMENTITIOUS SIDING COLOR WHITE SW 7006- BOARD AND BATTEN STYLE COLOR WHITE SW 7006 5/8" CDX EXTERIOR GRADE PLYWOOD OR OSB PLYWOOD - WATERPROOFING MEMBRANE - hardie wrap WEATHER BARRIES OR APPROVED EQUAL - BATT INSULATION TO ACHIEVE A R-5.7 VALUE 2"x6" WOOD STUD FRAMING ATTACHED TO FLOOR AND CEILING WITH FASTENERS SPACED 16 IN. O.C. MAX. (SEE FLOOR PLAN). - GYPSUM BOARD* - NOM. 5/8 IN. THICK [1/2 IN. THICK NON-FIRE RATED], 4FT WIDE GYPSUM PANELS, ATTACHED TO WOOD STUDS & FLOOR & CEILING TRACK WITH 1 IN. LONG, TYPE 9 STEEL SCREWS SPACED 8 IN. O.C. ALONG EDGES OF BOARD & 12 IN. O.C. IN THE FIELD OF THE BOARD. JOINTS ORIENTED VERTICALLY & STAGGERED ON OPPOSITE SIDES OF THE ASSEMBLY. WHEN ATTACHED TO FURRING CHANNELS W. 1 IN. LONG, TYPE S SCREWS SPACED 12 IN. O.C. - JOINT TAPE AND COMPOUND- VINYL OR DRY PREMIXED JOINT COMPOUND APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS. PAPER TAPE , 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS. - NEW FINISH PAINT, (1) COAT PRIMER (2) FINISH COATS OVER 5/8" GWB (#6) - CONT. FIRE RATED ACOUSTICAL SEALANT @ TOP AND BOTTOM OF WALL FOR RATED WALLS. PROVIDE NON-FIRE-RATED ACOUSTICAL SEALANT AT NON-RATED WALL - INTERIOR BASEBOARD, PROBIDED AND INSTALLED BY GC, SELECTED BY OWNER *USG'S WATER-RESISTANT (GREEN BOARD) IN HUMID AREAS EXTERIOR WALLS TYPE A ARE BEARING. SEE STRUCTURAL		8" CONCRETE MASONRY UNIT WALL - CEMENTITIOUS SIDING COLOR WHITE SW 7006- BOARD AND BATTEN STYLE COLOR WHITE SW 7006; OR HORIZONTAL SIDING COLOR WHITE SW 7006 [SEE EXTERIOR ELEVATIONS AND WALL SECTIONS FOR FINISH LOCATIONS]. 1/2" HORIZONTAL BLOCKING AS REQUIRED PER MANUFACTURER.		2"x8" WOOD STUD FRAMING ATTACHED TO FLOOR AND CEILING WITH FASTENERS SPACED 16 IN. O.C. MAX. (SEE FLOOR PLAN). - CEMENTITIOUS SIDING COLOR WHITE SW 7006- BOARD AND BATTEN STYLE COLOR WHITE SW 7006; OR HORIZONTAL SIDING COLOR WHITE SW 7006 [SEE EXTERIOR ELEVATIONS AND WALL SECTIONS FOR FINISH LOCATIONS]. - CONT. FIRE RATED ACOUSTICAL SEALANT @ TOP AND BOTTOM OF WALL (BOTH SIDES) FOR RATED WALLS. PROVIDE NON-FIRE-RATED ACOUSTICAL SEALANT AT NON-RATED WALL 1/2" HORIZONTAL BLOCKING AS REQUIRED PER MANUFACTURER.		8" CONCRETE MASONRY UNIT WALL - NEW FINISH PAINT, (1) COAT PRIMER (2) FINISH COATS

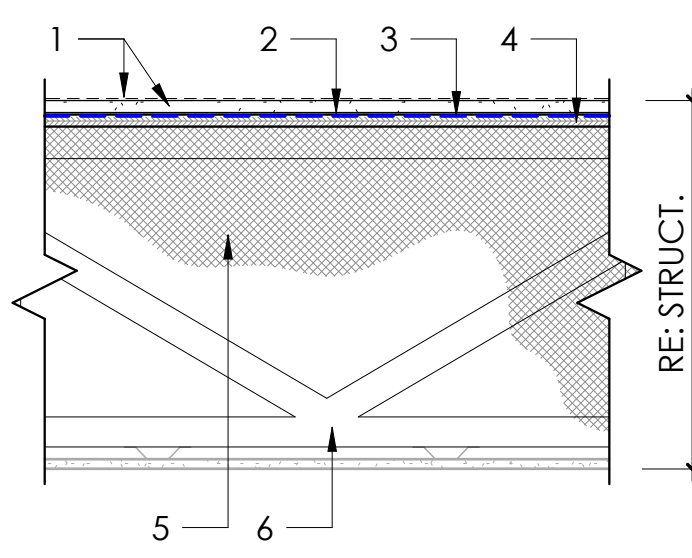
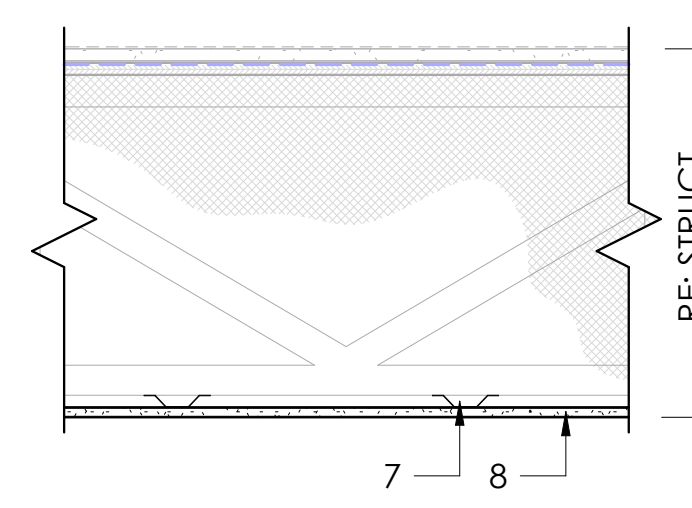
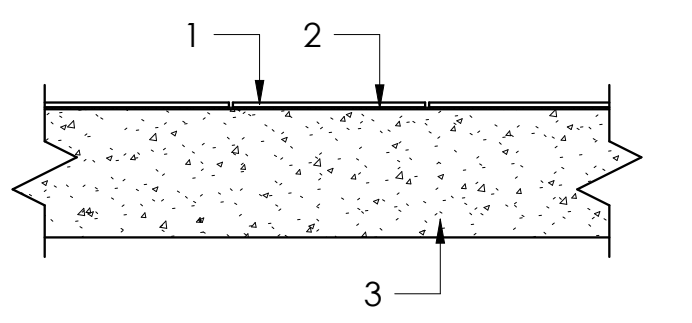
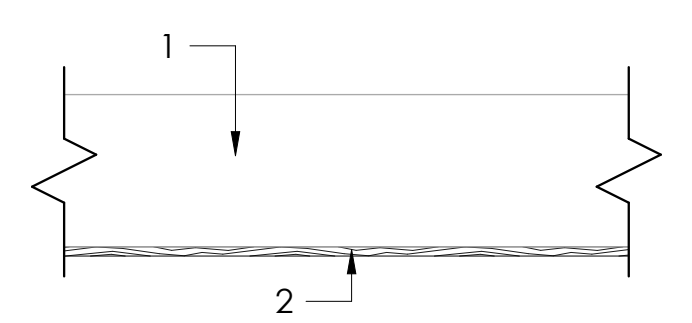
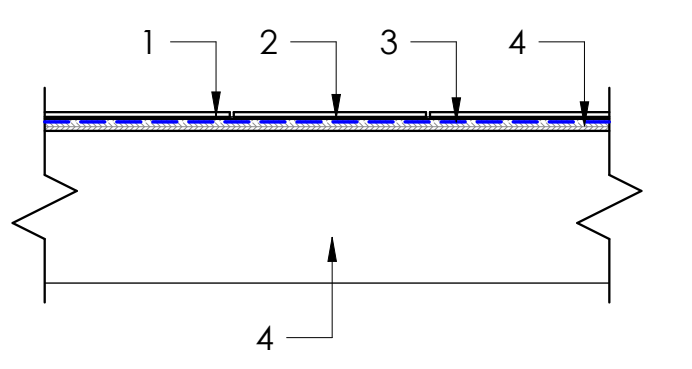
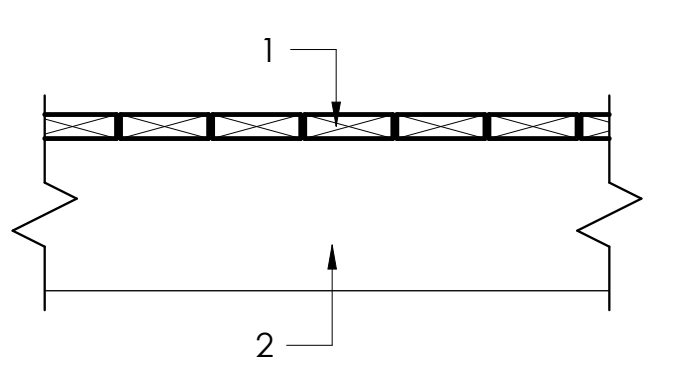
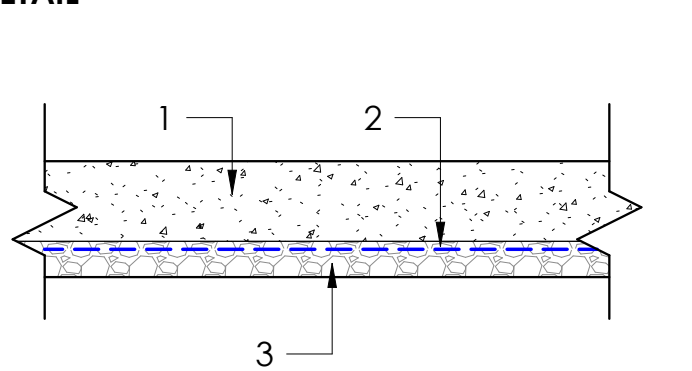
INTERIOR WALLS

D	UNIT DIMISING WOOD FRAME WALL 1HR RATED WALL	E	TYP. INTERIOR WOOD FRAME WALL GYP BOARD ON BOTH SIDES OF WOOD STUD	F	TYP. INTERIOR WOOD FRAME WALL GYP BOARD ON BOTH SIDES OF WOOD STUD
	- BOTH SIDES GYPSUM BOARD* - NOM. 5/8 IN. THICK [1/2 IN. THICK NON-FIRE RATED], 4FT WIDE GYPSUM PANELS, ATTACHED TO WOOD STUDS & FLOOR & CEILING TRACK WITH 1 IN. LONG, TYPE 9 STEEL SCREWS SPACED 8 IN. O.C. ALONG EDGES OF BOARD & 12 IN. O.C. IN THE FIELD OF THE BOARD. JOINTS ORIENTED VERTICALLY & STAGGERED ON OPPOSITE SIDES OF THE ASSEMBLY. WHEN ATTACHED TO FURRING CHANNELS W. 1 IN. LONG, TYPE S SCREWS SPACED 12 IN. O.C. - SOUND ATTENUATION BLANKETS AT ALL SHARED WALLS - STAGGERED 2"x4" WOOD STUD FRAMING WITH 2"x6" FRAMING ATTACHED TO FLOOR AND CEILING WITH FASTENERS SPACED 16 IN. O.C. MAX. (SEE FLOOR PLAN). - JOINT TAPE AND COMPOUND- VINYL OR DRY PREMIXED JOINT COMPOUND APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS. PAPER TAPE , 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS. - NEW FINISH PAINT, (1) COAT PRIMER (2) FINISH COATS WHERE GWB IS APPLIED - CONT. FIRE RATED ACOUSTICAL SEALANT @ TOP AND BOTTOM OF WALL (BOTH SIDES) FOR RATED WALLS. PROVIDE NON-FIRE-RATED ACOUSTICAL SEALANT AT NON-RATED WALL - INTERIOR BASEBOARD, PROBIDED AND INSTALLED BY GC, SELECTED BY OWNER ALL PIPE & CONDUIT PENETRATIONS ARE TO BE SEALED WITH FIRE RATED CAULKING *USG'S WATER-RESISTANT (GREEN BOARD) IN HUMID AREAS		2"x4" WOOD STUD FRAMING ATTACHED TO FLOOR AND CEILING WITH FASTENERS SPACED 16 IN. O.C. MAX. (SEE FLOOR PLAN). - GYPSUM BOARD*- NOM. 5/8 IN. THICK [1/2 IN. THICK NON-FIRE RATED], 4FT WIDE GYPSUM PANELS, ATTACHED TO WOOD STUDS & FLOOR & CEILING TRACK WITH 1 IN. LONG, TYPE 9 STEEL SCREWS SPACED 8 IN. O.C. ALONG EDGES OF BOARD & 12 IN. O.C. IN THE FIELD OF THE BOARD. JOINTS ORIENTED VERTICALLY & STAGGERED ON OPPOSITE SIDES OF THE ASSEMBLY. WHEN ATTACHED TO FURRING CHANNELS W. 1 IN. LONG, TYPE S SCREWS SPACED 12 IN. O.C. - JOINT TAPE AND COMPOUND- VINYL OR DRY PREMIXED JOINT COMPOUND APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS. PAPER TAPE, 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS. - NEW FINISH PAINT, (1) COAT PRIMER (2) FINISH COATS - CONT. FIRE RATED ACOUSTICAL SEALANT @ TOP AND BOTTOM OF WALL (BOTH SIDES) FOR RATED WALLS. PROVIDE NON-FIRE-RATED ACOUSTICAL SEALANT AT NON-RATED WALL - INTERIOR BASEBOARD, PROBIDED AND INSTALLED BY GC, SELECTED BY OWNER - SOUND ATTENUATION AT ALL INTERIOR WALLS TYP. *USG'S WATER-RESISTANT (GREEN BOARD) IN HUMID AREAS		2"x6" WOOD STUD FRAMING ATTACHED TO FLOOR AND CEILING WITH FASTENERS SPACED 16 IN. O.C. MAX. (SEE FLOOR PLAN). - GYPSUM BOARD*- NOM. 5/8 IN. THICK [1/2 IN. THICK NON-FIRE RATED], 4FT WIDE GYPSUM PANELS, ATTACHED TO WOOD STUDS & FLOOR & CEILING TRACK WITH 1 IN. LONG, TYPE 9 STEEL SCREWS SPACED 8 IN. O.C. ALONG EDGES OF BOARD & 12 IN. O.C. IN THE FIELD OF THE BOARD. JOINTS ORIENTED VERTICALLY & STAGGERED ON OPPOSITE SIDES OF THE ASSEMBLY. WHEN ATTACHED TO FURRING CHANNELS W. 1 IN. LONG, TYPE S SCREWS SPACED 12 IN. O.C. - JOINT TAPE AND COMPOUND- VINYL OR DRY PREMIXED JOINT COMPOUND APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS. PAPER TAPE, 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS. - NEW FINISH PAINT, (1) COAT PRIMER (2) FINISH COATS - CONT. FIRE RATED ACOUSTICAL SEALANT @ TOP AND BOTTOM OF WALL (BOTH SIDES) FOR RATED WALLS. PROVIDE NON-FIRE-RATED ACOUSTICAL SEALANT AT NON-RATED WALL - INTERIOR BASEBOARD, PROBIDED AND INSTALLED BY GC, SELECTED BY OWNER - SOUND ATTENUATION AT ALL INTERIOR WALLS TYP. *USG'S WATER-RESISTANT (GREEN BOARD) IN HUMID AREAS

WALL PRIORITY LEGEND



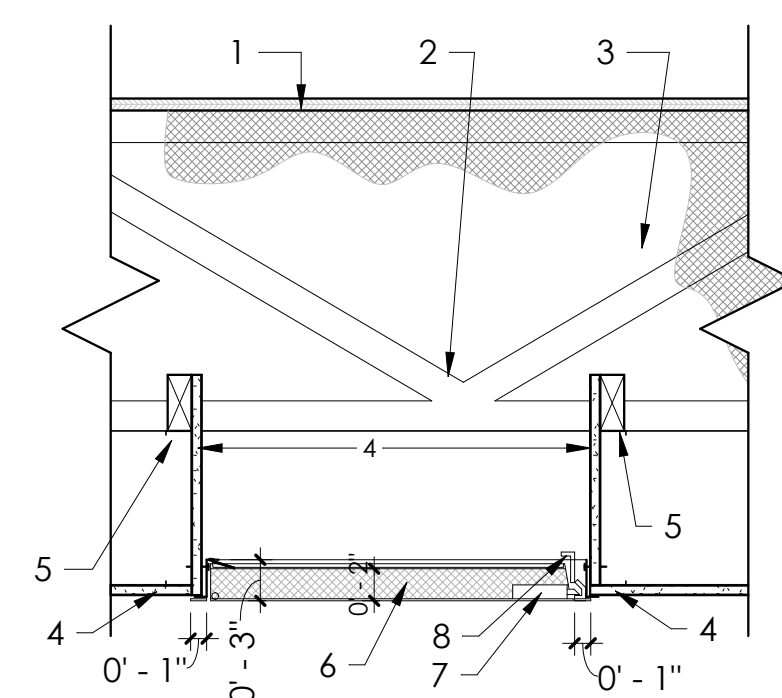
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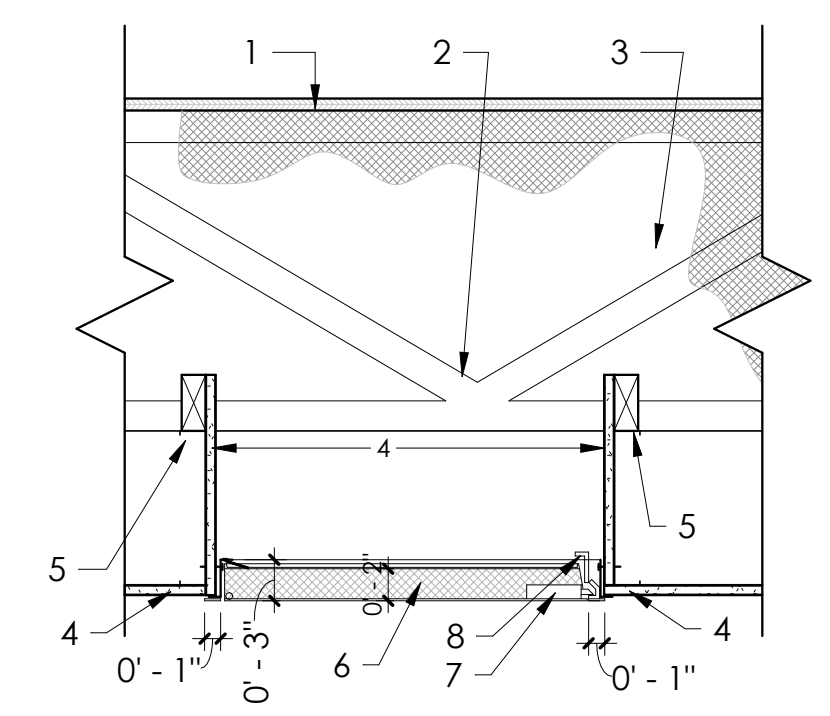
FLOOR ASSEMBLIES		CEILING ASSEMBLIES	
FA-01 UL521 1HR FIRE RATING MATERIALS 1. 3/4" GYP-CRETE BASIC MIXTURE WITH .295" CORETEC FLOORING 2. 1/8" USG LEVELROCK BRAND SAM-N12 SOUND ATTENUATION MAT 3. VAPOR BARRIER 4. MIN. 23/32" PLYWOOD PANEL 5. R-30 OPEN CELL FOAM INSULATION TO COMPLY WITH ENERGY CALCULATIONS 6. 18" (@ GROUND FLOOR) OR 20" (@ OTHER FLOORS) ENGINEERED WOOD TRUSSES, RE: STRUCTURAL 7. 25 GA. RESILIENT HAT CHANNEL AY 16" O.C. 8. 5/8" SMOOTH HARDIE PANEL (@ GROUND FLOOR GARAGE); OR 5/8" USG SHEETROCK BRAND ECOSMART PANELS FIRECODE X (@ UNITS) DETAIL 		C1 UL521 1HR FIRE RATING MATERIALS 1. 3/4" GYP-CRETE BASIC MIXTURE WITH .295" CORETEC FLOORING 2. 1/8" USG LEVELROCK BRAND SAM-N12 SOUND ATTENUATION MAT 3. VAPOR BARRIER 4. MIN. 23/32" PLYWOOD PANEL 5. R-30 OPEN CELL FOAM INSULATION TO COMPLY WITH ENERGY CALCULATIONS 6. 18" (@ GROUND FLOOR) OR 20" (@ OTHER FLOORS) ENGINEERED WOOD TRUSSES, RE: STRUCTURAL 7. 25 GA. RESILIENT HAT CHANNEL AY 16" O.C. 8. 5/8" SMOOTH HARDIE PANEL (@ GROUND FLOOR GARAGE); OR 5/8" USG SHEETROCK BRAND ECOSMART PANELS FIRECODE X (@ UNITS) DETAIL 	
FA-02 MATERIALS 1. 12" x 24" TILE FLOORING 2. 1/8" MORTAR 3. 8" CONCRETE SLAB SLOPED FOR DRAINAGE, RE: STRUCTURAL DETAIL 		C2 MATERIALS 1. FLOOR ASSEMBLY ABOVE 2. VENTED HARDIE SOFFIT BOARD DETAIL 	
FA-03 MATERIALS 1. 12" x 24" TILE FLOORING 2. 1/8" MORTAR 3. SCHULTER DITRA UNCOUPLING & WATERPROOFING MEMBRANE 4. 3/4" PLYWOOD SHEATHING 5. 2x10 PRESSURE TREATED JOIST, RE: STRUCTURAL DETAIL 			
FA-04 MATERIALS 1. 2x6 WOOD COMPOSITE DECKING 2. 2x10 PRESSURE TREATED JOIST, RE: STRUCTURAL DETAIL 			
FA-05 MATERIALS 1. SLAB ON GRADE, RE: STRUCTURAL 2. VAPOR BARRIER 3. COMPACTED FILL DETAIL 			

4

1 HR. FIRE-RATED ATTIC ACCESS DETAIL

SCALE: 1" = 1'-0"



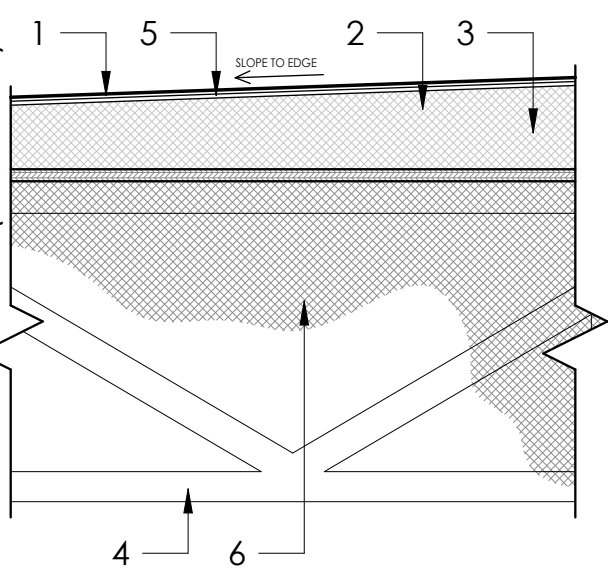
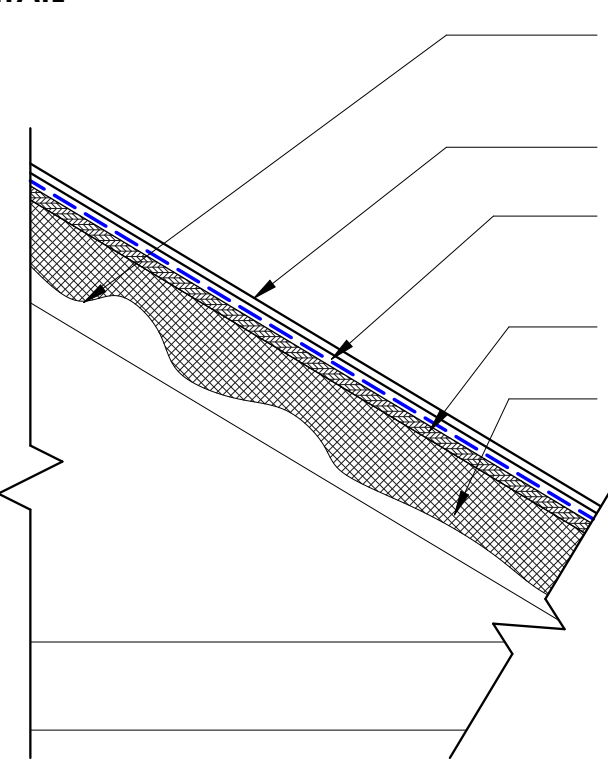
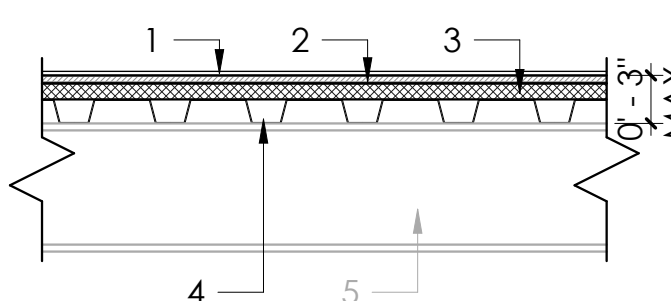


1. 3/4" PLYWOOD FLOOR
2. ENGINEERED WOOD FLOOR TRUSSES
3. R-30 OPEN CELL FOAM INSULATION TO COMPLY WITH ENERGY CALCULATIONS
4. 5/8" SHEETROCK - FIRE CODE G-GYPSUM PANELS AROUND ROUGH OPENING
5. MIN.18 GAUGE 8" STEEL JOIST PLACED 24" O.C. FULL OPENING SHALL BE FRAMED ACCORDINGLY TO MAINTAIN REQUIRED FIRE RATING
6. INSULATION
7. FLUSH LATCH RELEASE OR KEY OPERATED AUTOMATIC CLOSER ON ALL DOORS
8. INTERIOR LATCH RELEASE

4

1 HR. FIRE-RATED ATTIC ACCESS DETAIL

SCALE: 1" = 1'-0"

ROOF ASSEMBLIES			
RA-01		TPO FLAT ROOF	
MATERIALS		DETAIL	
1. G.A.F. EVERGUARD EXTREME T.P.O. 80 MIL ROOF MEMBRANE OR EQ. BUILDER TO COORDINATE W/ MFG APPROVED STANDING SEAM TO T.P.P. DETAILS FOR A 20 YEAR ROOFING SYSTEM WARRANTY. 2. POLYSIO TAPERED INSULATION; SLOPE TO EDGE 3. ROOF SHEATHING; RE: STRUCTURAL 4. ROOF TRUSS; RE: STRUCTURAL 5. 3/4" RECOVERY BOARD AS REQUIRED OVER RIGID INSULATION 6. MIN. R-30 VALUE THERMAL INSULATION		0'-4" MIN. (AVG. R-19) 	
RA-02		STANDING SEAM METAL ROOF	
MATERIALS		DETAIL	
1. ENGINEERED WOOD ROOF TRUSSES, SEE STRUCTURAL DRAWINGS. 2. 3/4 PLYWOOD SHEATHING. SEE STRUCTURAL DRAWINGS FLUID APPLIED WATER-RESISTANT BARRIER 3. PEEL-N-STICK 4. STANDING METAL SEAM (INCLUDE RECOMMENDED SPEC., .032" ALUMINUM), 1-1/2" STANDING SEAM, 16" WIDE PANEL OR EQUAL, SNAP LOCK, 16" WIDE, 1'-1/2" H. STANDING SEAM W/ DOUBLE STRIPED PROFILE 5. R-30 OPEN CELL FOAM INSULATION TO COMPLY WITH ENERGY CALCULATIONS. PROVIDE NOBURN INTUMESCENT COATING OR EQUAL TO MAINTAIN R-30 BASED ON TYPE OF OPEN CELL INSULATION USED. COATING SHALL NOT INHIBIT VAPOR PERMEABILITY.			
RA-03		ELEVATOR ROOF	
MATERIALS		DETAIL	
1. G.A.F. EVERGUARD EXTREME T.P.O. 80 MIL ROOF MEMBRANE OR EQ. BUILDER TO COORDINATE W/ MFG APPROVED STANDING SEAM TO T.P.P. DETAILS FOR A 20 YEAR ROOFING SYSTEM WARRANTY. 2. 1/2" COVER BOARD, DENS GLASS OR APPROVED EQUAL 3. POLY-ISO BOARD, MECHANICALLY FASTENED 16" O.C. 4. 1 1/2' METAL DECKING, RE: STRUCTURAL 5. ELEVATOR HOIST BEAM, RE: STRUCTURAL			

LIFE SAFETY LEGEND

INDICATES CMU WALL

INDICATES PARTITION WALL

UNIT DIMISING WOOD FRAME WALL 1HR RATED WALL

S FE SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET

EXIT

EXIT SIGNAGE / DIRECTION

EMERGENCY LIGHT, SEE ELEC DWGS

EMERGENCY LIGHT, SEE ELEC DWGS

A2

WALL TYPES, SEE SHT G200,G201

TRAVEL DISTANCE

DOOR

140

165

32"

36"

STAIR

150

165

36"

144"

OCCUPANCY TAG

NAME

B

CH10 F.O.S.

500 SF

@2000

NSF / GSF

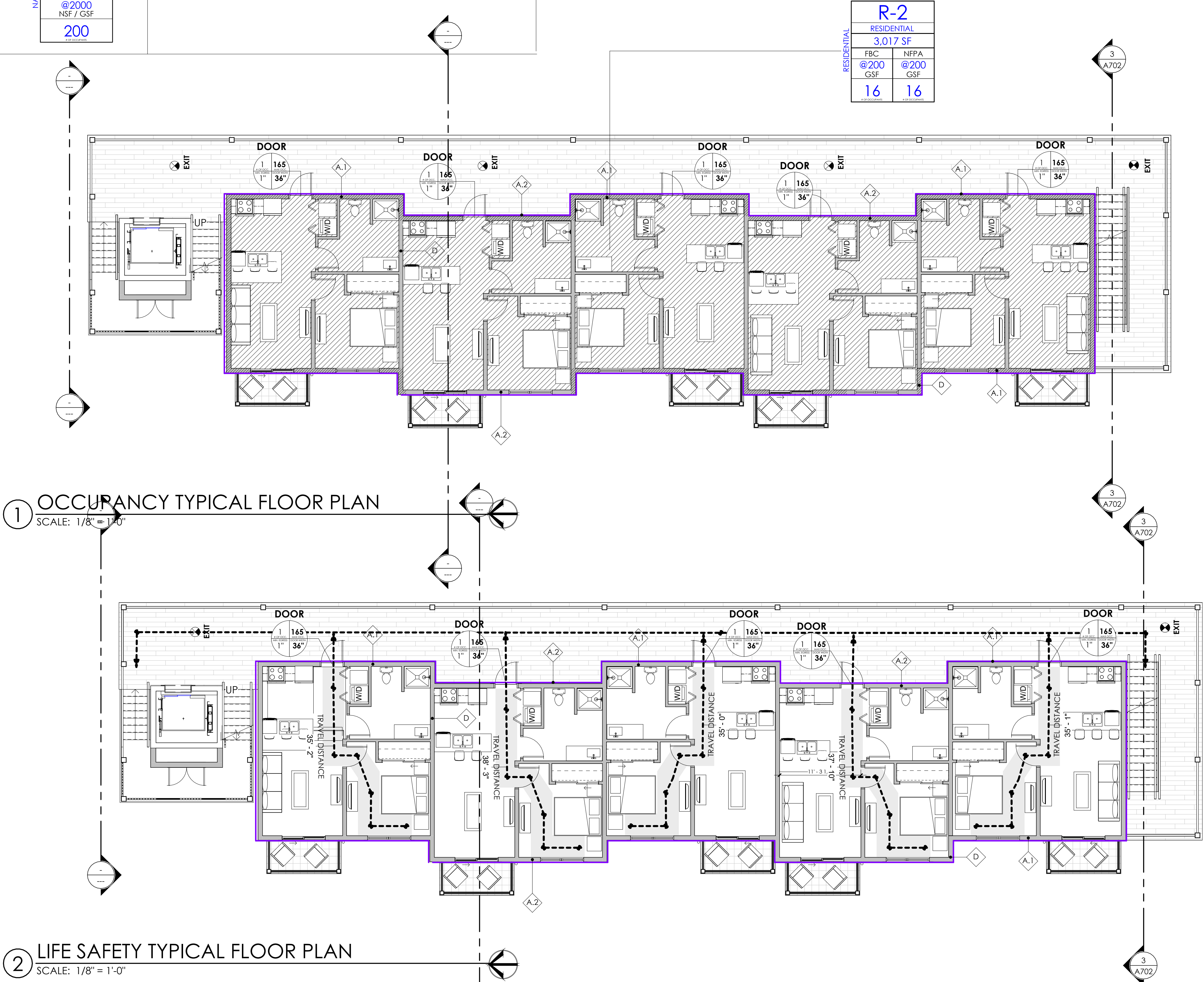
200

MAX OCCUPANCY

MIN 36"

LIFE SAFETY NOTES

1. DO NOT SCALE DRAWINGS
2. REFER TO ELECTRICAL / FIRE ALARM DRAWINGS FOR ADDITIONAL LIFE SAFETY INFORMATION AND DEVICE REQUIREMENTS.
3. FIRE PROTECTION SYSTEM IS NFPA 13 FULL SPRINKLER SYSTEM
4. PROVIDE AT EACH MECHANICAL, UTILITY, ELECTRICAL AND THE LIKE SIGNAGE TO INDICATE ROOM NAME AND BRAILLE MARKING.
- 5.WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR/CEILING, OR ATTIC SPACE, FIRE BARRIERS, SMOKE BARRIERS, AND SMOKE PARTITIONS SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE AND SHALL COMPLY WITH ALL OF THE FOLLOWING:
(1) BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR/CEILING, OR ATTIC SPACES
(2) BE LOCATED WITHIN 15 FT (4572 MM) OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FT (9144 MM) MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION
(3) INCLUDE LETTERING NOT LESS THAN 3 IN. (76 MM) IN HEIGHT WITH A MINIMUM 3/ 8 IN. (9.5 MM) STROKE IN A CONTRASTING COLOR
(4) IDENTIFY THE WALL TYPE AND ITS FIRE-RESISTANCE RATING, AS APPLICABLE



**RIVERVIEW CHR DEVELOPMENT
1517 PERIWINKLE WAY, SANIBEL,
FL 33957**

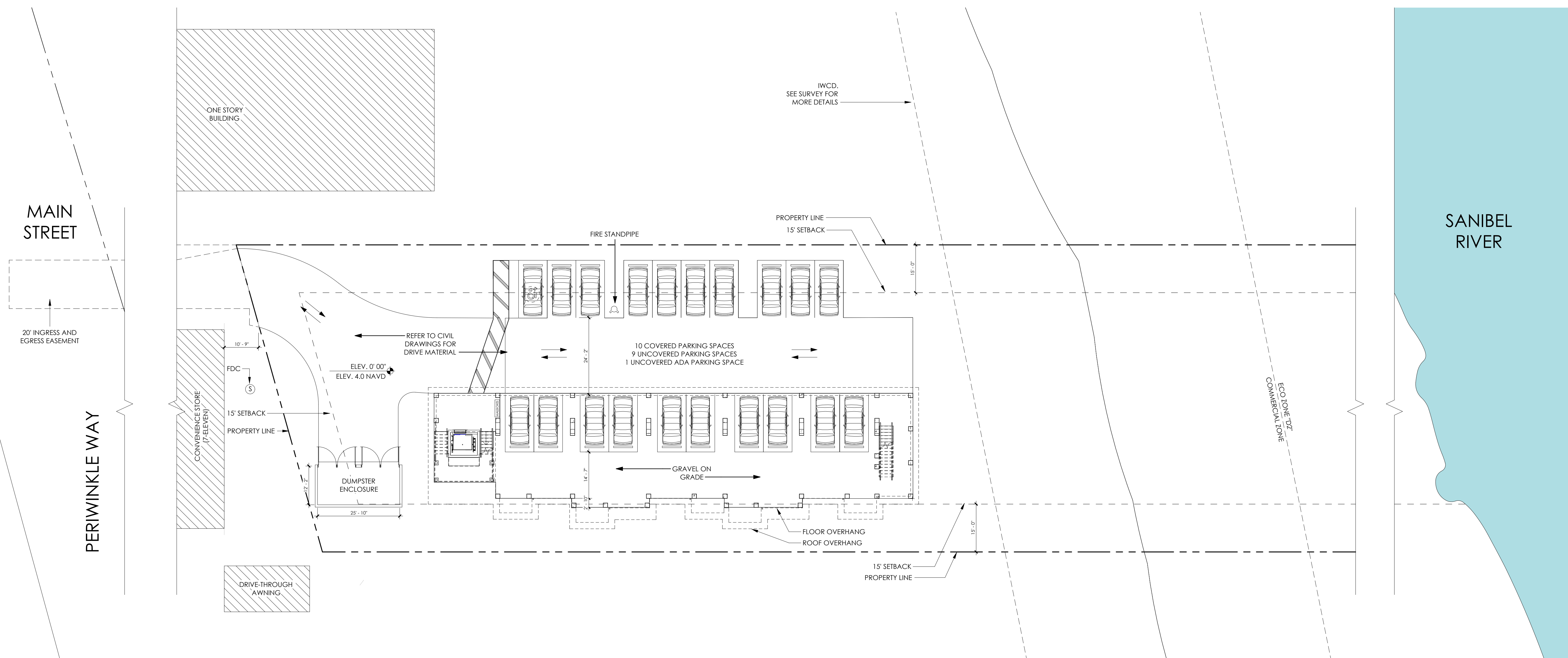
FLORIDA SEAL
REG# AB 16971

PERMIT SET		03/24/2025
1.	CITY COMMENTS	06/16/25
2.	DRAWING REVISIONS	10/15/2025
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

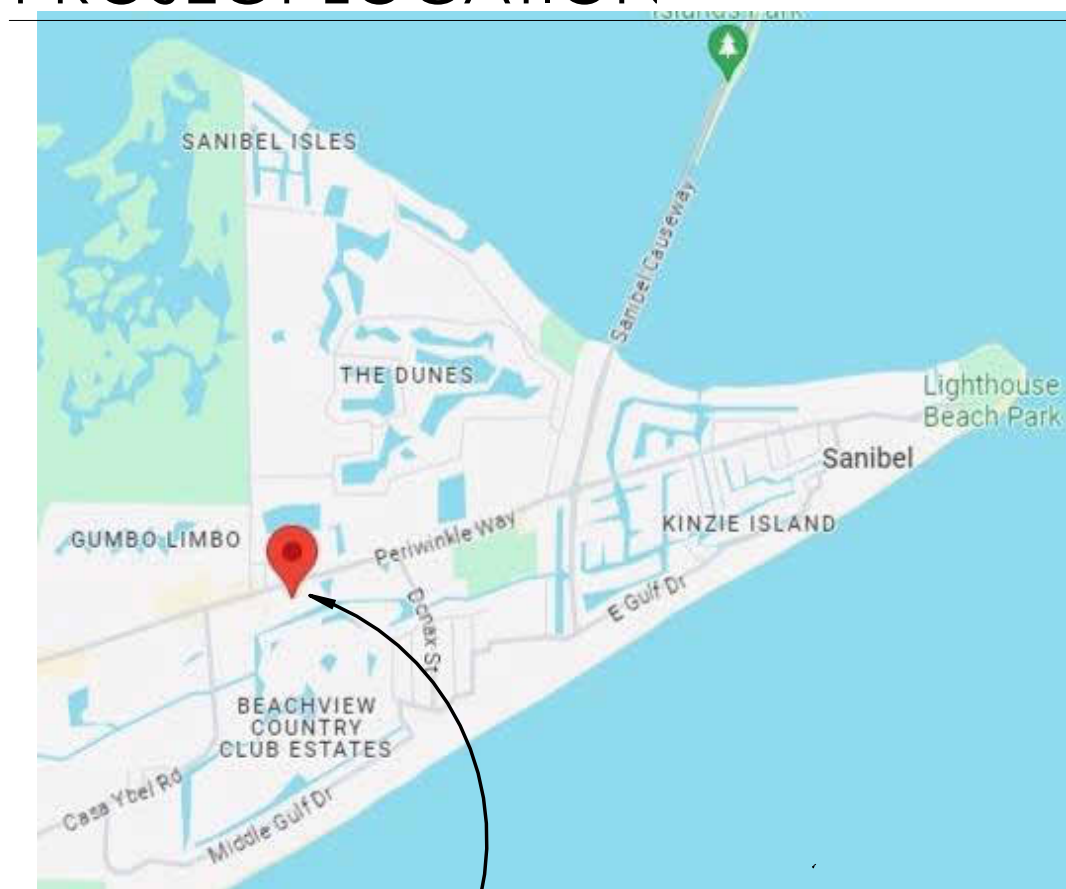
SITE PLAN

PHASE	100% C
PR NO	23416
PA/PM	CC/PV

A 100



PROJECT LOCATION



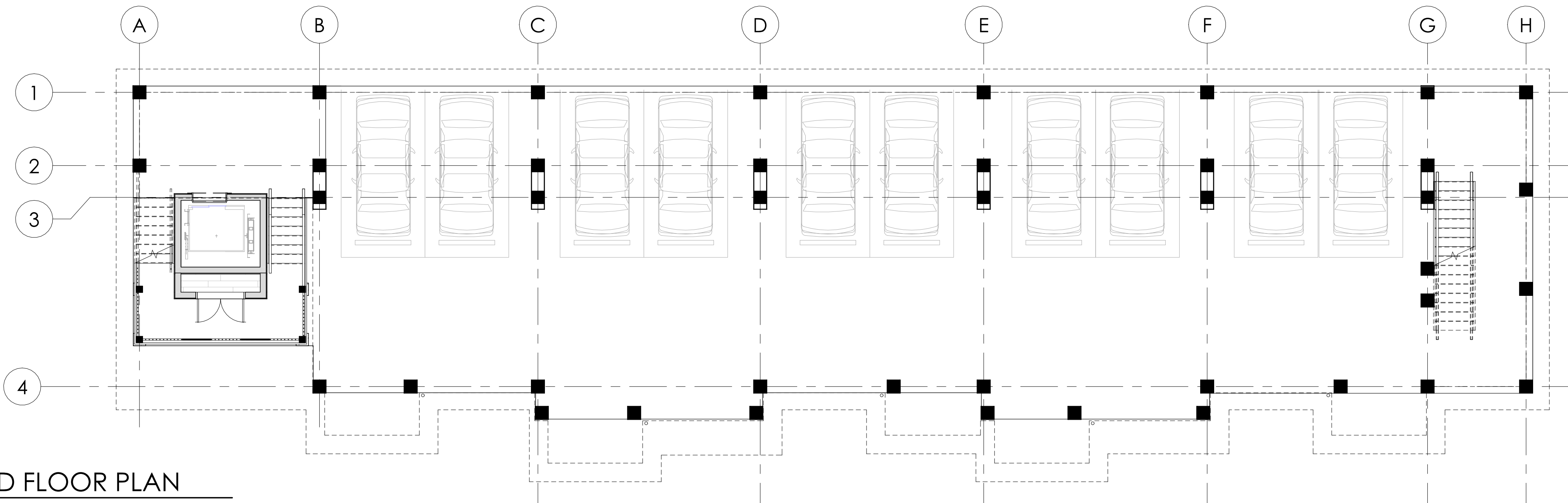
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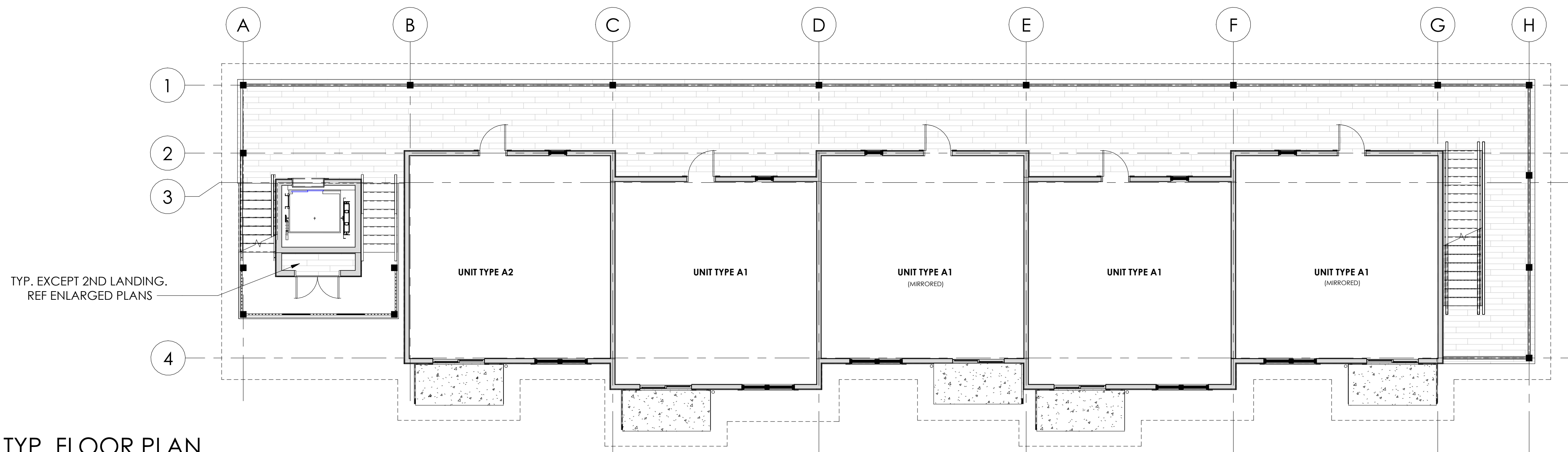
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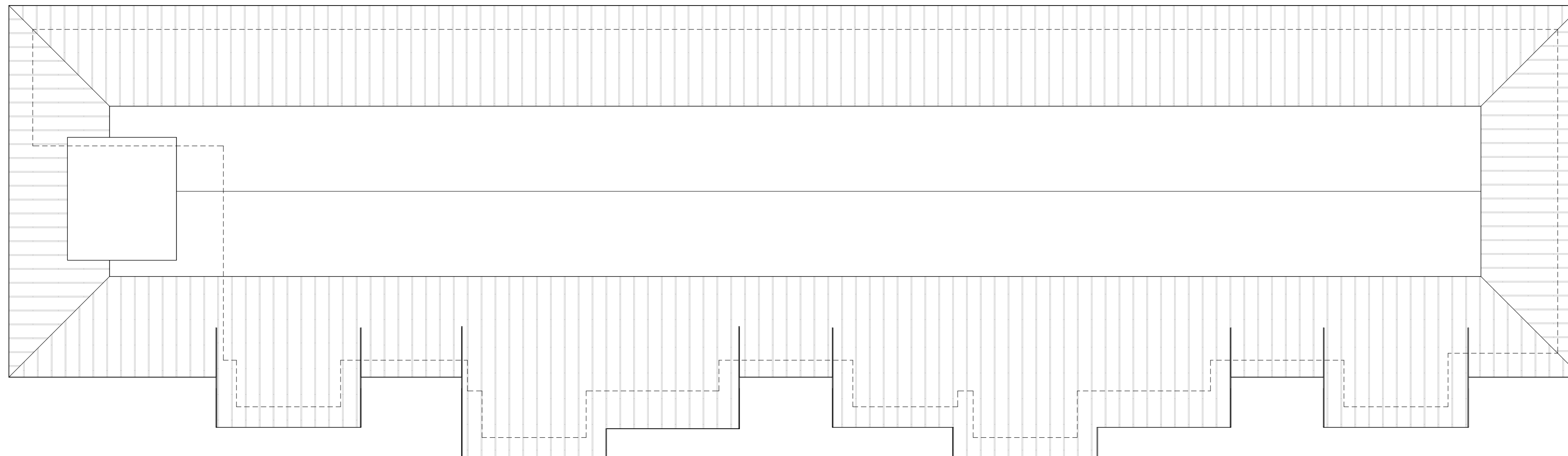
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1 OVERALL GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

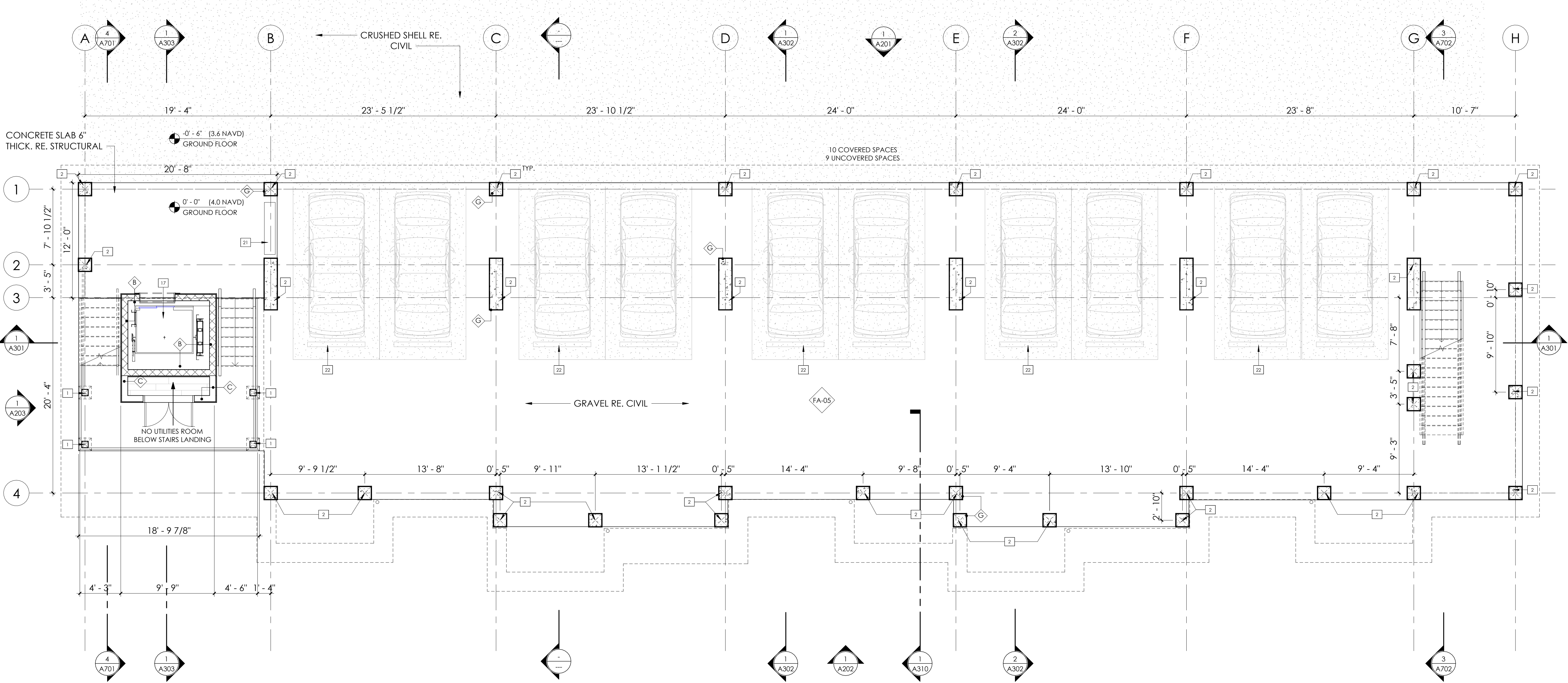


2 OVERALL TYP. FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 OVERALL ROOF PLAN
SCALE: 1/8" = 1'-0"

1 GROUND FLOOR PLAN
SCALE: 3/16" = 1'-0"



KEYNOTES	
1	WOOD COLUMN, RE: STRUCTURAL
2	CONCRETE COLUMN, RE: STRUCTURAL
17	DEPRESSED ELEVATOR PIT
21	FREESTANDING MAILBOXES, B.O.D SALSBUURY INDUSTRIES MODELS 3316WHT-U (1) AND 3304WHT-U (1), OR EQUAL, FINAL SELECTION BY OWNER, PROVIDED AND INSTALLED BY GC
22	RAILROAD TIES OR LANDSCAPE TIMBERS PARKING STOPS

GENERAL FLOOR PLAN NOTES

- A. ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL BULLETIN #2
- B. AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. AT WET WALLS PROVIDE WATER RESISTANT BOARD.
- C. PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT INTERIOR FRAMED WALLS.
- D. THE CONTRACTOR SHALL COORDINATE THE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS. SEE MEP DRAWINGS FOR MORE DETAILS.
- E. BUILDER SHALL LAYOUT 1ST FLOOR PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND DISCREPANCIES
- F. CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS PROVIDED AND INSTALLED BY GC, SELECTED BY OWNER.
- H. PROVIDE BLOCKING AT TOILETS AND SHOWER TO ALLOW FOR FUTURE INSTALLATION OF GRAB BARS.

PERMIT SET	03/24/2025
CITY COMMENTS	06/16/25
DRAWING REVISIONS	10/15/2025
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
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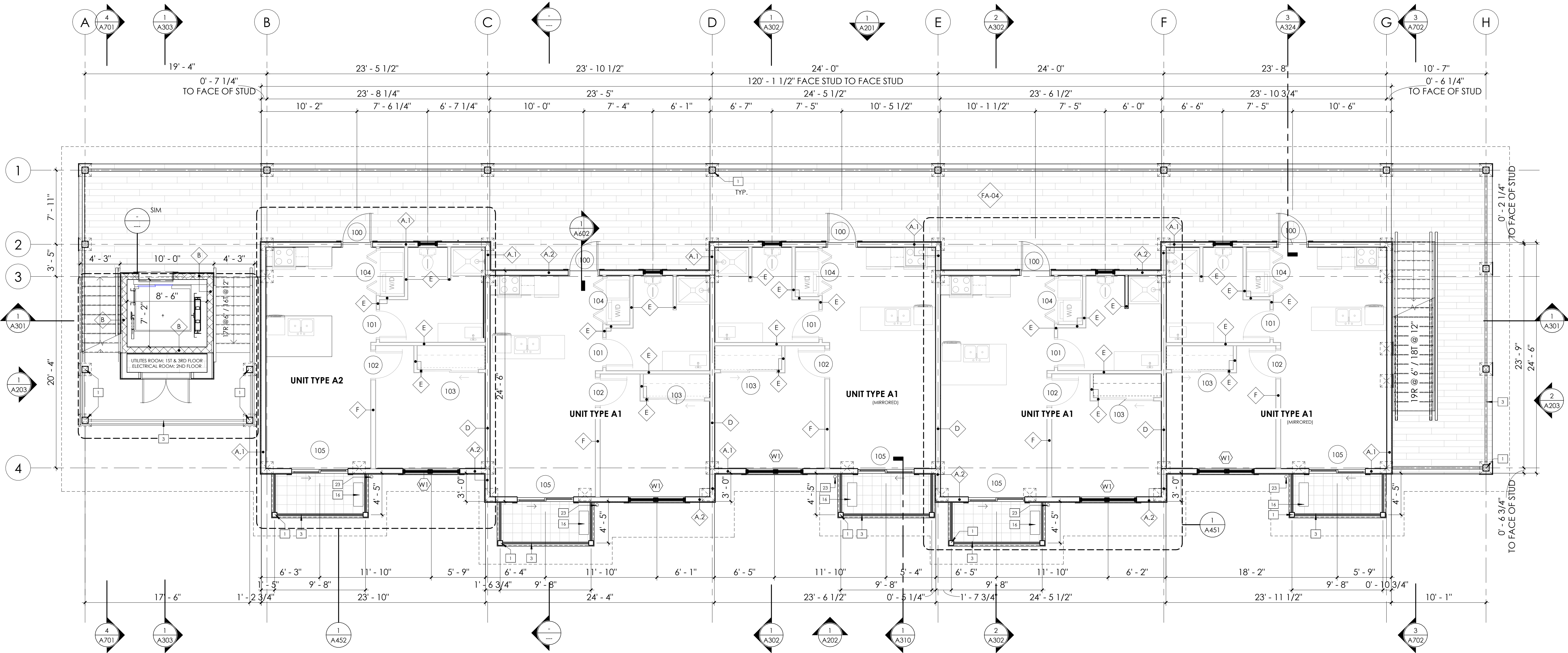
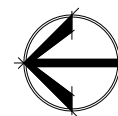
GROUND
FLOOR PLAN

PHASE	100% CD
PR NO	23416
PA/PM	CC/PV

1 TYPICAL FLOOR PLAN

SCALE: 3/16" = 1'-0"

THIS FLOOR PLAN APPLY TO FIRST FLOOR, SECOND FLOOR, THIRD FLOOR



KEYNOTES	
1	WOOD COLUMN, RE: STRUCTURAL
3	42" GUARDRAIL
16	MECHANICAL CONDENSING UNIT
23	CONDENSATE LINE CONCEALED IN PVC ENCLOSURE TO RUN DOWN EXTERIOR OF BUILDING, OUTSIDE OF SCREEN ENCLOSURE FOR EASE OF MAINTENANCE

GENERAL FLOOR PLAN NOTES

- A. ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL BULLETIN #2
- B. AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. AT WET WALLS PROVIDE WATER RESISTANT BOARD.
- C. PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT INTERIOR FRAMED WALLS.
- D. THE CONTRACTOR SHALL COORDINATE THE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS. SEE MEP DRAWINGS FOR MORE DETAILS.
- E. BUILDER SHALL LAYOUT 1ST FLOOR PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND DISCREPANCIES
- F. CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS PROVIDED AND INSTALLED BY GC, SELECTED BY OWNER.
- H. PROVIDE BLOCKING AT TOILETS AND SHOWER TO ALLOW FOR FUTURE INSTALLATION OF GRAB BARS.

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RIVERVIEW CHR DEVELOPMENT
1517 PERIWINKLE WAY, SANIBEL,
FL 33957

FLORIDA SEAL
REG# AR 16971

PERMIT SET	03/24/2025
DRAWING REVISIONS	10/15/2025
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TYPICAL
FLOOR PLAN

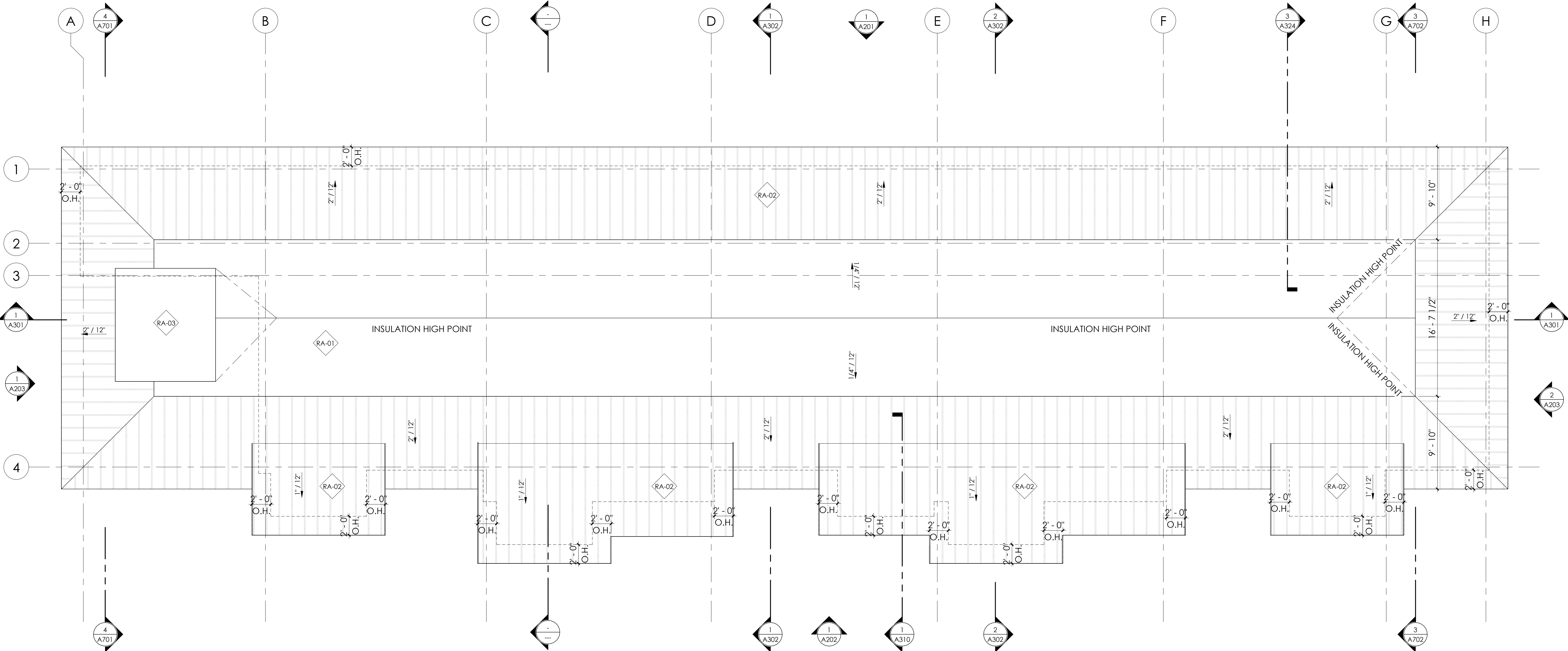
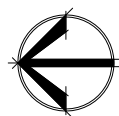
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A103

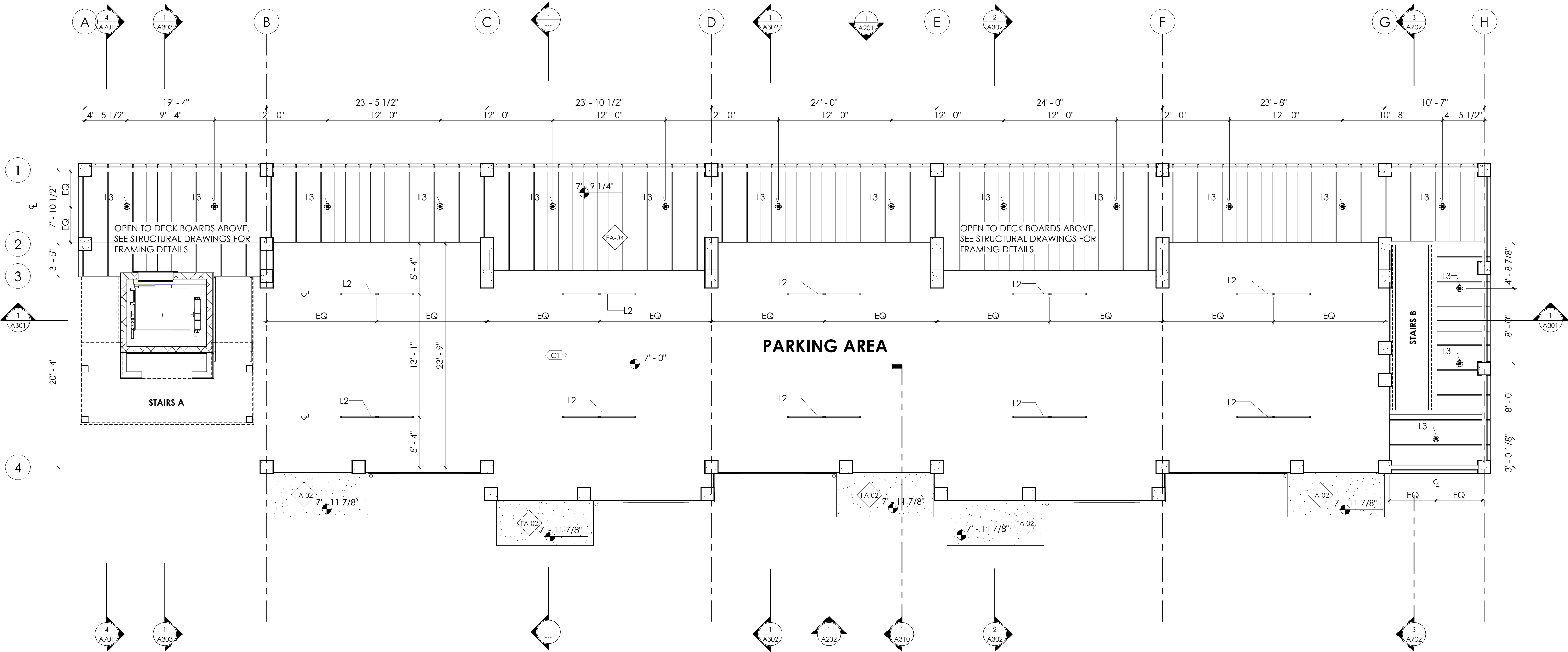
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ROOF PLAN

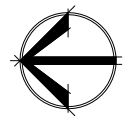
SCALE: 3/16" = 1'-0"



BEAM HEIGHT LEGEND		GENERAL ROOF NOTES	
TOP OF BEAM @ EL = 37' 5 9/16" [- - - - -]		1. ALL ALUMINUM EXPOSED VERTICAL FLASHINGS TO BE PAINTED TO MATCH FIELD COLOR OF BUILDING.	
RAKED BEAM		TPO SINGLE-PLY MEMBRANE ROOFING SYSTEM (MECHANICALLY ATTACHED WITH RHINO BOND FASTENING)	
KEYNOTES		- GAF "EVERGUARD" 80 MIL TPO MEMBRANE SHEET COLOR: MANUFACTURER'S "WHITE 920" - DECK ASSEMBLY: MIN. 4" POLYISO RIGID INSULATION OVER 3/8" COVERBOARD, SLOPE AS REQUIRED TO PROVIDE POSITIVE DRAINAGE - ATTACH TO METAL DECK WITH DRILL-TEC "RHINO BOND" FASTENING PLATES + FASTENERS (OR EQUAL) PROVIDE MIN. 20 YR WARRANTY	
		MEMBRANE ROOF ALTERNATE: MODIFIED BITUMEN ROOFING SYSTEM (TORCH-APPLIED OR SELF-ADHERED WITH CAP SHEET AND REFLECTIVE COATING) (FULL COST ANALYSIS FOR EACH SYSTEM IF ALTERNATE IS TO BE CONSIDERED) DYNA WELD CA FR CAP SHEET WITH OPTIONAL BASE COAT TOP GUARD 5000 REFLECTIVE COATING OVER DYNA GRIP SD/SA BASE SHEET. DECK ASSEMBLY: INVINSA ROOF BOARD MECHANICALLY ATTACHED OVER MIN. 3" ENERGY 3 POLYISO ROOF INSULATION, SLOPE AS REQUIRED TO PROVIDE POSITIVE DRAINAGE ATTACH TO METAL DECK WITH DRILL-TEC "RHINO BOND" FASTENING PLATES + FASTENERS (OR EQUAL) PROVIDE MIN. 20 YR WARRANTY	
		STANDING SEAM METAL ROOFING: STANDING METAL SEAM (INCLUDE RECOMMENDED SPEC. .032" ALUMINUM), 1-1/2" STANDING SEAM, 16" WIDE PANEL OR EQUAL, SNAP LOCK, 16" WIDE, 1-1/2" H. STANDING SEAM W/ DOUBLE STRIPED PROFILE: OVER A LAYER OF DRY-IN BORAL OR ATLAS METAL/TILE PEEL & STICK MEMBRANE	



1 RCP - GROUND FLOOR
SCALE: 3/16" = 1'-0"



GENERAL NOTES

MINIMUM CEILING HEIGHT IN GARAGE TO BE 7'-0" MEASURED FROM TOP OF SLAB TO UNDERSIDE OF CEILING FINISH. NO BEAMS, PLUMBING, OR OTHER OBSTRUCTIONS SHALL PROJECT BELOW THE REQUIRED 7'-0" CLEAR HEIGHT. GC TO VERIFY CLEARANCES PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.

REFLECTED CEILING LEGEND	
*DIMENSIONS ARE TO CENTER LINE OF FIXTURE; U.N.O. *COORDINATE LOCATION OF ALL DECORATIVE LIGHT FIXTURES WITH OWNER/ID	

REFLECTED CEILING PLAN NOTES
GENERAL NOTES: 1. ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL BULLETIN #2 2. CONTRACTOR SHALL CONFIRM WITH OWNER LOCATION OF LIGHT SWITCHES PRIOR TO INSTALL. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION. 3. WALL MOUNTED FIXTURES ARE SHOWN FOR CLARITY AND DO NOT REFLECT LOCATION ON CEILING. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION. 4. CONTRACTOR TO VERIFY ALL CODES ARE MET WITH MOUNTING HEIGHTS OF FIXTURES. 5. CONTRACTOR TO PROVIDE ADEQUATE SUPPORT FOR ALL FIXTURES. 6. ALL DOWNLIGHTS ARE TO BE 4" CANS. 7. SMOKE ALARMS SHALL BE INSTALLED PER SECTION R314.3 OF THE FBC - BUILDING 8. , 2023 8TH EDITION 9. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED PER SECTION 315.1 ANDS.1.1 OF THE 2023 FLORIDA BUILDING CODE, BUILDING, EIGHTH EDITION 10. REFER TO MECH., ELECTRICAL, AND LOW VOLTAGE DRAWINGS FOR FIXTURE SELECTIONS AND ADDITIONAL INFORMATION. 11. ALL REFLECTED CEILING PLAN DIMENSIONS ARE TO FINISH FACE. 12. ALL LIGHT FIXTURES ARE TO BE CENTERED WITHIN THE ROOM, UNLESS NOTED OTHERWISE. 13. ADJUSTMENTS TO CEILING FIXTURE LOCATIONS REQUIRED DUE TO CEILING JOISTS OR OTHER BUILDING SYSTEMS CONFLICTS SHALL BE APPROVED IN THE FIELD BY OWNER/ARCHITECT. 14. FIXTURE HOUSINGS SHALL BE RATED FOR CONTACT WITH BUILDING INSULATION WHERE REQUIRED.

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1517 PERIWINKLE WAY, SANIBEL,
FL 33957

FLORIDA SEAL
REG# AR 16971

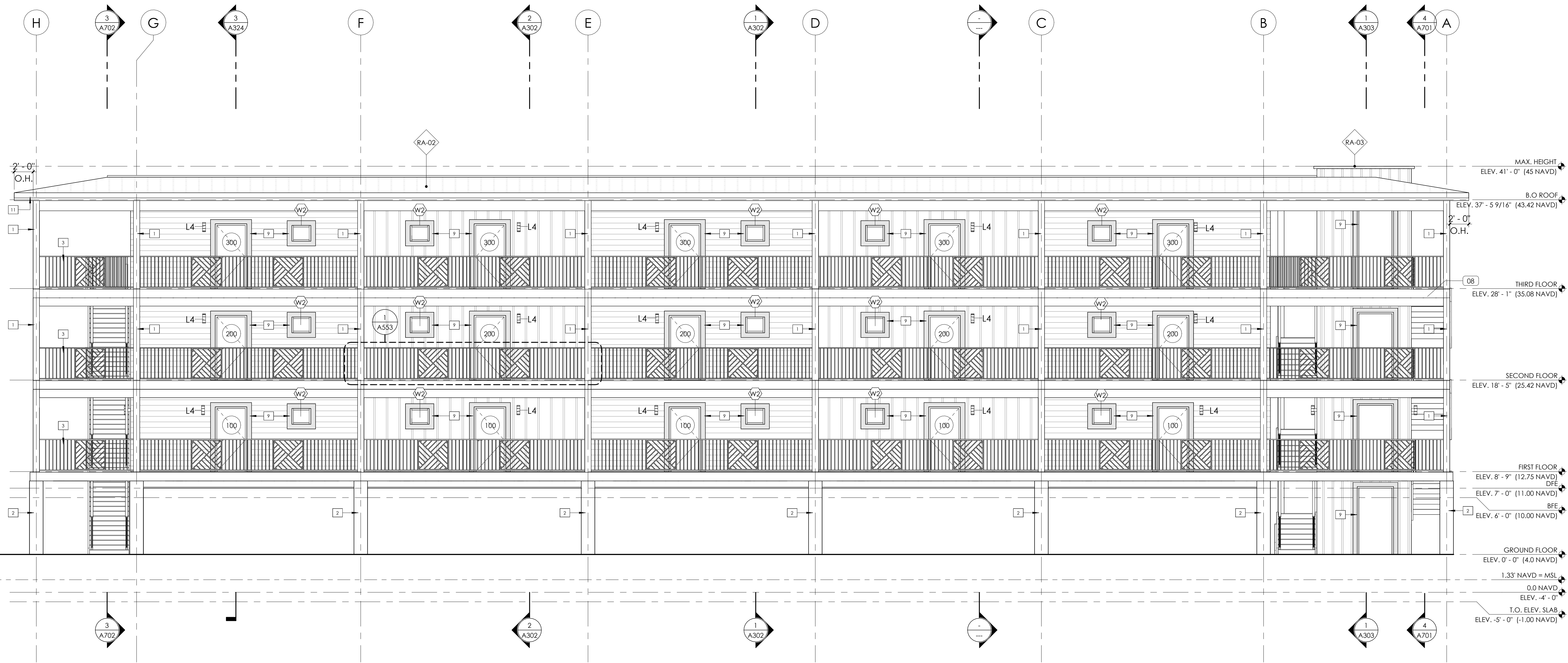
03/24/2025	10/15/2025
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GROUND FLOOR RCP

PHASE	100% CD
PR NO	23416
PA/PM	CC/PV

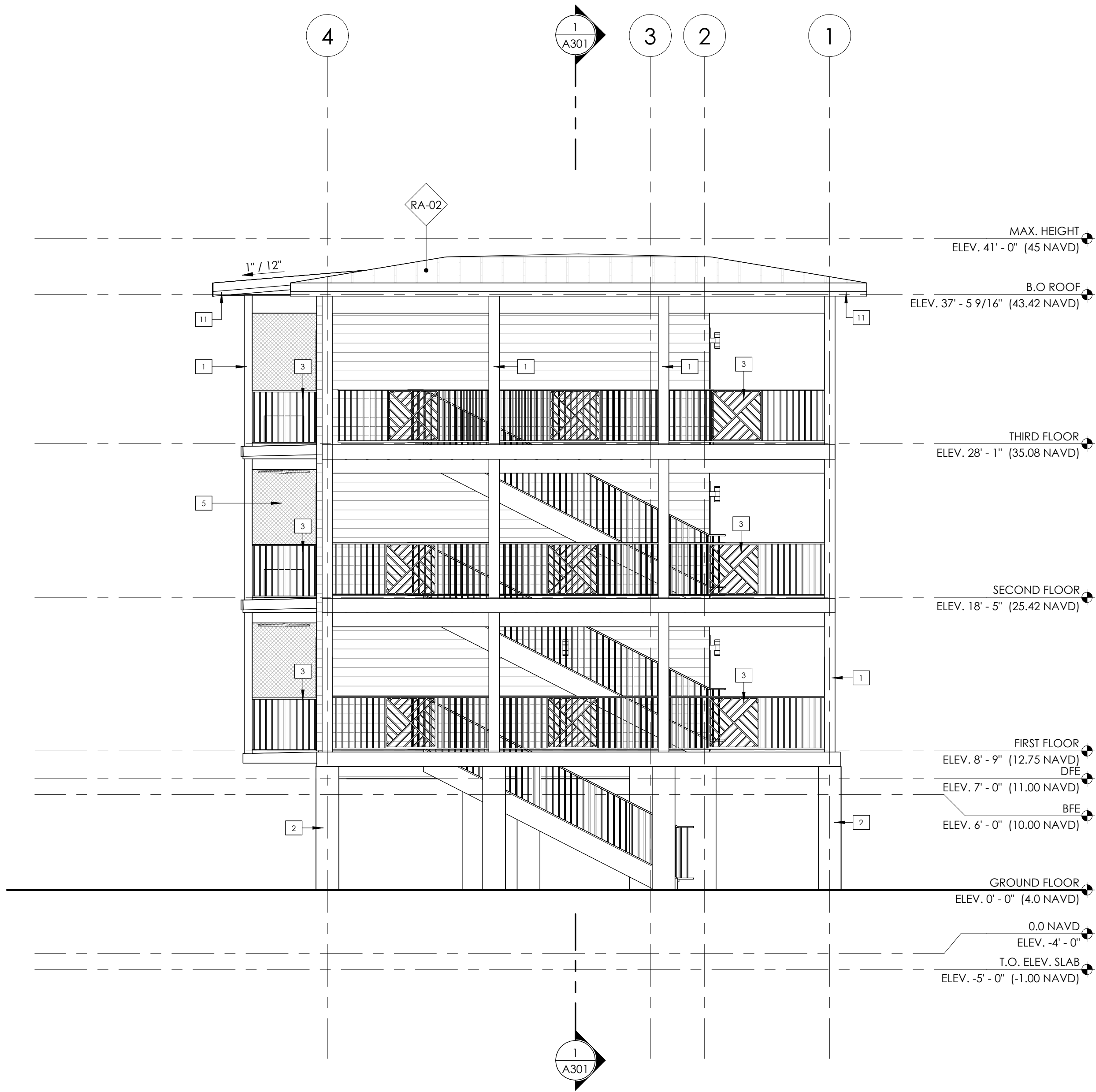
A152

KEYNOTES	
1	WOOD COLUMN, RE: STRUCTURAL
2	CONCRETE COLUMN, RE: STRUCTURAL
3	42" GUARDRAIL
9	6" TRIM BOARD
11	1x8 FIBER FASCIA WITH 1/2" DRIP STOP

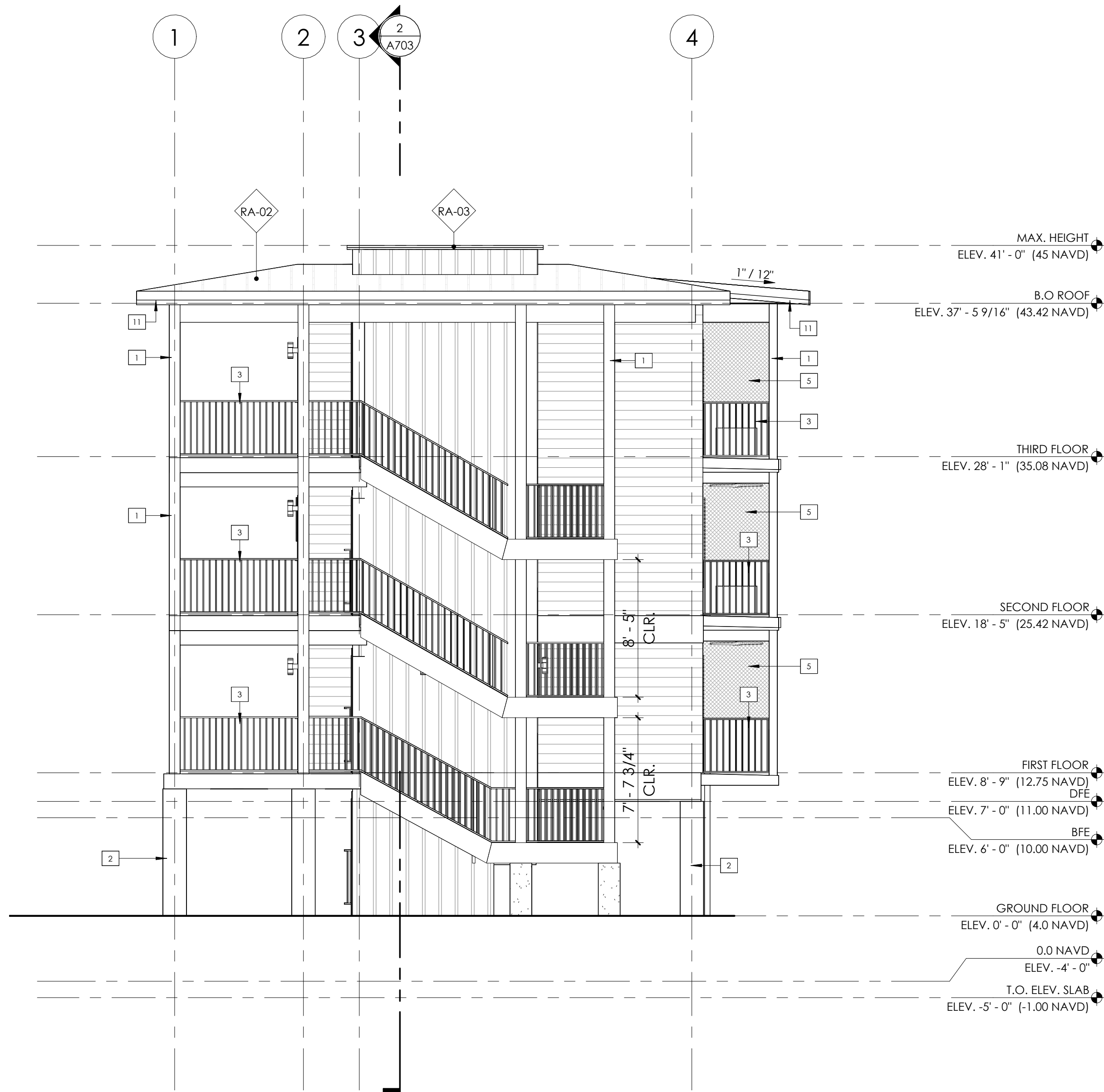


1 EXTERIOR ELEVATION EAST
SCALE: 3/16" = 1'-0"

KEYNOTES	
1	WOOD COLUMN, RE: STRUCTURAL
2	CONCRETE COLUMN, RE: STRUCTURAL
3	42" GUARDRAIL
5	SCREEN, SEE DETAILS
11	1x8 FIBER FASCIA WITH 1/2" DRIP STOP



2 EXTERIOR ELEVATION SOUTH
SCALE: 3/16" = 1'-0"

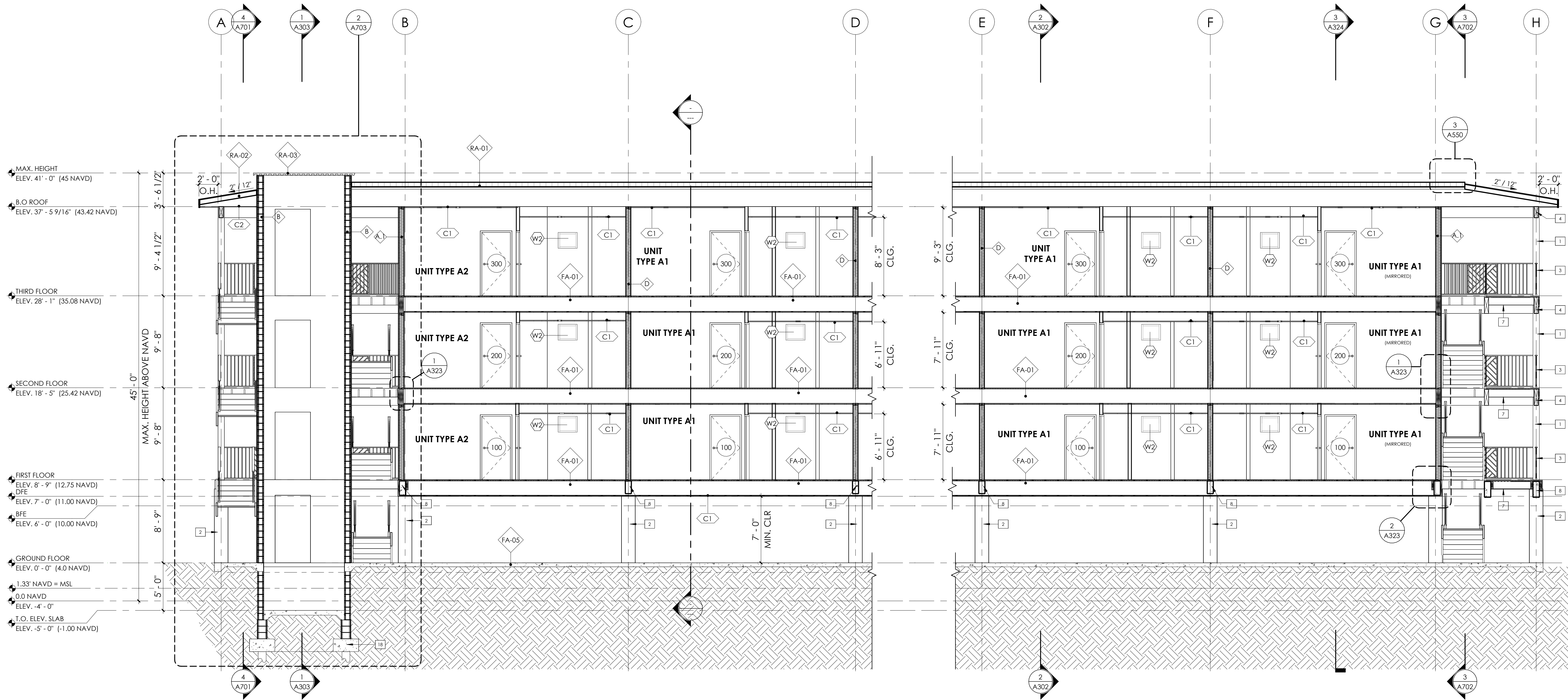


1 EXTERIOR ELEVATION NORTH
SCALE: 3/16" = 1'-0"

KEYNOTES	
1	WOOD COLUMN, RE: STRUCTURAL
2	CONCRETE COLUMN, RE: STRUCTURAL
3	42" GUARDRAIL
4	WOOD BEAM, RE: STRUCTURAL
7	EXPOSED JOIST, RE: STRUCTURAL
8	CONCRETE BEAM, RE: STRUCTURAL
18	PILE & FOUNDATION, RE: STRUCTURAL

GENERAL NOTES

MINIMUM CEILING HEIGHT IN GARAGE TO BE 7'-0" MEASURED FROM TOP OF SLAB TO UNDERSIDE OF CEILING FINISH. NO BEAMS, PLUMBING, OR OTHER OBSTRUCTIONS SHALL PROJECT BELOW THE REQUIRED 7'-0" CLEAR HEIGHT. GC TO VERIFY CLEARANCES PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPENCIES OR CONFLICTS.



1 HORIZONTAL SECTION
SCALE: 3/16" = 1'-0"

MAK
ARCHITECTURE

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RIVERVIEW CHR DEVELOPMENT
1517 PERIWINKLE WAY, SANIBEL,
FL 33957

FLORIDA SEAL
REG# AR 16971

PERMIT SET
03/24/2025
DRAWING REVISIONS
10/15/2025

BUILDING
SECTIONS

PHASE 100% CD
PR NO 23416
PA/PM CC/PV

A301

GENERAL NOTES

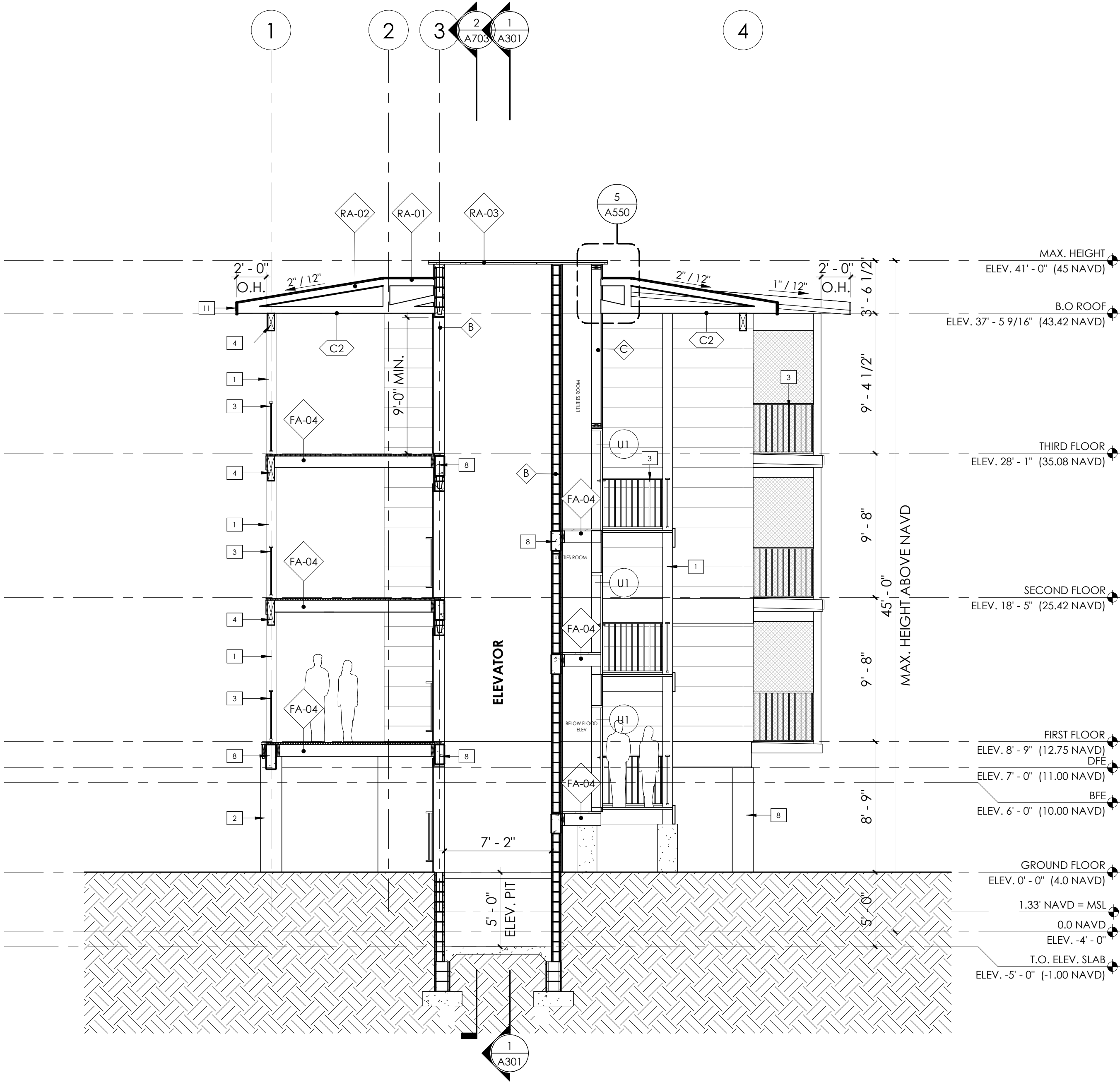
MINIMUM CEILING HEIGHT IN GARAGE TO BE 7'-0" MEASURED FROM TOP OF SLAB TO UNDERSIDE OF CEILING FINISH, NO BEAMS, PLUMBING, OR OTHER OBSTRUCTIONS SHALL PROJECT BELOW THE REQUIRED 7'-0" CLEAR HEIGHT. GC TO VERIFY CLEARANCES PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.



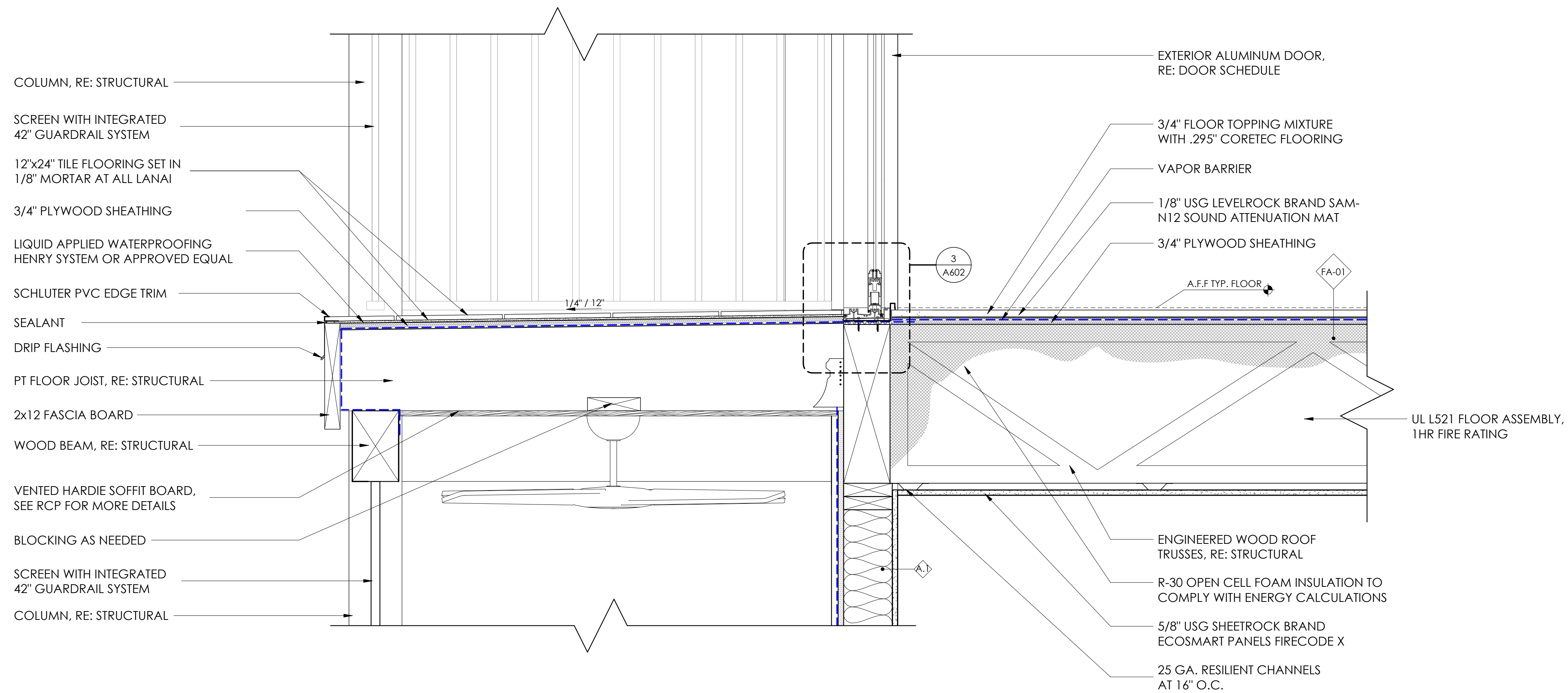
KEYNOTES	
1	WOOD COLUMN, RE: STRUCTURAL
2	CONCRETE COLUMN, RE: STRUCTURAL
3	42" GUARDRAIL
4	WOOD BEAM, RE: STRUCTURAL
8	CONCRETE BEAM, RE: STRUCTURAL
11	1x8 FIBER FASCIA WITH 1/2" DRIP STOP

GENERAL NOTES

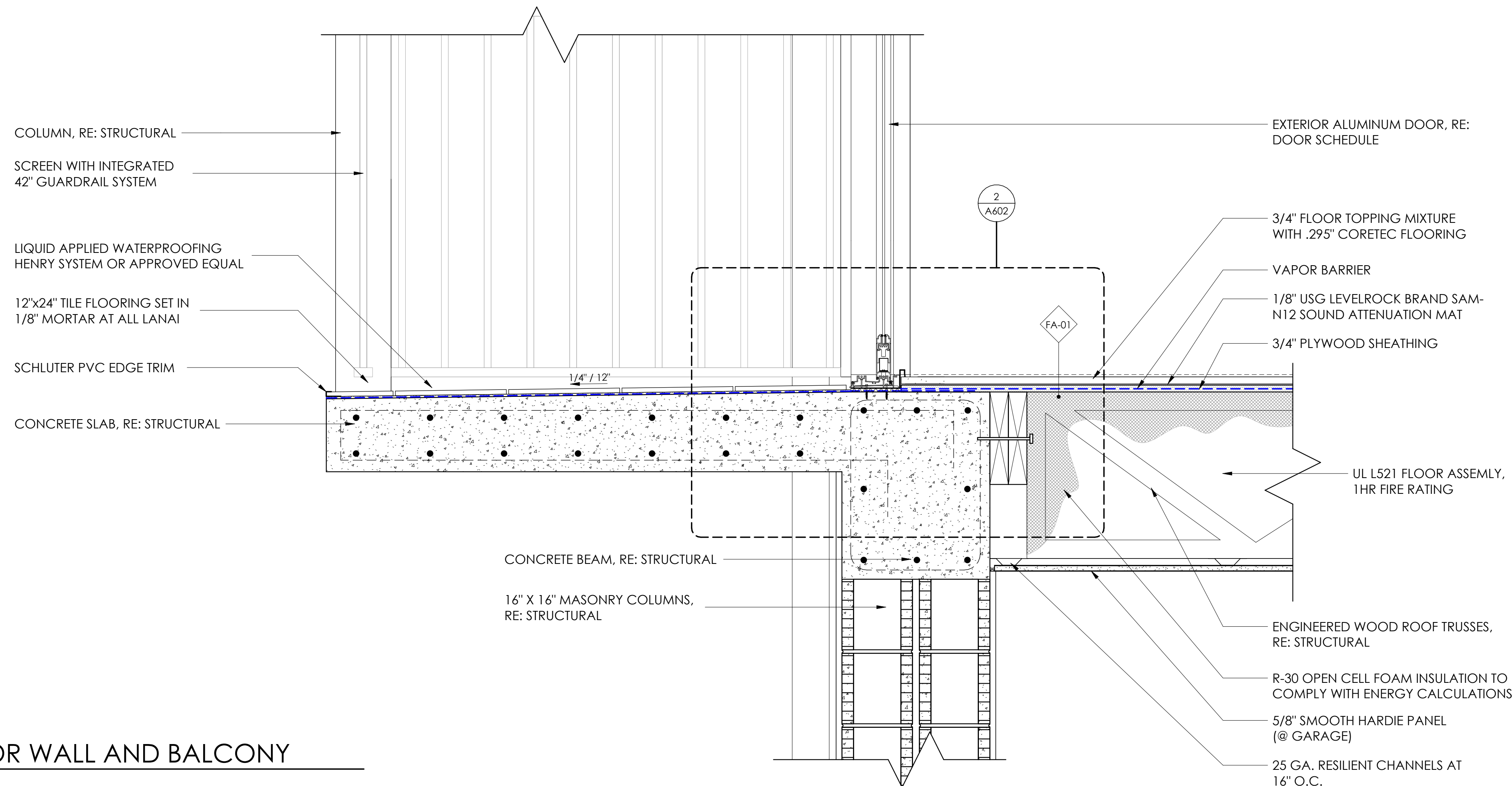
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1 BUILDING SECTION THROUGH ELEVATOR SHAFT
SCALE: 3/16" = 1'-0"



1 TYP. 2ND-3RD FLOOR EXTERIOR WALL AND BALCONY
SCALE: 1 1/2" = 1'-0"



2 TYP. FIRST FLOOR EXTERIOR WALL AND BALCONY
SCALE: 1 1/2" = 1'-0"

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1517 PERIWINKLE WAY, SANIBEL,
FL 33957**

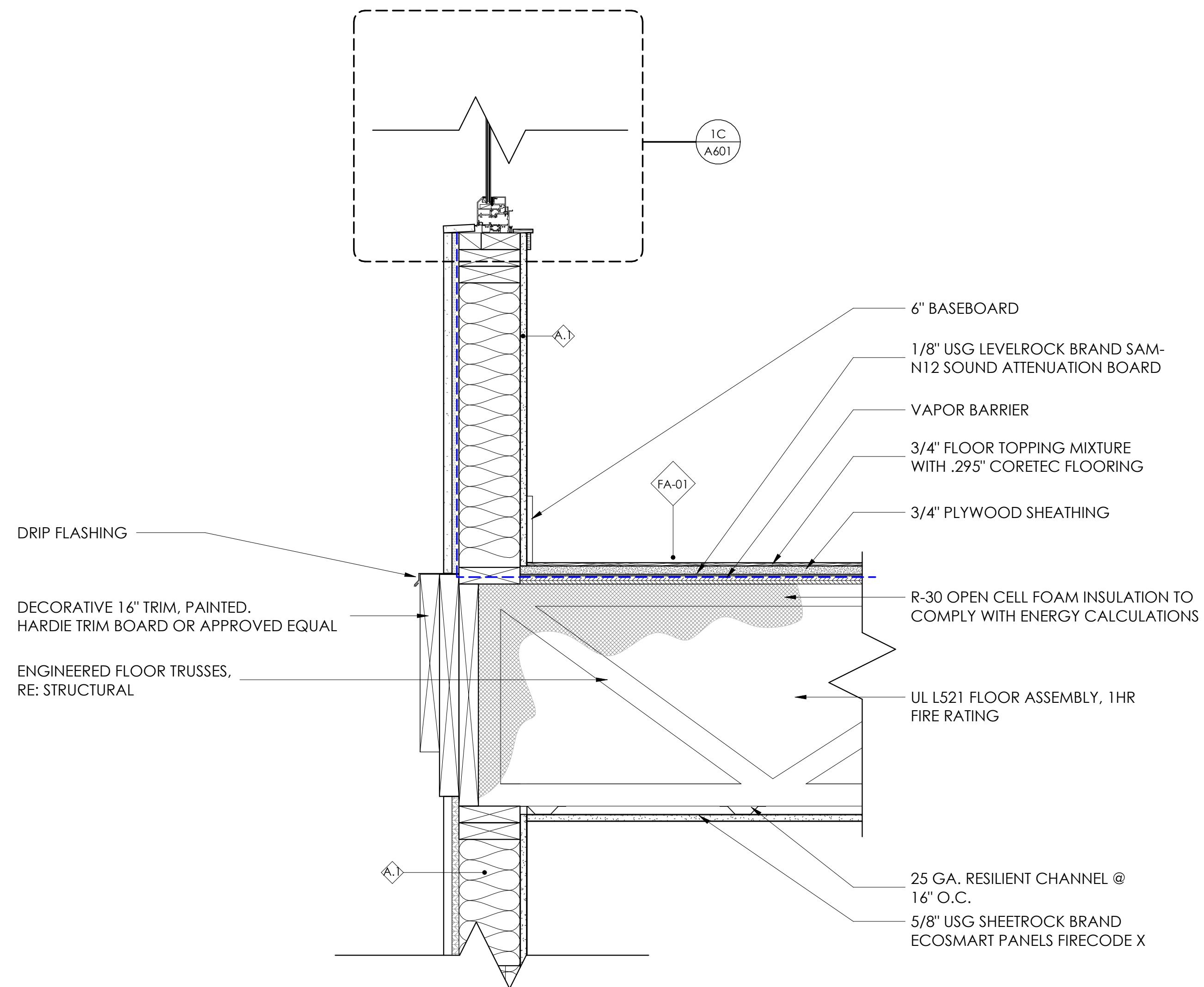
FLORIDA SEAL
REG# AR 16971

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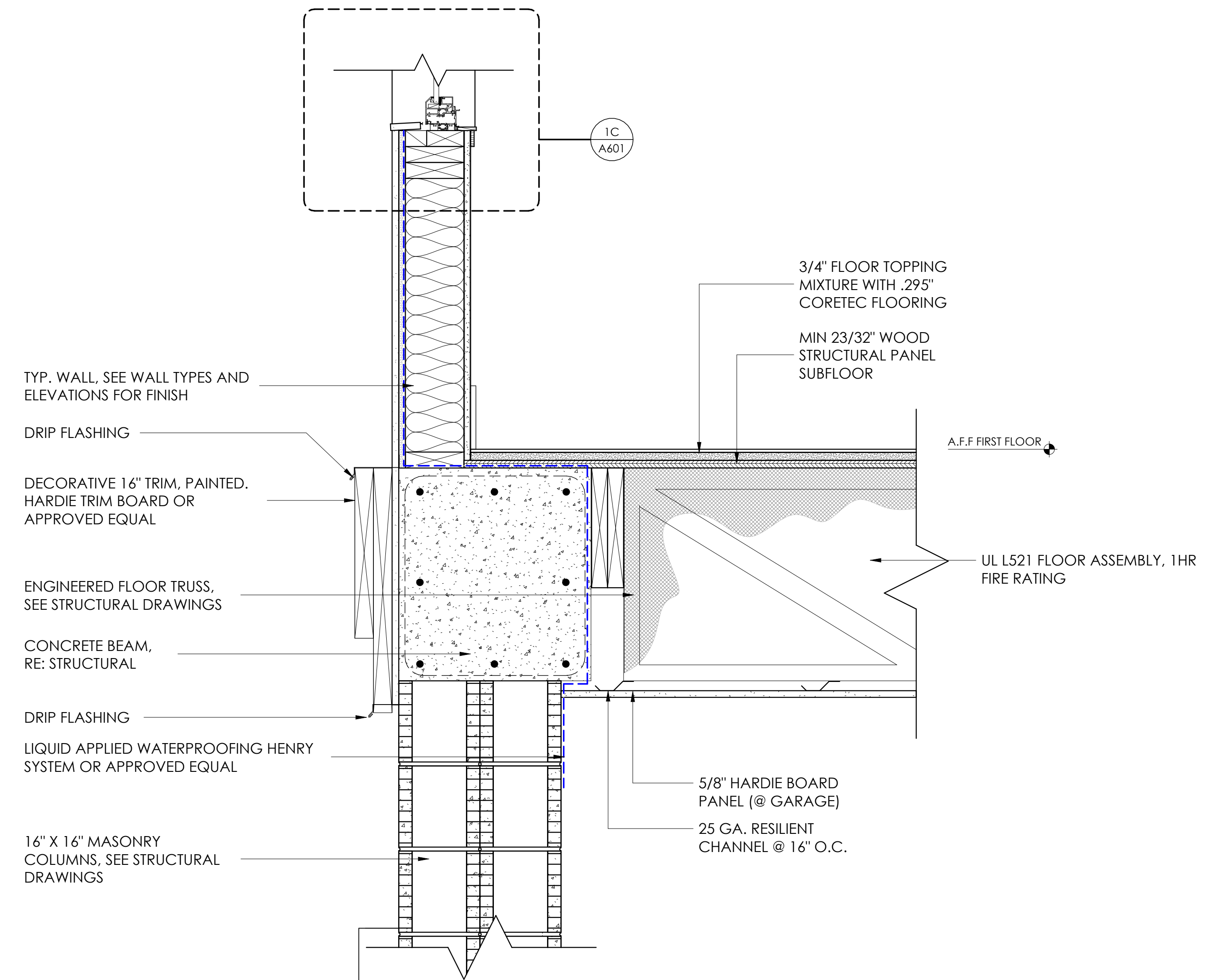
WALL SECTION DETAILS

PHASE	100% CD
PR NO	23416
PA/PM	CC/PV

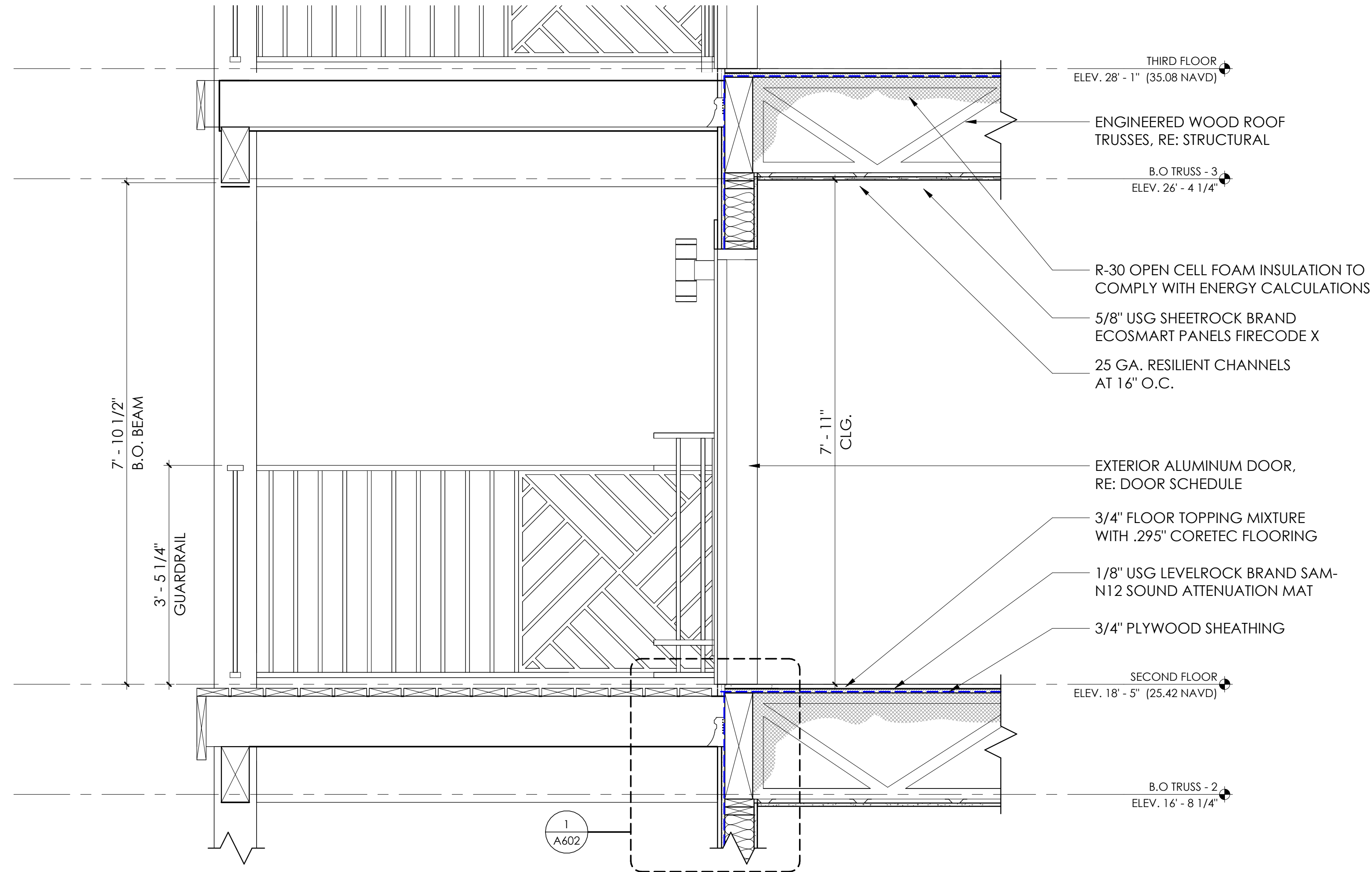
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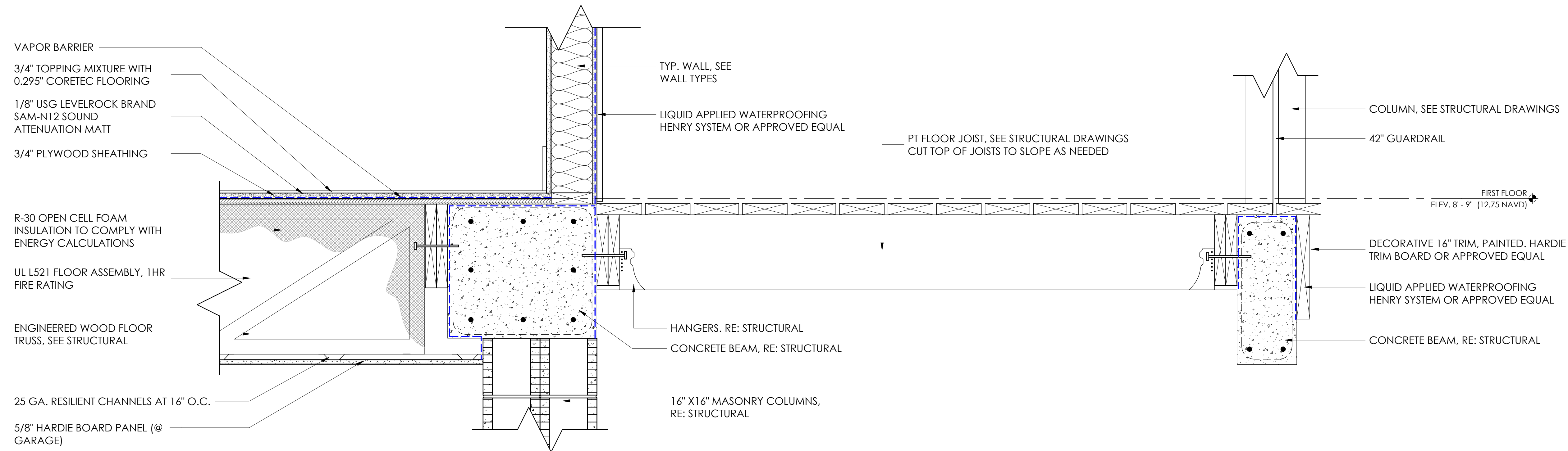
1 TYP. SECOND & THIRD FLOOR EDGE WALL
SCALE: 1 1/2" = 1'-0"



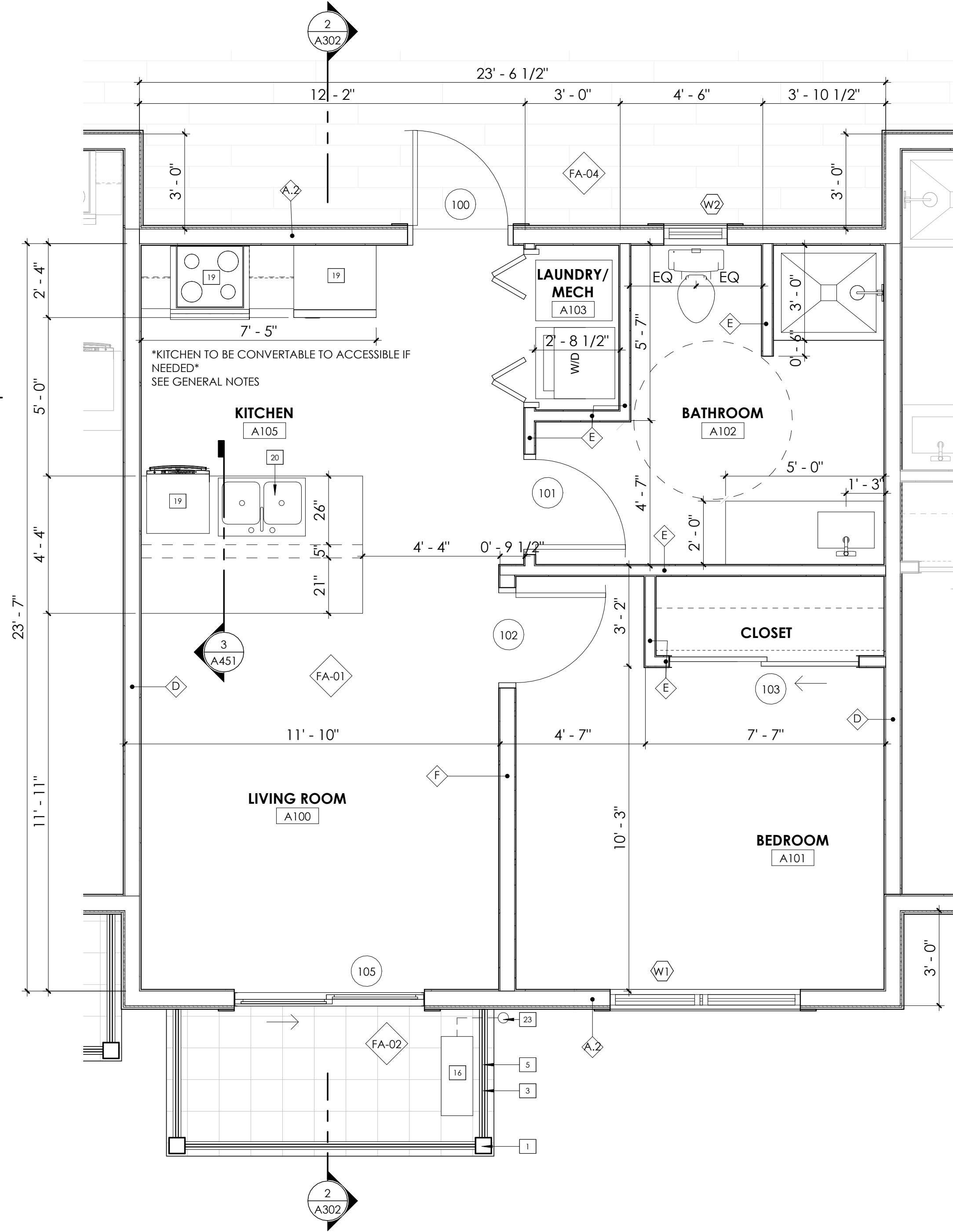
② TYP. FIRST FLOOR EDGE WALL/GROUND FLOOR COLUMN
SCALE: 1 1/2" = 1'-0"



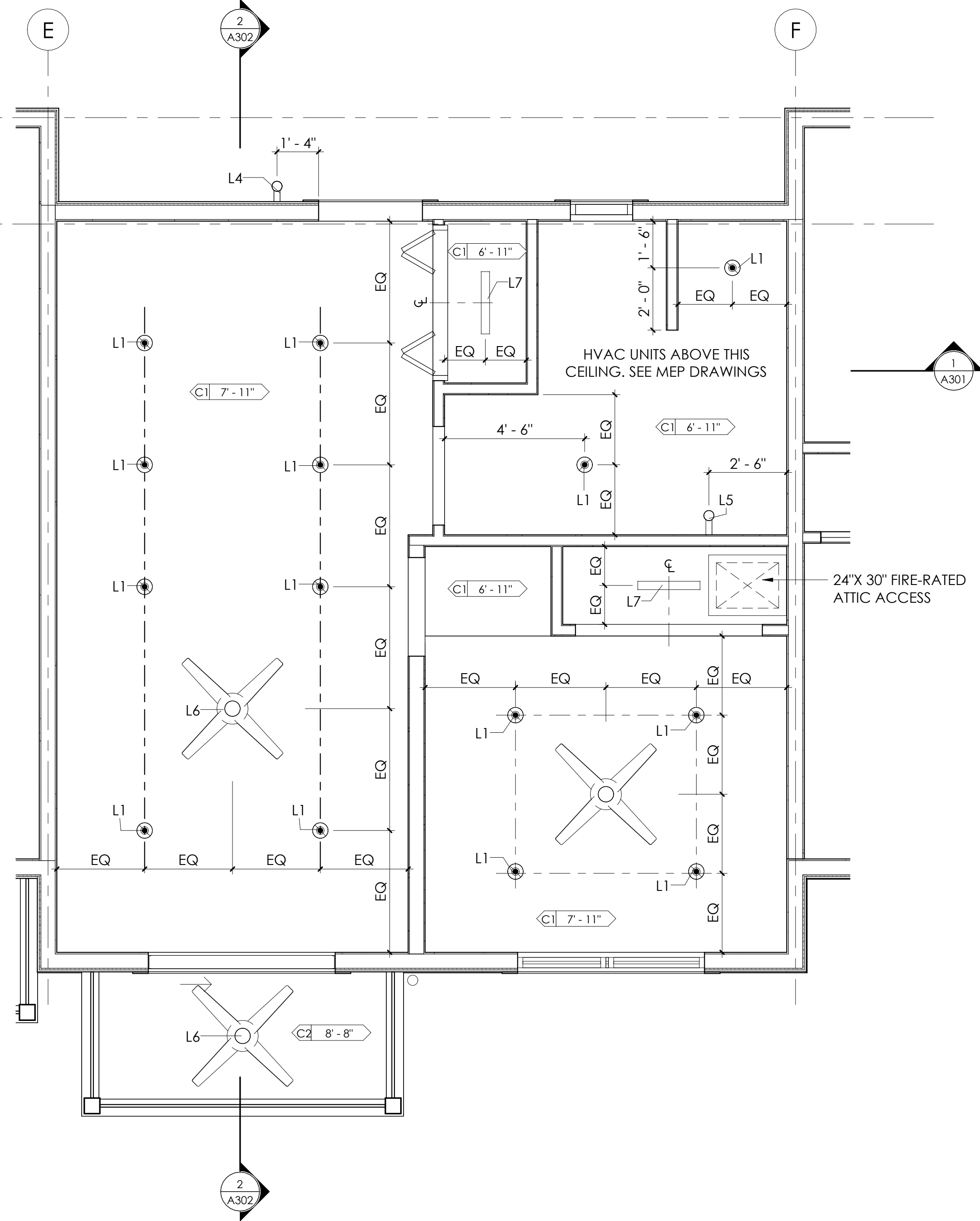
3 TYPICAL UNIT ENTRY SECTION
SCALE: 3/4" = 1'-0"



1 EDGE OF CORRIDOR FIRST FLOOR
SCALE: 1 1/2" = 1'-0"

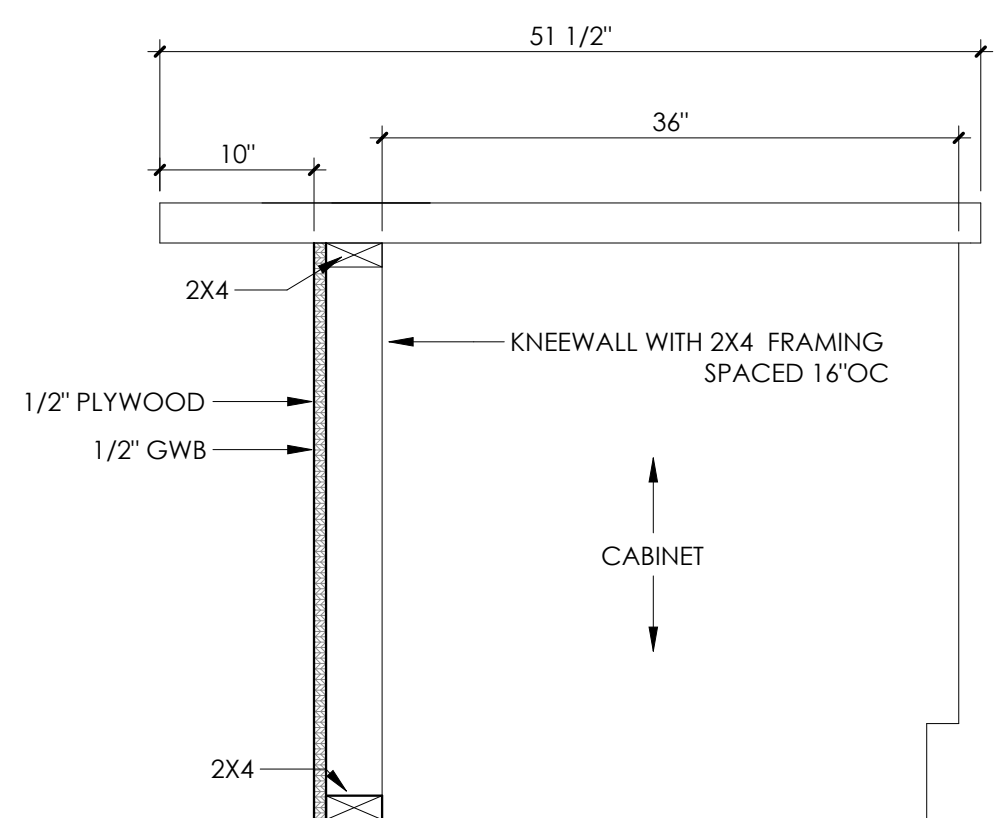


1 ENLARGED FLOOR PLAN - TYP. UNIT A1
SCALE: 3/8" = 1'-0" UNIT TYPE A1 - UNIT TYPE A2 IS THE SAME UNIT ONLY MIRRORED



2 ENLARGED RCP - TYP. UNIT A1
SCALE: 3/8" = 1'-0"

KITCHEN ISLAND SECTION



GENERAL FLOOR PLAN NOTES

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- AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. AT WET WALLS PROVIDE WATER RESISTANT BOARD.
- PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT INTERIOR FRAMED WALLS.
- THE CONTRACTOR SHALL COORDINATE THE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS. SEE MEP DRAWINGS FOR MORE DETAILS.
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- CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS PROVIDED AND INSTALLED BY GC, SELECTED BY OWNER.
- PROVIDE BLOCKING AT TOILETS AND SHOWER TO ALLOW FOR FUTURE INSTALLATION OF GRAB BARS.

KEYNOTES	
1	WOOD COLUMN, RE: STRUCTURAL
3	42" GUARDRAIL
5	SCREEN, SEE DETAILS
16	MECHANICAL CONDENSING UNIT
19	APPLIANCES PROVIDED & INSTALLED BY GC, SELECTED BY OWNER
20	PLUMBING FIXTURES PROVIDED & INSTALLED BY GC, SELECTED BY OWNER
23	CONDENSATE LINE CONCEALED IN PVC ENCLOSURE TO RUN DOWN EXTERIOR OF BUILDING, OUTSIDE OF SCREEN ENCLOSURE FOR EASE OF MAINTENANCE

NOTE:
1. DOORS TO HAVE A MINIMUM OF 40 STC RATING
2. FRONT ENTRY DOORS BASIS OF DESIGN IS SIGNATURE DOORS, OR EQUAL
3. COORDINATE FINAL HARDWARE SELECTIONS AND KEYING WITH OWNER. PROVIDED AND INSTALLED BY GC

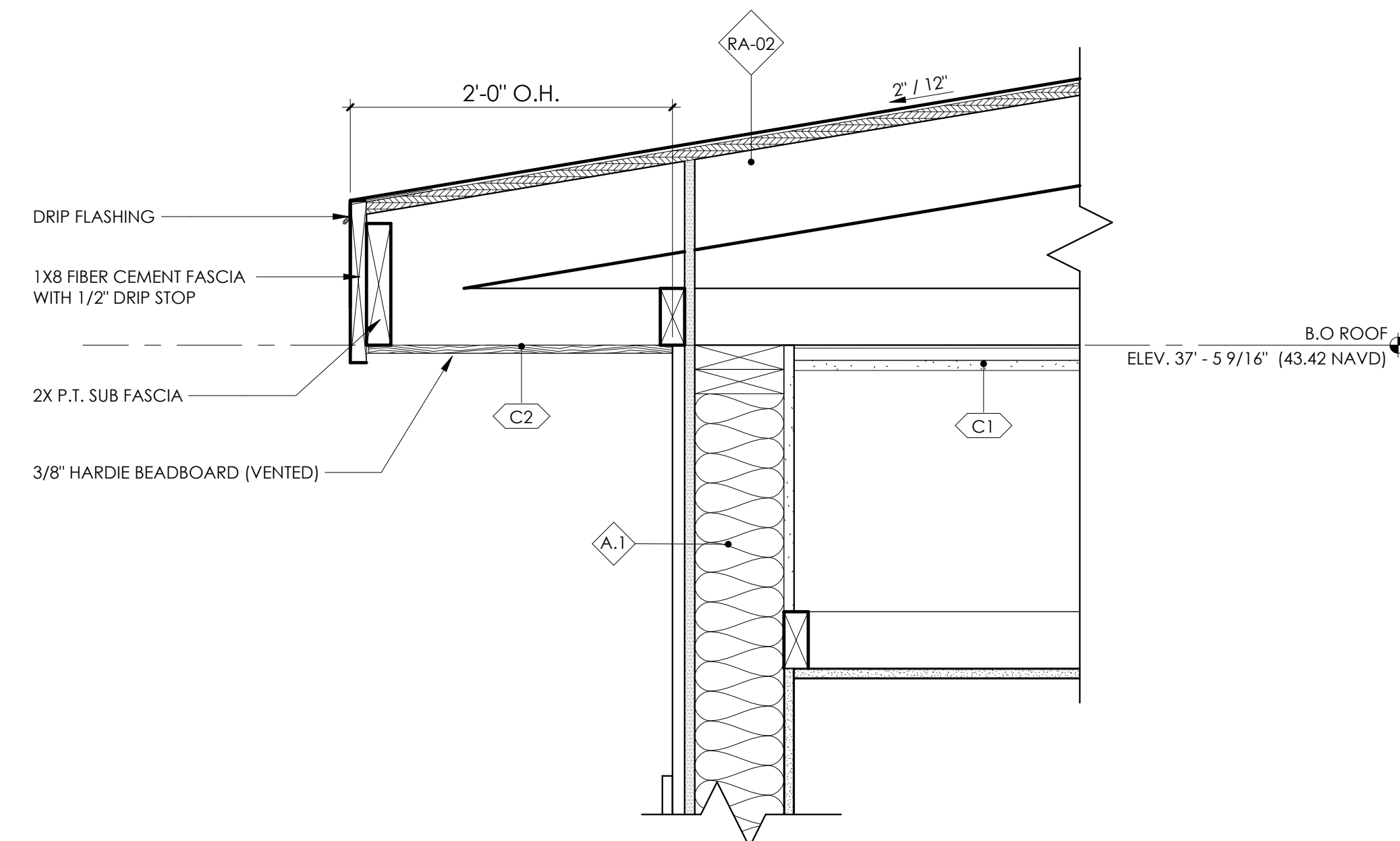
REFLECTED CEILING LEGEND

	L1 - INTERIOR 4" ROUND RECESSED GENERAL DOWN LIGHT		J BOX
	L2 - 8 FT. 2-LIGHT LINEAR WHITE INTEGRATED LED GARAGE STRIP LIGHT		SMOKE DETECTOR
	L3 - EXTERIOR 4" DOWNLIGHT, EXPOSED LIGHT MOUNTED TO JBOX BETWEEN JOISTS.		SMOKE/CARBON MONOXIDE DETECTOR
	L4 - EXTERIOR SCONCE WALL MOUNTED		ELECTRICAL PANEL
	L5 - INTERIOR WALL MOUNTED		EXHUAUST FAN
	L6 = 42" CEILING FAN LIGHT INCLUDED		SUPPLY DIFFUSER - CEILING MOUNTED
	L7 - 2FT. 2-LIGHT LINEAR WHITE INTEGRATED LED CLOSET STRIP LIGHT		RETURN REGISTER - CEILING MOUNTED
			SPRINKLER HEAD - CEILING MOUNTED
			SPRINKLER HEAD - WALL MOUNTED

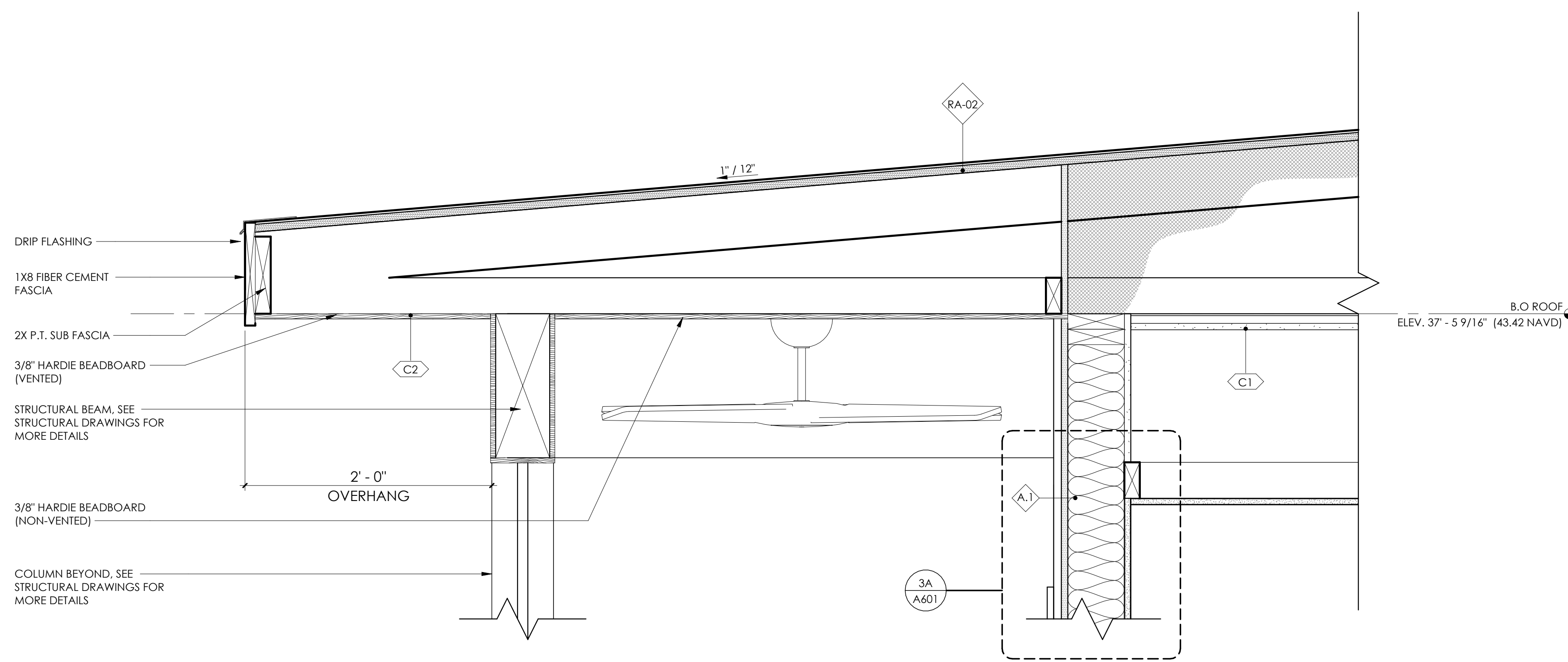
*DIMENSIONS ARE TO CENTER LINE OF FIXTURE; U.N.O.
*COORDINATE LOCATION OF ALL DECORATIVE LIGHT FIXTURES WITH OWNER/ID

REFLECTED CEILING PLAN NOTES

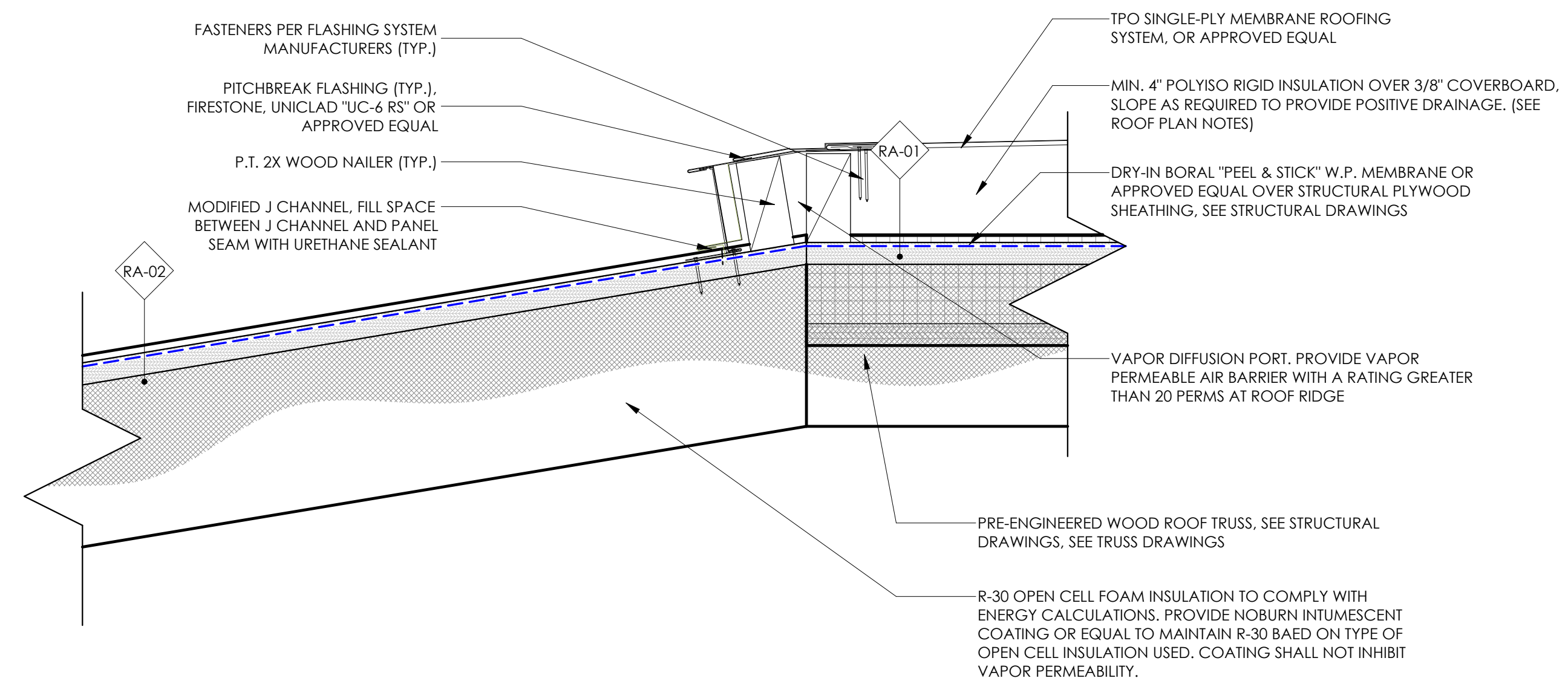
- GENERAL NOTES:
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 - WALL MOUNTED FIXTURES ARE SHOWN FOR CLARITY AND DO NOT REFLECT LOCATION ON CEILING. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION.
 - CONTRACTOR TO VERIFY ALL CODES ARE MET WITH MOUNTING HEIGHTS OF FIXTURES.
 - CONTRACTOR TO PROVIDE ADEQUATE SUPPORT FOR ALL FIXTURES.
 - ALL DOWNLIGHTS ARE TO BE 4" CANS.
 - SMOKE ALARMS SHALL BE INSTALLED PER SECTION R314.3 OF THE FBC - BUILDING
 - 2023 8TH EDITION
 - CARBON MONOXIDE DETECTORS SHALL BE INSTALLED PER SECTION 315.1 ANDS.1.1 OF THE 2023 FLORIDA BUILDING CODE, BUILDING, EIGHTH EDITION
 - REFER TO MECH., ELECTRICAL, AND LOW VOLTAGE DRAWINGS FOR FIXTURE SELECTIONS AND ADDITIONAL INFORMATION.
 - ALL REFLECTED CEILING PLAN DIMENSIONS ARE TO FINISH FACE.
 - ALL LIGHT FIXTURES ARE TO BE CENTERED WITHIN THE ROOM, UNLESS NOTED OTHERWISE.
 - ADJUSTMENTS TO CEILING FIXTURE LOCATIONS REQUIRED DUE TO CEILING JOISTS OR OTHER BUILDING SYSTEMS CONFLICTS SHALL BE APPROVED IN THE FIELD BY OWNER/ARCHITECT.
 - FIXTURE HOUSINGS SHALL BE RATED FOR CONTACT WITH BUILDING INSULATION WHERE REQUIRED.



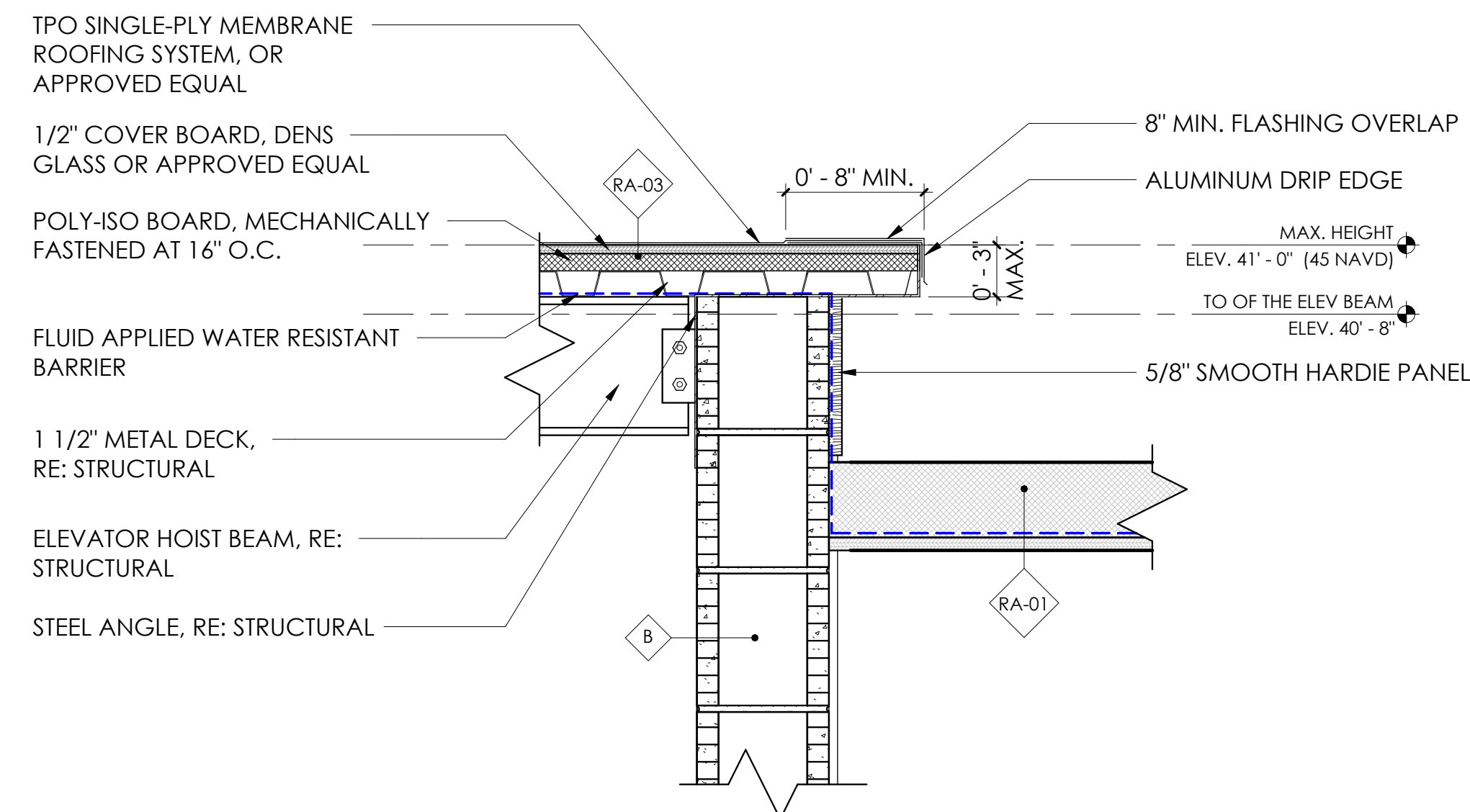
1 TYP. 2/12 EAVE
SCALE: 1 1/2" = 1'-0"



2 TYP. BALCONY PITCH BREAK EAVE
SCALE: 1 1/2" = 1'-0"



3 SLOPED - FLAT ROOF DETAIL
SCALE: 3" = 1'-0"



5 WALL TO FLAT ROOF TRANSITION
SCALE: 1 1/2" = 1'-0"

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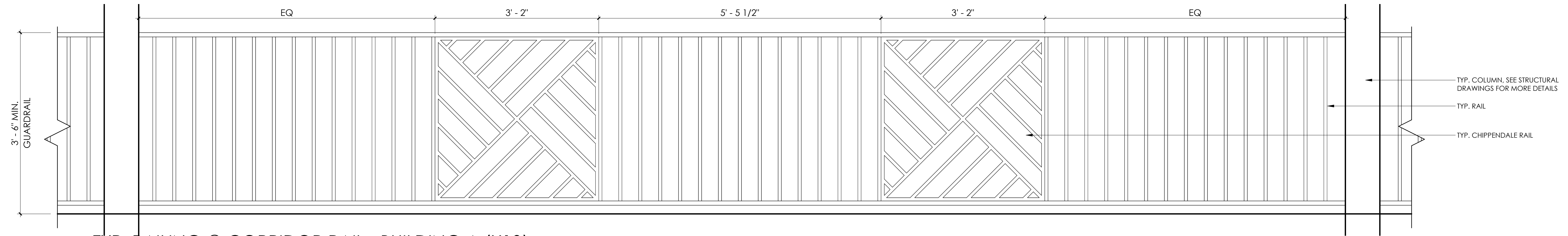
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2 DRAWING REVISIONS	10/15/2025
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TYPICAL
SECTION
ROOF DETAILS

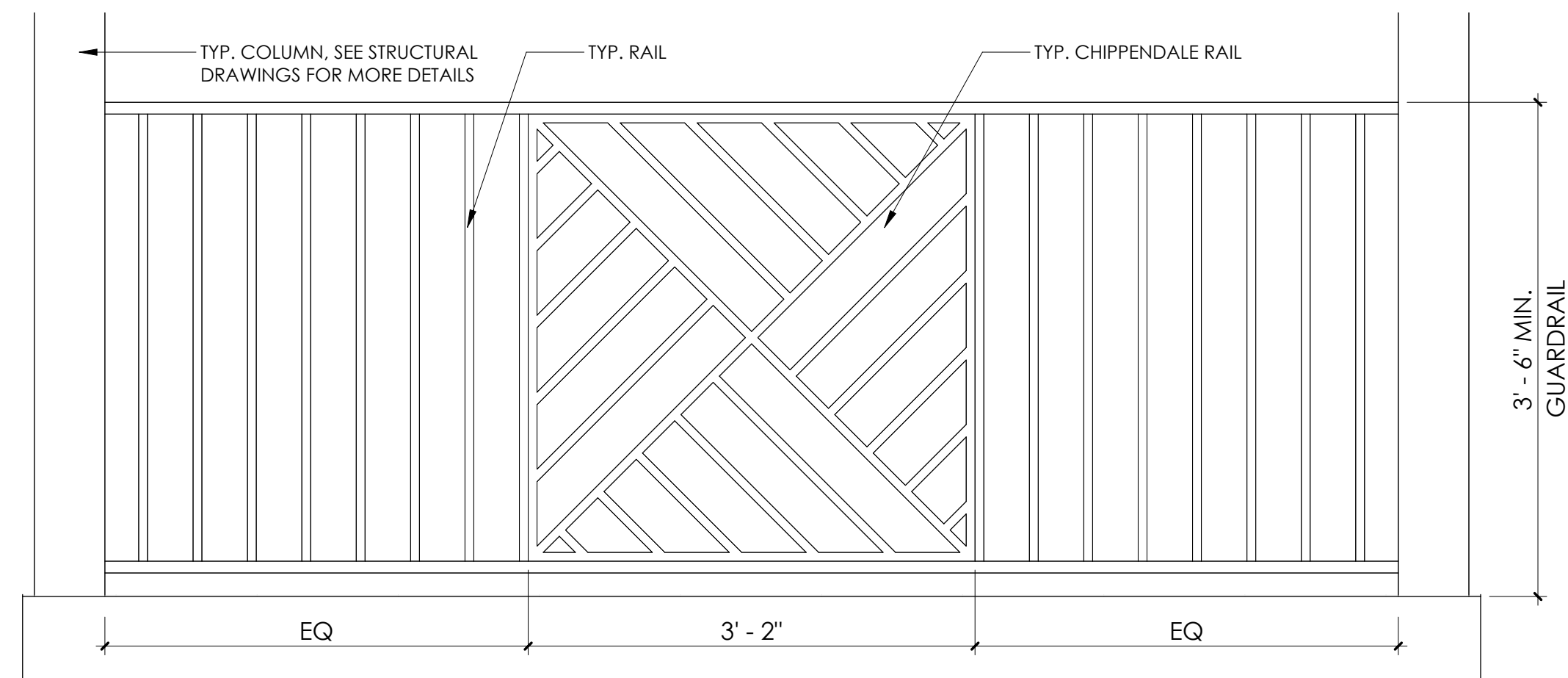
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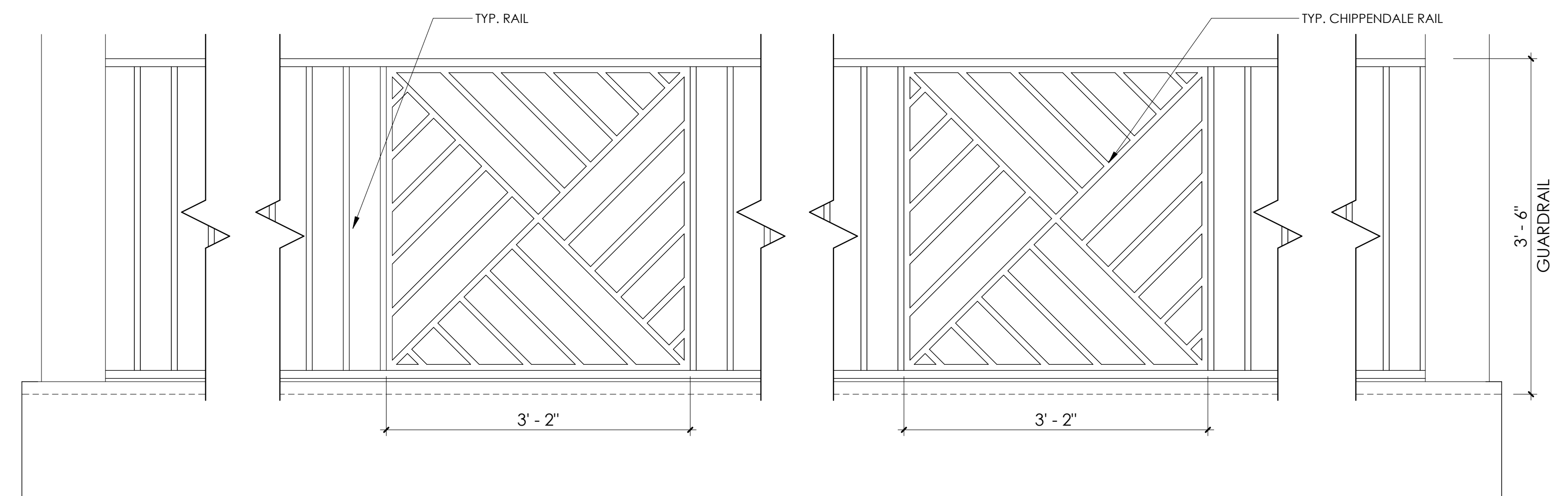
TYP. 42" GUARDRAILS @ TYP. FLOOR



1 TYP. RAILING @ CORRIDOR RAIL - BUILDING A (X10)
SCALE: 1" = 1'-0"

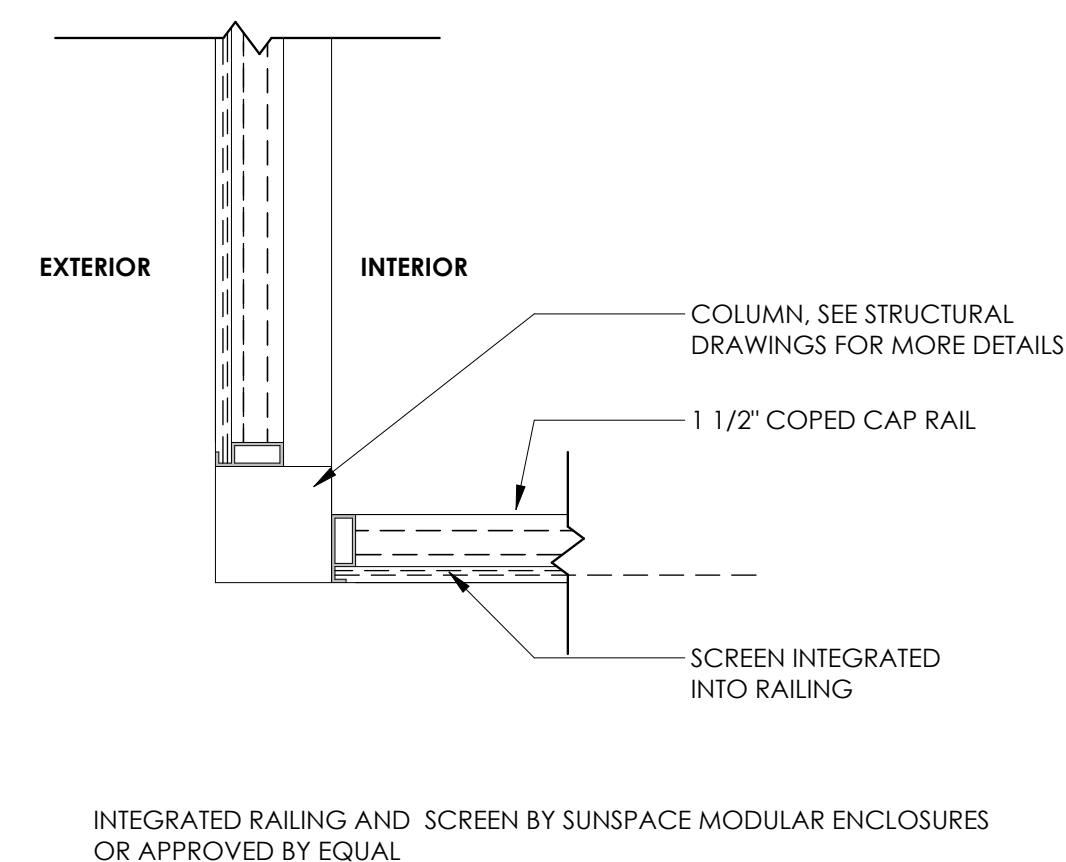


2 TYP. RAILING @ BALCONIES - BUILDING A (X15)
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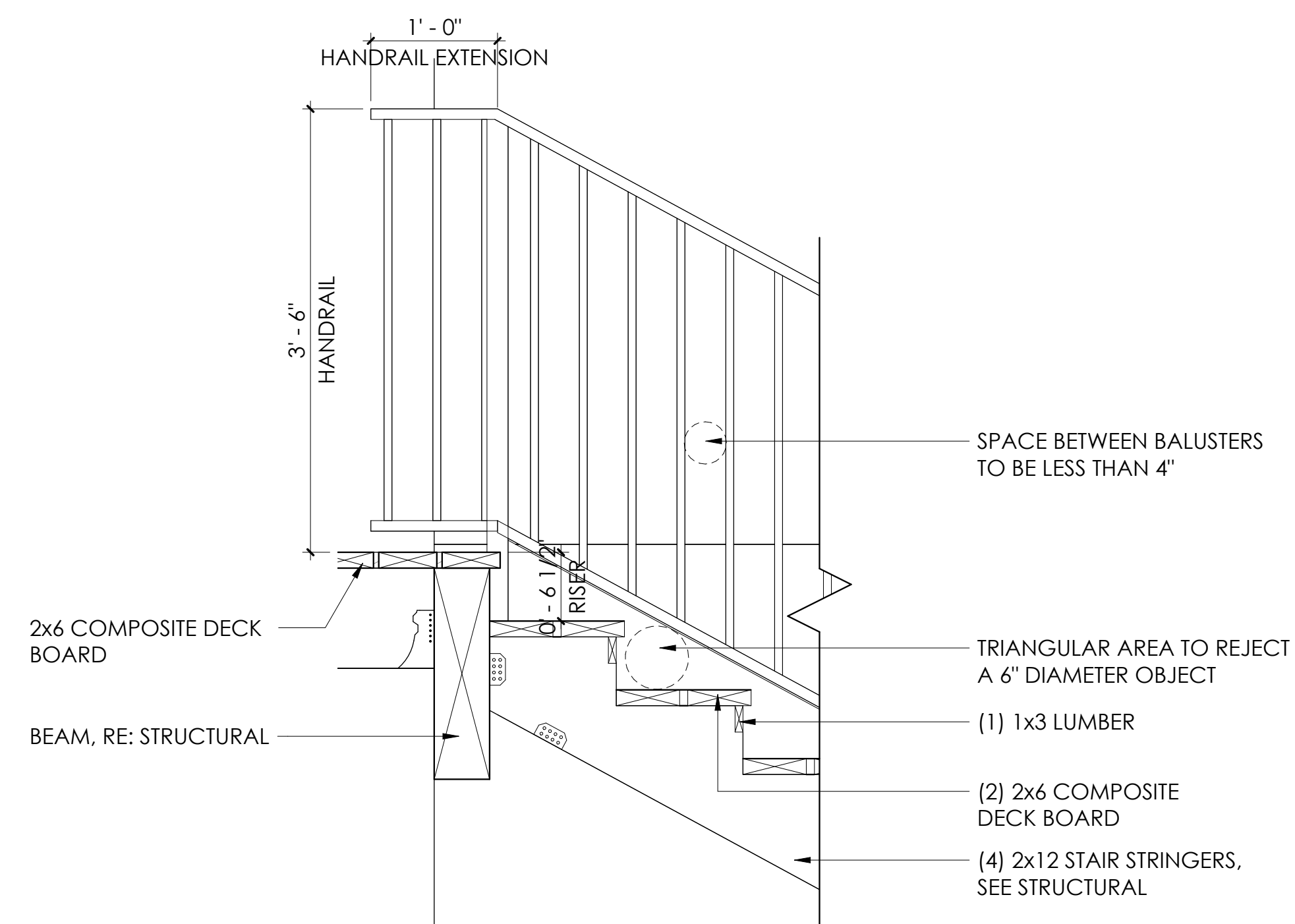


6 TYP. RAILING @ STAIRWAY A - LANDINGS (X3)
SCALE: 1" = 1'-0"

RAILINGS AND SCREENS DETAILS



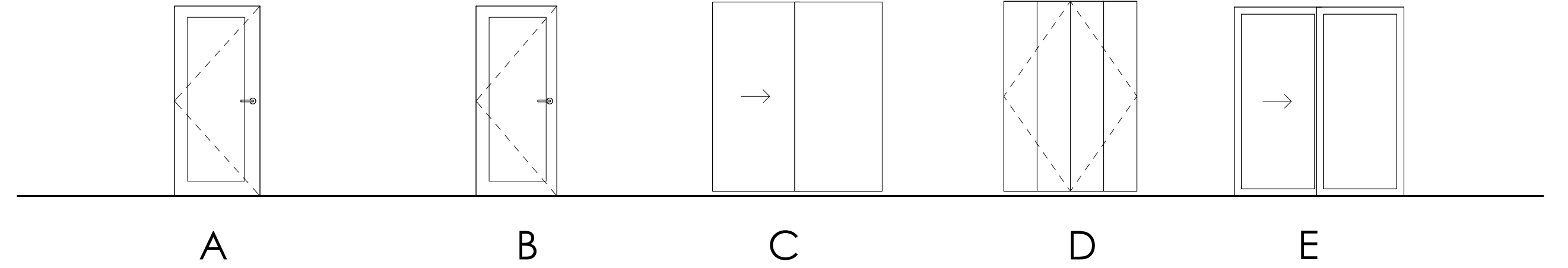
3 TYP. BALCONY RAILING AND SCREEN - PLAN VIEW
SCALE: 1" = 1'-0"



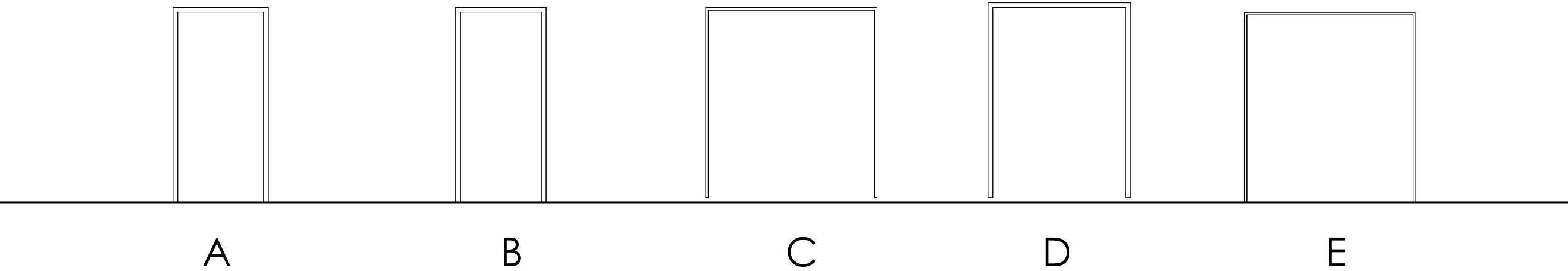
4 TYP. STAIR A/B DETAIL
SCALE: 1" = 1'-0"

DOORS TYPES

DOOR SCHEDULE - EXTERIOR DOORS											
NO.	LEAF TYPE	TYPE	DOOR			MATERIAL	GLAZING	FIRE RATING	FRAME		HARDWARE
			WIDTH	HEIGHT	THICKNESS				MATERIAL	PROFILE	
GROUND FLOOR											
U1	EQUAL PAIR	I	5' - 0"	6' - 8"	1 3/4"	HM	--	N/A	PER MANUF.		SET 1
FIRST FLOOR											
100	SINGLE LEAF	A	3' - 0"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 1
101	SINGLE LEAF	B	2' - 10"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 2
102	SINGLE LEAF	B	2' - 10"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 2
103	BYPASS	C	6' - 0"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 5
104	BI-FOLD	D	4' - 8"	6' - 8"	1 3/4"	WD	--	--	MDF		SET 6
105	SLIDER	E	6' - 0"	6' - 8"	1 3/4"	AL/GL	N/A	N/A	AL	AL	SET 4
SECOND FLOOR											
200	SINGLE LEAF	A	3' - 0"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 1
201	SINGLE LEAF	B	2' - 10"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 2
202	SINGLE LEAF	B	2' - 10"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 2
203	BYPASS	C	6' - 0"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 5
204	BI-FOLD	D	4' - 8"	6' - 8"	1 3/4"	WD	--	--	MDF		SET 6
205	SLIDER	E	6' - 0"	6' - 8"	1 3/4"	AL/GL	N/A	N/A	AL	AL	SET 4
U1	EQUAL PAIR	I	5' - 0"	6' - 8"	1 3/4"	HM	--	N/A	PER MANUF.		SET 1
THIRD FLOOR											
300	SINGLE LEAF	A	3' - 0"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 1
301	SINGLE LEAF	B	2' - 10"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 2
302	SINGLE LEAF	B	2' - 10"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 2
303	BYPASS	C	6' - 0"	6' - 8"	1 3/4"	MDF	N/A	N/A	MDF	AL	SET 5
304	BI-FOLD	D	4' - 8"	6' - 8"	1 3/4"	WD	--	--	MDF		SET 6
305	SLIDER	E	6' - 0"	6' - 8"	1 3/4"	AL/GL	N/A	N/A	AL	AL	SET 4
U1	EQUAL PAIR	I	5' - 0"	6' - 8"	1 3/4"	HM	--	N/A	PER MANUF.		SET 1



DOORS TYPES

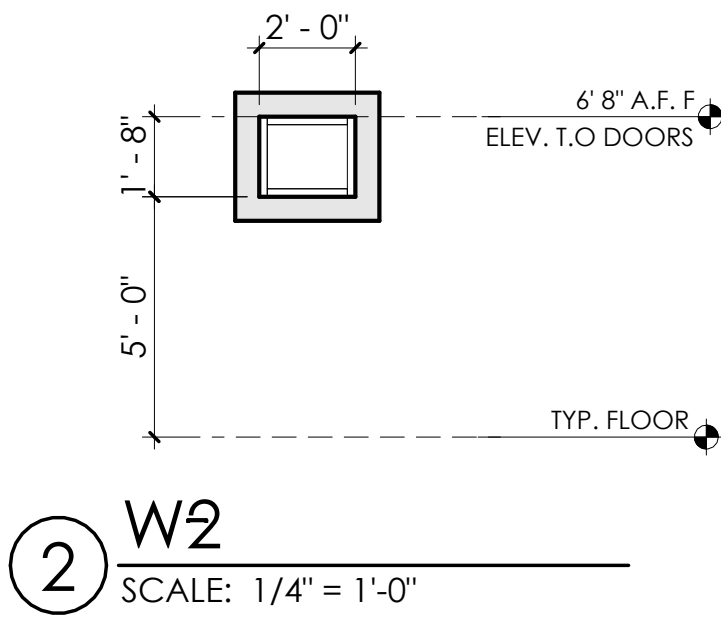
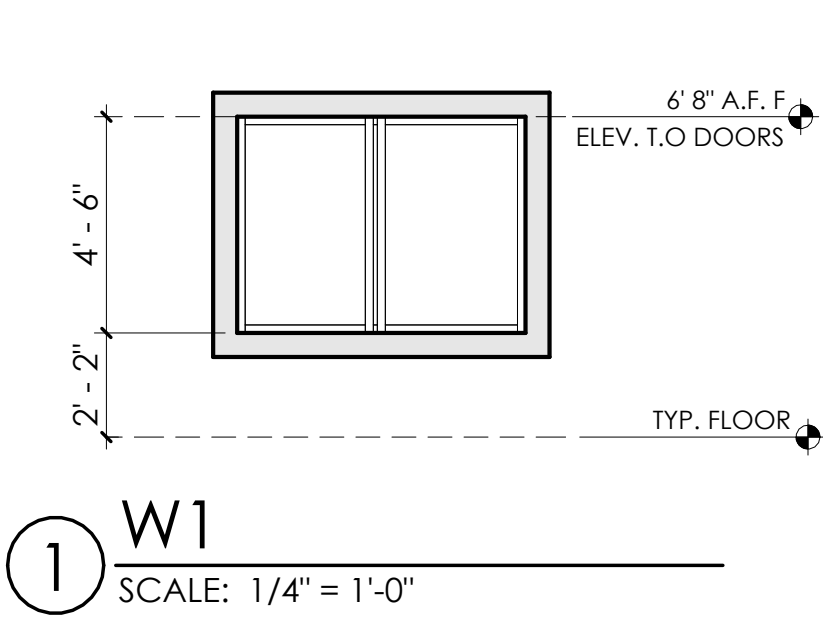


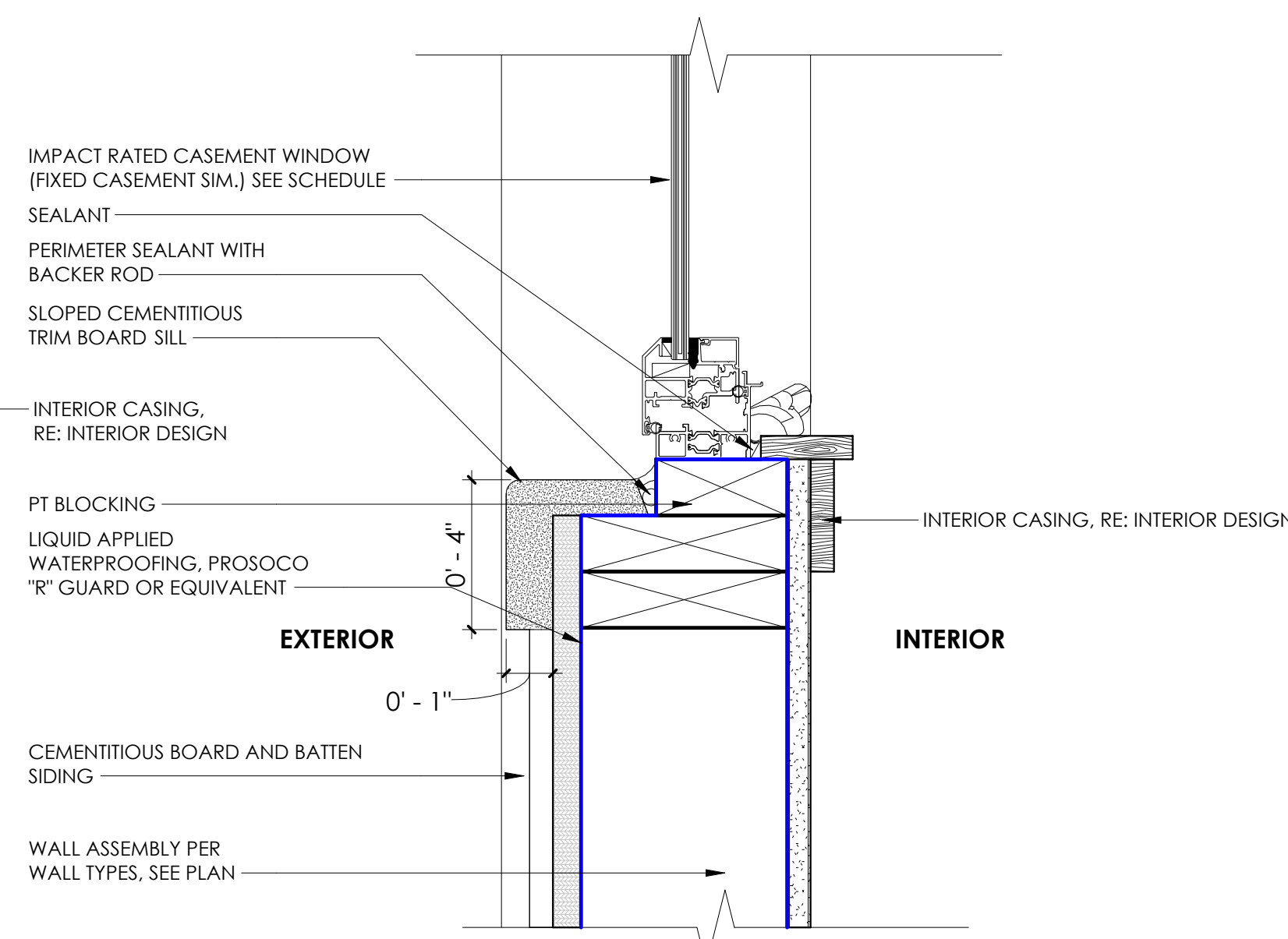
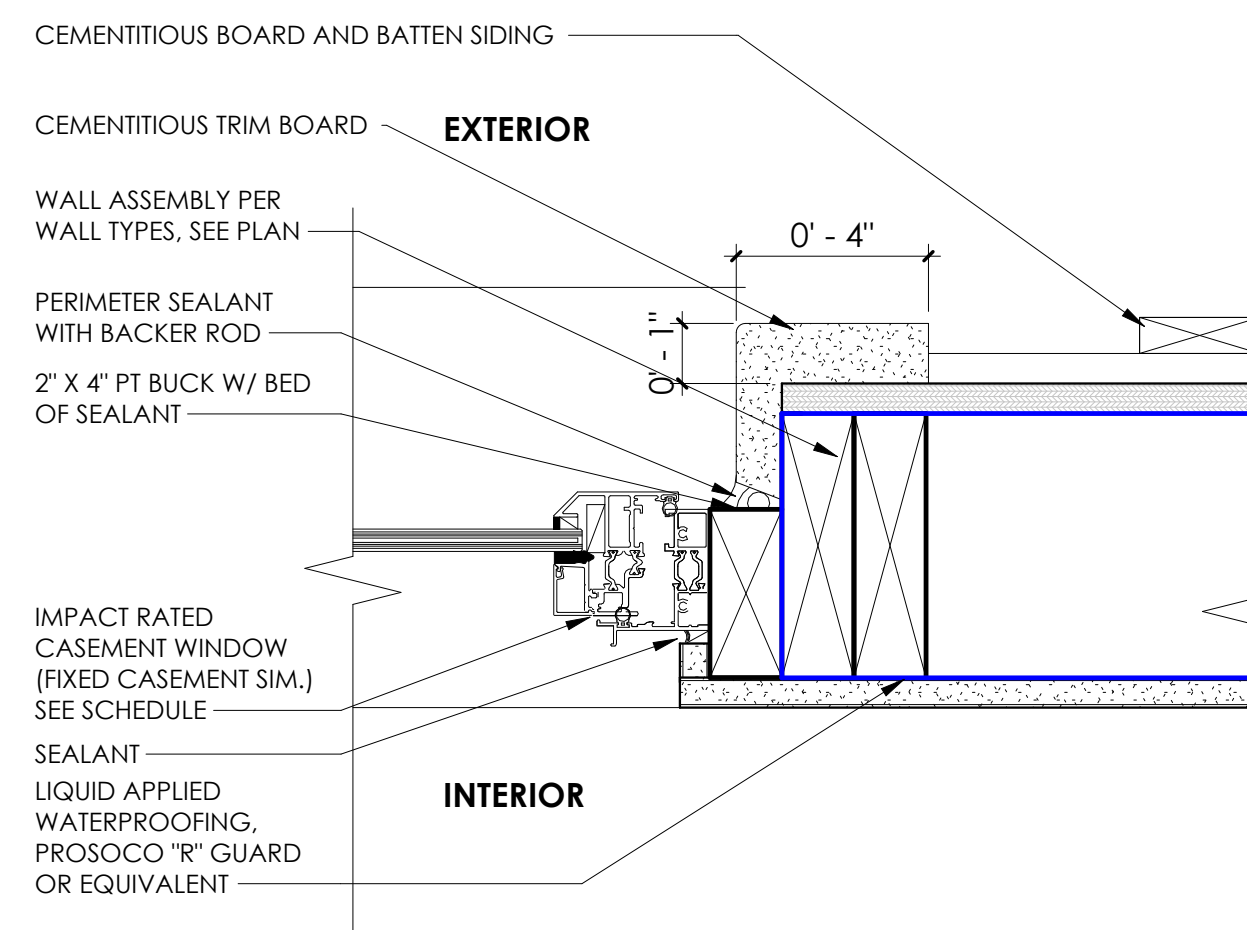
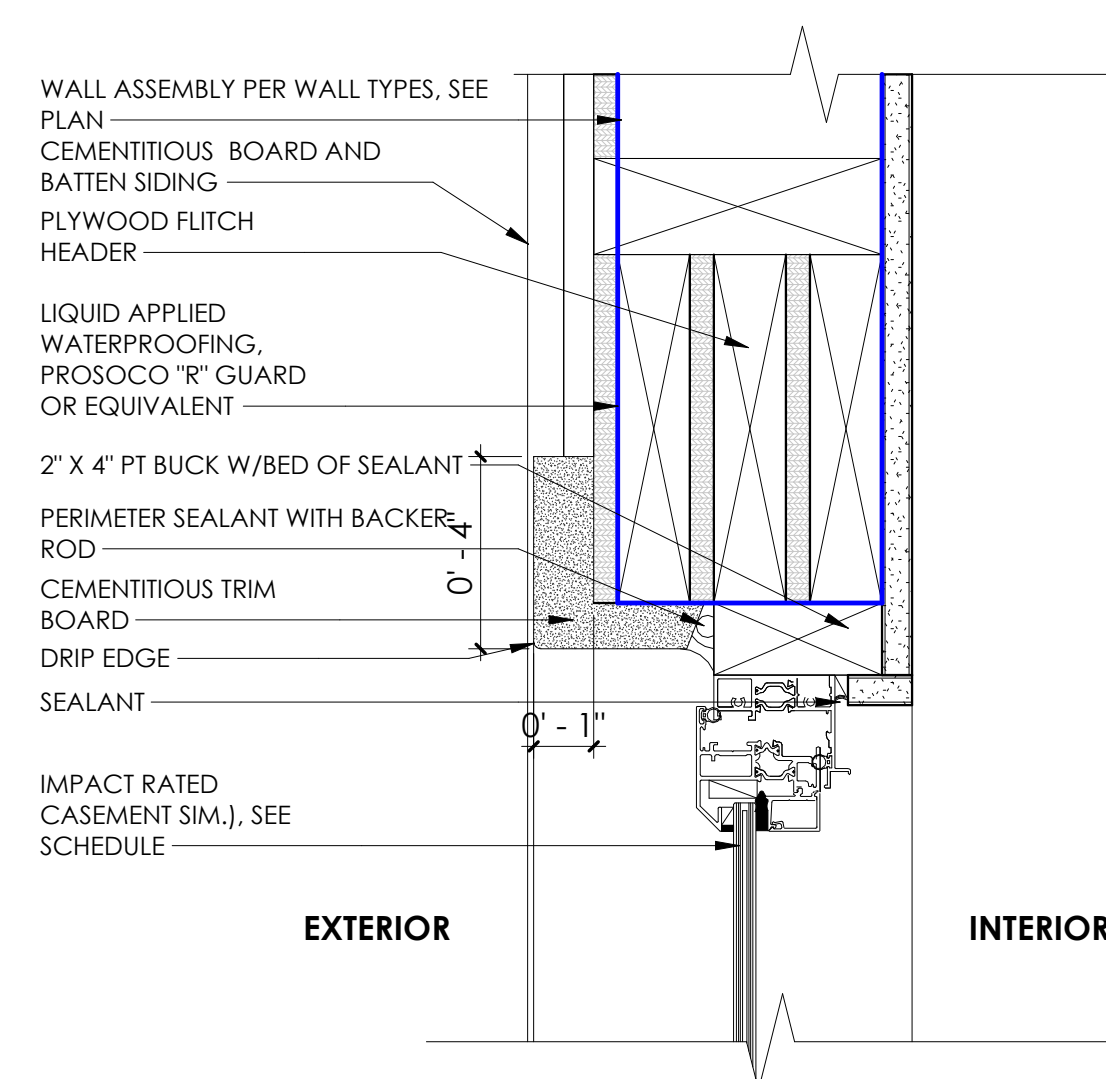
DOORS FRAMES

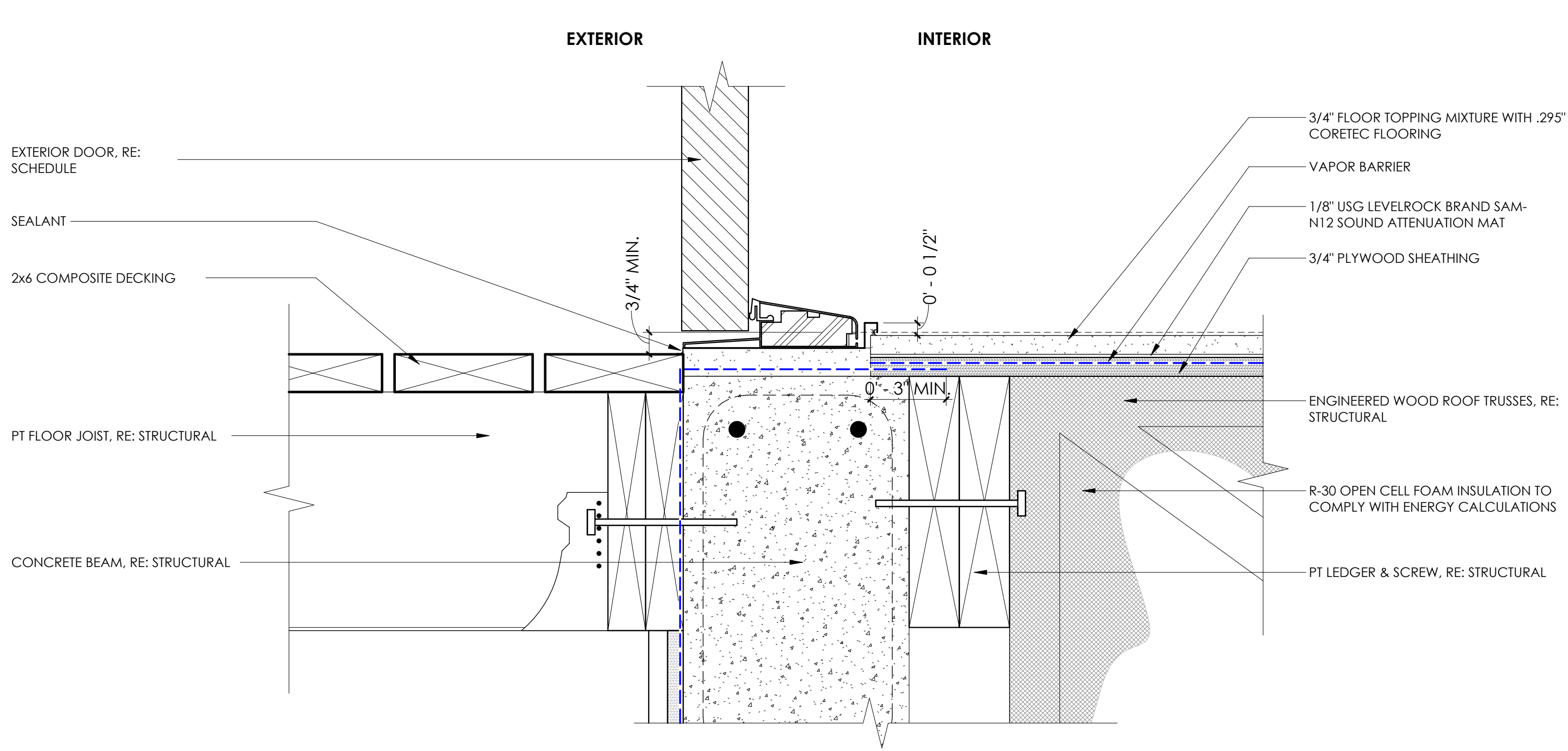
HARDWARE SET	
HARDWARE SET 1: • HEAVY DUTY HINGES. • PASSAGE HANDSET. • HEAVY DUTY DEADBOLT.	LOCATIONS MECHANICAL ROOMS ENTRANCES
HARDWARE SET 2: • MEDIUM DUTY HINGES. • PASSAGE HANDSET.	BEDROOMS
HARDWARE SET 3: • MEDIUM DUTY HINGES. • SLIDE HANDLE.	BATHROOMS
HARDWARE SET 4: • HEAVY DUTY HINGES. • SLIDE HANDLE.	BALCONIES
HARDWARE SET 5: • MEDIUM DUTY HINGES. • SLIDE HANDLE.	CLOSETS
HARDWARE SET 6: • MEDIUM DUTY HINGES. • KNOB.	CLOSETS
NOTES: -ALL FINISHES TO BE STAINLESS STEEL	

WINDOWS TYPE

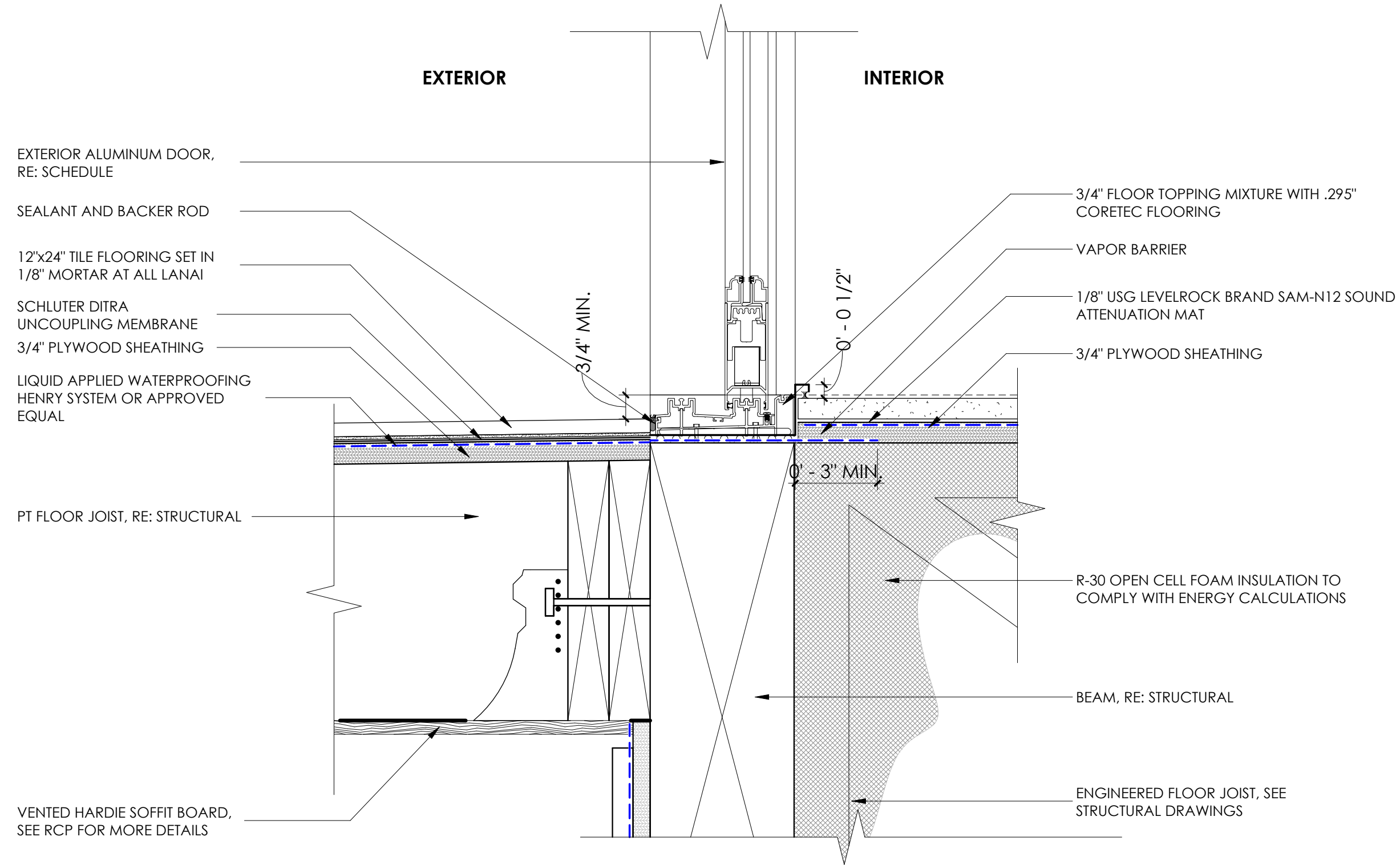
WINDOWS SCHEDULE								
Mark	HEIGHT	WIDTH	MATERIAL	COLOR-FRAME	COLOR-TINT	Manufacturer	Model	ADDITIONAL COMMENTS
W1	4' - 6 1/2"	6' - 0"	AL/GL	WHITE	NO	PGT Windows	ClassicVue Max	CASEMENT IMPACT RATED
W2	1' - 8"	2' - 0"	AL/GL	WHITE	FROSTED/OPAQUE	PGT Windows	ClassicVue Max	IMPACT RATED CASEMENT



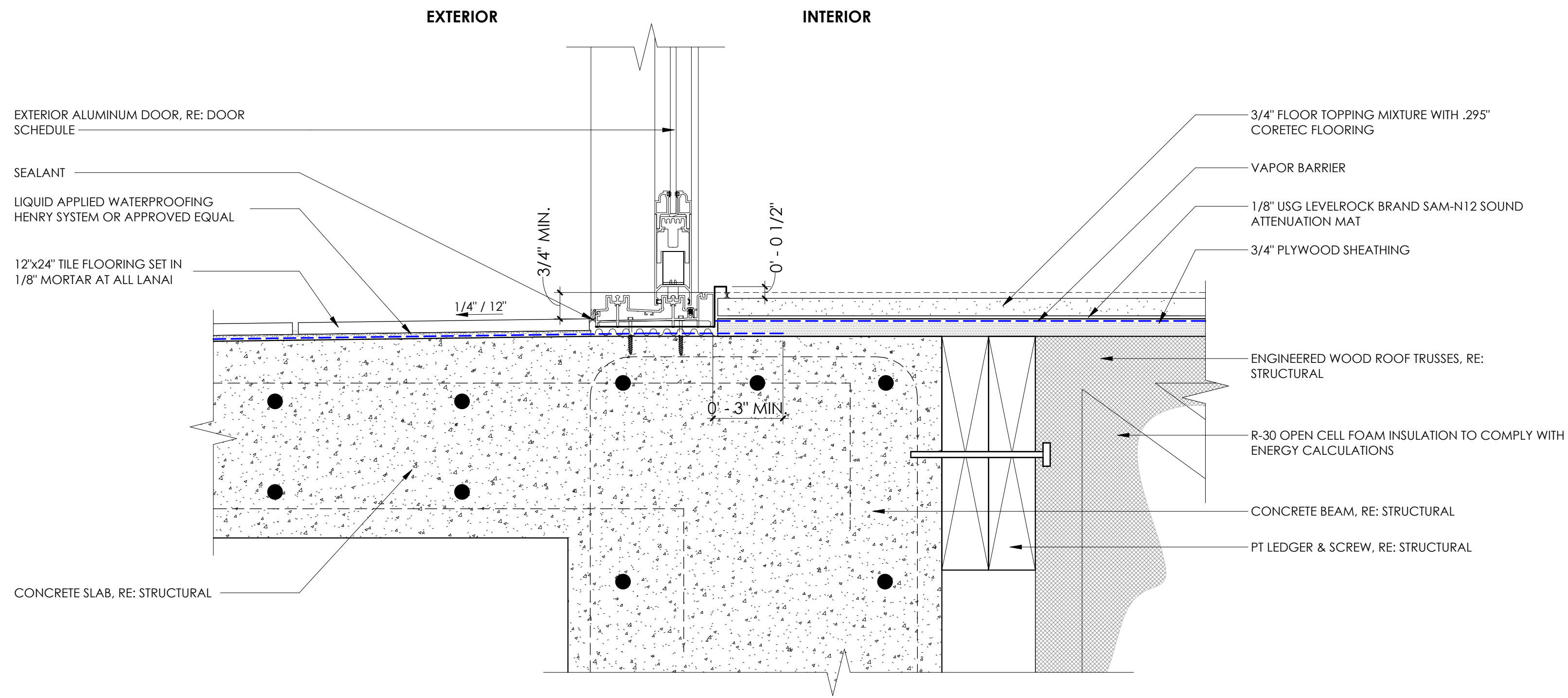




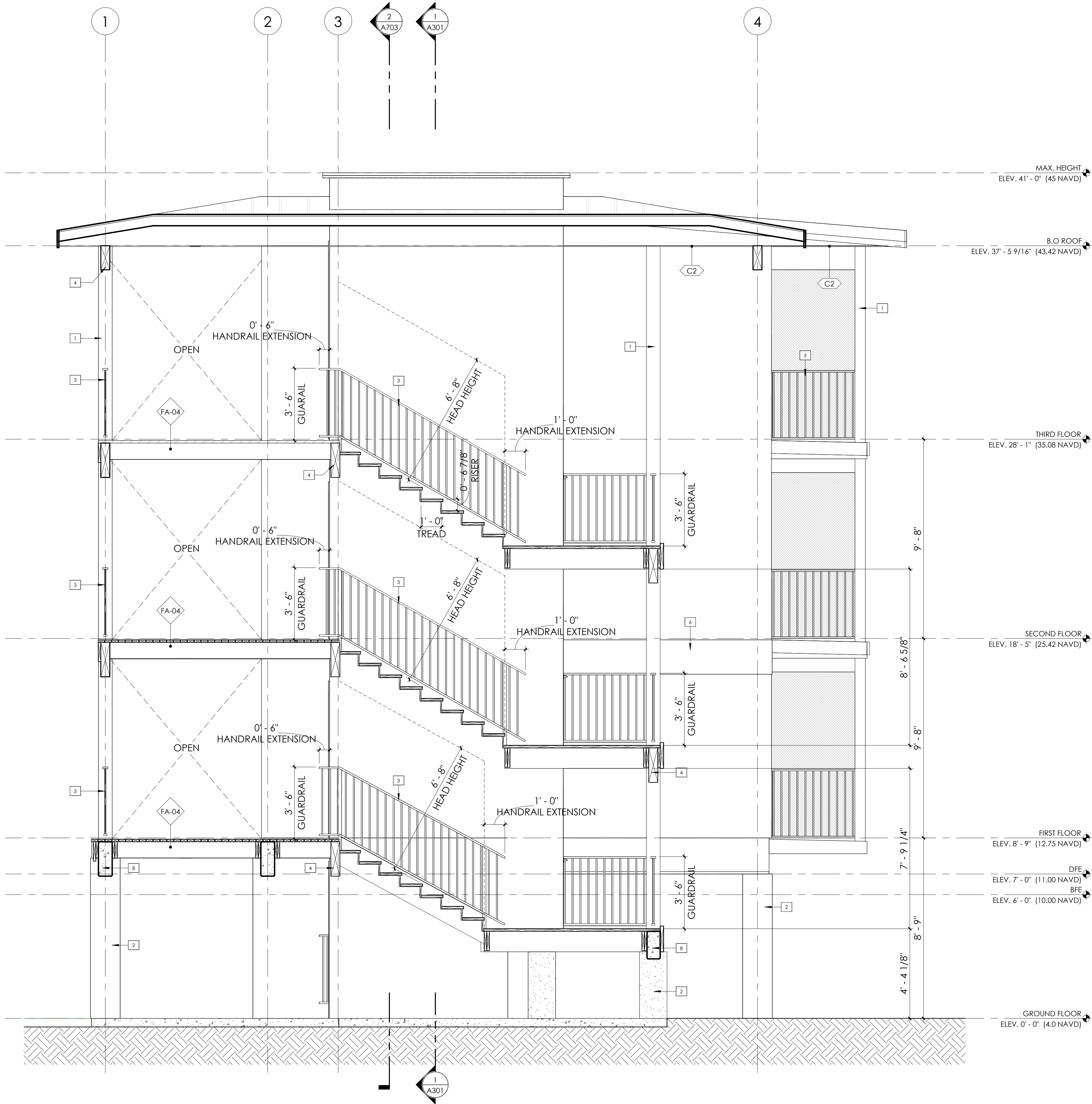
1 ENTRY DOOR @ WOOD DECK
SCALE: 3" = 1'-0"



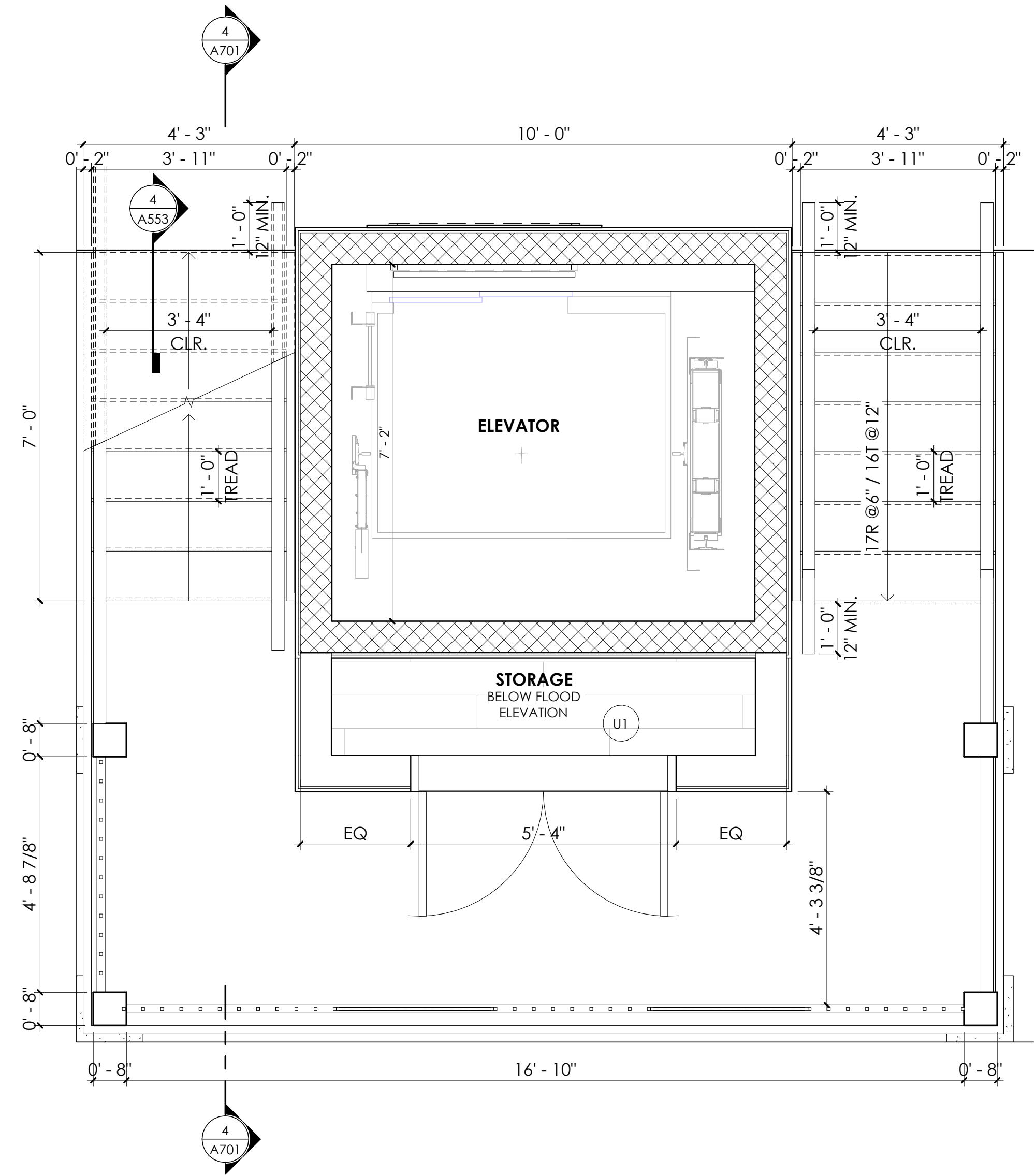
3 SLIDER DOOR SILL @ WOOD DECK
SCALE: 3" = 1'-0"



2 SLIDER DOOR SILL @ CONCRETE DECK
SCALE: 3" = 1'-0"



4 STAIRS A - SECTION
SCALE: 3/8" = 1'-0"

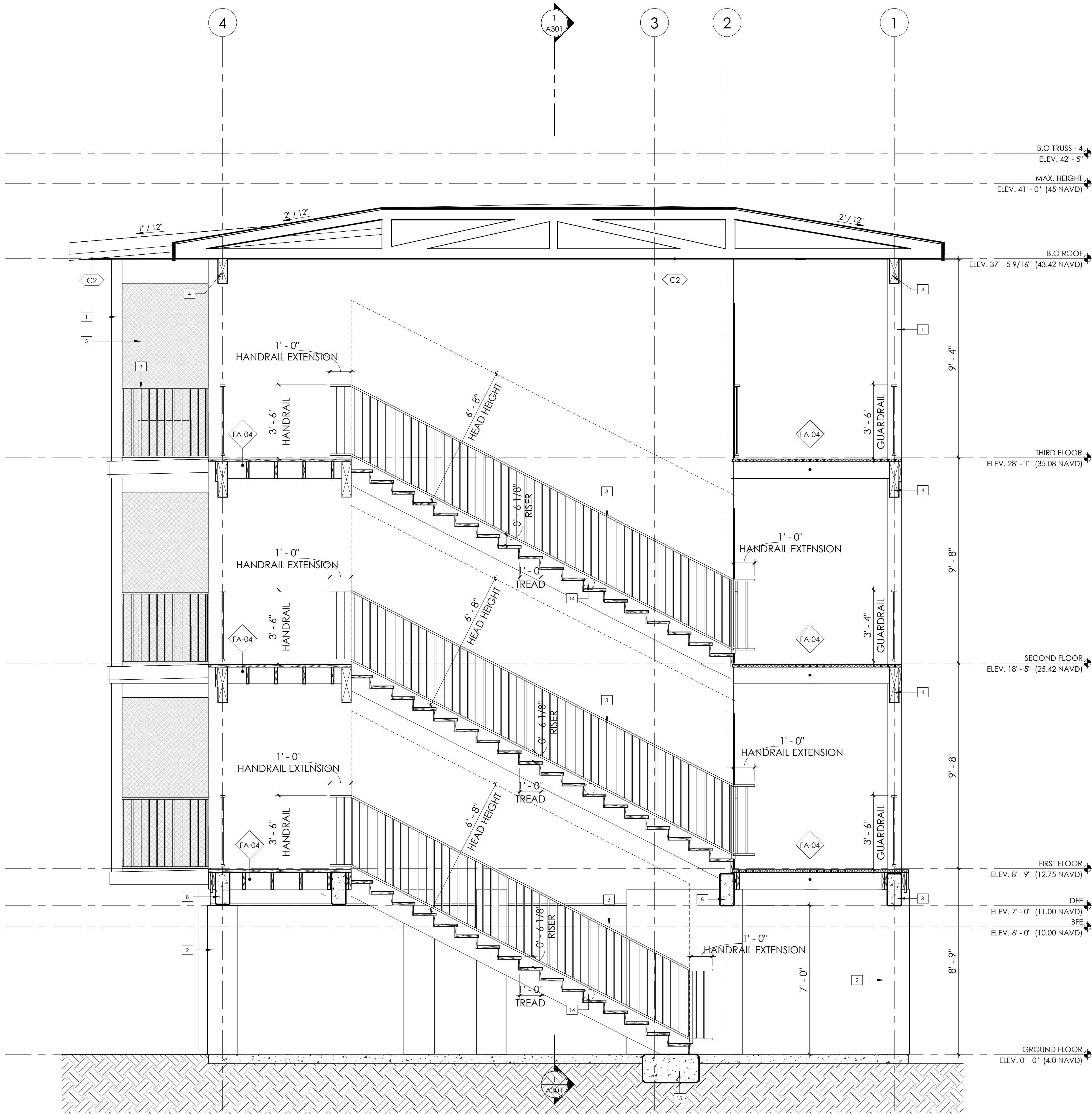


1 STAIRS A - GROUND TO THIRD FLOOR
SCALE: 1/2" = 1'-0"

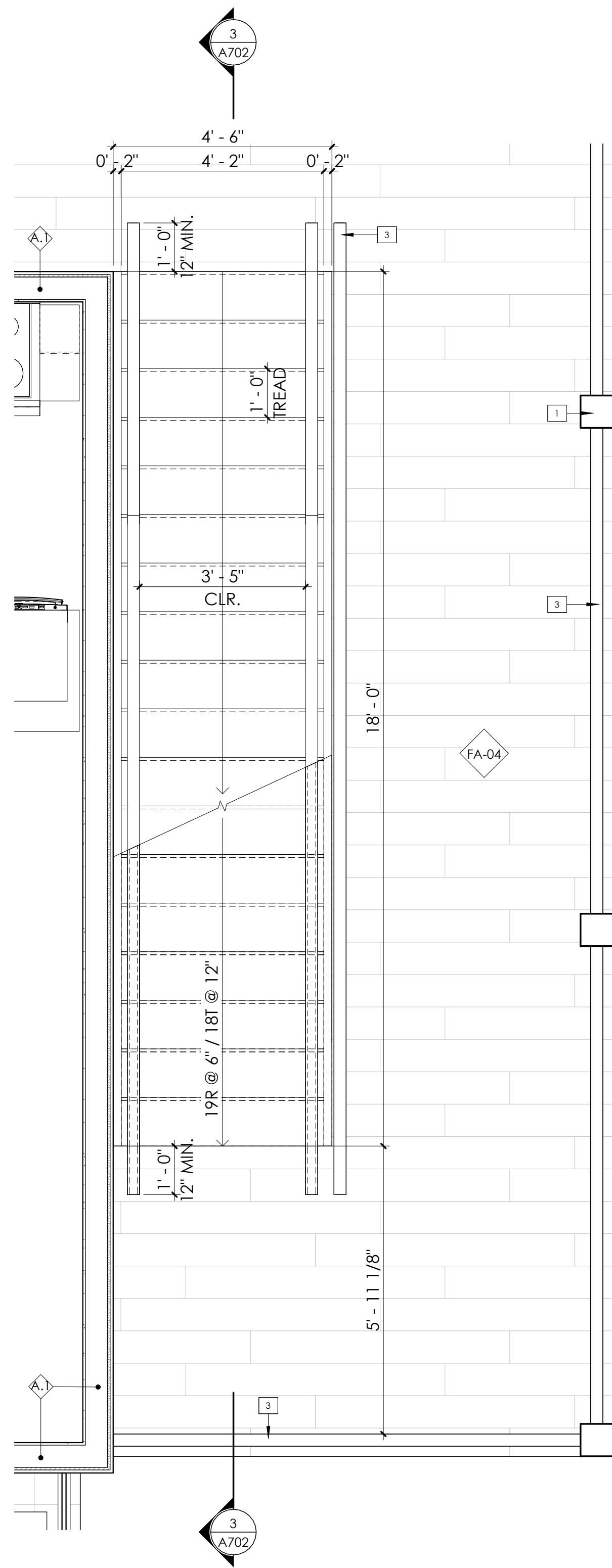
KEYNOTES	
1	WOOD COLUMN, RE: STRUCTURAL
2	CONCRETE COLUMN, RE: STRUCTURAL
3	42" GUARDRAIL
4	WOOD BEAM, RE: STRUCTURAL
6	DECORATIVE TRIM
8	CONCRETE BEAM, RE: STRUCTURAL

STAIR NOTES:

- A1. 42" HIGH ALUMINUM GUARD 42" GUARDRAIL W/ PICKETS SPACED TO PREVENT PASSAGE OF A 6" SPHERE.
- A2. 36" HIGH 1-1/2" ROUND ALUMINUM HAND 42" GUARDRAIL EXTENDED 12" PAST BOTTOM NOSING OF STAIR AND 12" PAST TOP NOSING OF STAIR
- A3. 42" HIGH ALUMINUM GUARD 42" GUARDRAIL WITH PICKETS SPACED TO PREVENT PASSAGE OF 4" SPHERE, AND 36" HIGH 1-1/2" ROUND INTEGRAL HAND 42" GUARDRAIL MEASURED FROM THE LEADING EDGE OF TREAD.
- SEE OVERALL FLOOR PLANS FOR ADDITIONAL INFORMATION.
- NOTE:
1. PROVIDE MINIMUM 6'-8" HEIGHT CLEARANCE AT ANY POINT ALONG THE STAIR. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OF STAIR
2. 42" GUARDRAIL TO BE CONTINUOUS UNLESS OTHERWISE KNOWN IN PLAN. REFER TO INTERIOR DESIGN DRAWINGS



3 STAIRS B - SECTION
SCALE: 3/8" = 1'-0"



2 STAIRS B - GROUND TO THIRD FLOOR
SCALE: 1/2" = 1'-0"

KEYNOTES	
1	WOOD COLUMN, RE: STRUCTURAL
2	CONCRETE COLUMN, RE: STRUCTURAL
3	42" GUARDRAIL
4	WOOD BEAM, RE: STRUCTURAL
5	SCREEN, SEE DETAILS
8	CONCRETE BEAM, RE: STRUCTURAL
14	TRIANGULAR AREA TO REJECT A 6" DIAMETER OBJECT
15	GRADE BEAM, RE: STRUCTURAL

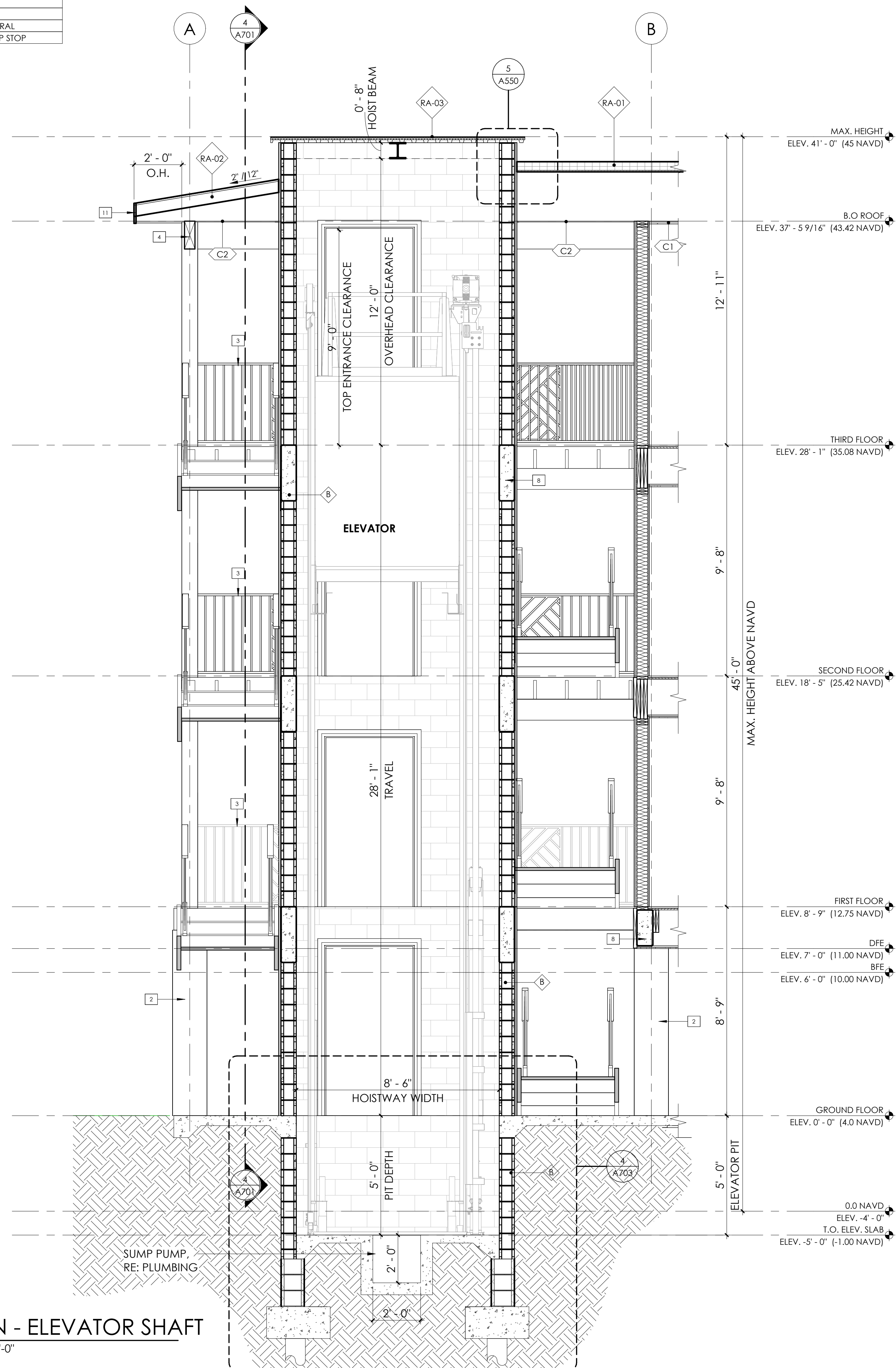
STAIR NOTES:

- A1. 42" HIGH ALUMINUM GUARD 42" GUARDRAIL W/ PICKETS SPACED TO PREVENT PASSAGE OF A 6" SPHERE.
- A2. 36" HIGH 1-1/2" ROUND ALUMINUM HAND 42" GUARDRAIL EXTENDED 12" PAST BOTTOM NOSING OF STAIR AND 12" PAST TOP NOSING OF STAIR
- A3. 42" HIGH ALUMINUM GUARD 42" GUARDRAIL WITH PICKETS SPACED TO PREVENT PASSAGE OF 4" SPHERE, AND 36" HIGH 1-1/2" ROUND INTEGRAL HAND 42" GUARDRAIL MEASURED FROM THE LEADING EDGE OF TREAD.

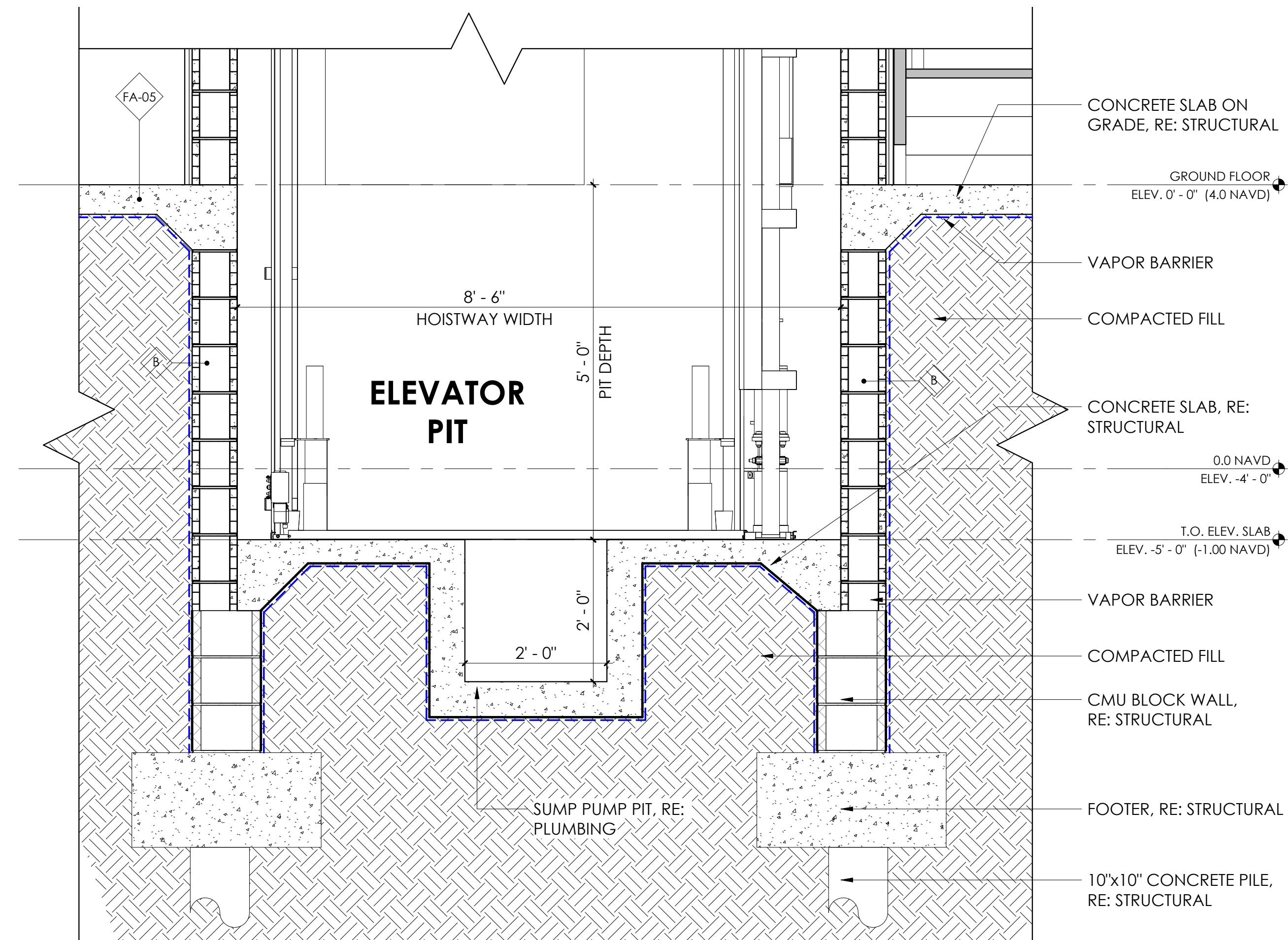
SEE OVERALL FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE:
1. PROVIDE MINIMUM 6'-8" HEIGHT CLEARANCE AT ANY POINT ALONG THE STAIR. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OF STAIR
2. 42" GUARDRAIL TO BE CONTINUOUS UNLESS OTHERWISE KNOWN IN PLAN. REFER TO INTERIOR DESIGN DRAWINGS

KEYNOTES	
2	CONCRETE COLUMN, RE: STRUCTURAL
3	42" GUARDRAIL
4	WOOD BEAM, RE: STRUCTURAL
8	CONCRETE BEAM, RE: STRUCTURAL
11	1x8 FIBER FASCIA WITH 1/2" DRIP STOP



2 SECTION - ELEVATOR SHAFT
SCALE: 3/8" = 1'-0"



4 ELEVATOR PIT DETAIL

KONE MONOSPACE® 300

CONFIGURATION & DIMENSIONS

Max Travel
48 ft.

Max Landings
4

Speed
150 fpm (.75 m/s)

Car Height F
7 ft. 6 in. (2286 mm)

Entrance Height G
7 ft. (2134 mm)

		A		A SEISMIC		B		B SEISMIC		C		D		E	
		CAPACITY LBS. (kg)	OPENING TYPE ⁽⁹⁰⁾	HOISTWAY WIDTH (mm)	HOISTWAY WIDTH (mm)	HOISTWAY DEPTH (mm)	HOISTWAY DEPTH (mm)	INTERIOR WIDTH (mm)	INTERIOR DEPTH (mm)	DOOR WIDTH (mm)	STRETCHER ACCOMMODATION				
FRONT OPENING	PASSENGER	2000 (907)	Side Opening	7'-4" (2235)	7'-9" (2362)	5'-9" (1753)	5'-9 1/2" (1766)	5'-8 7/8" (1750)	4'-4 7/16" (1332)	3'-0" (914)	NO				
		2500 (1134)	Side Opening or Center Opening	8'-4" (2540)	8'-9" (2667)	5'-9" (1753)	5'-9 1/2" (1766)	6'-8 7/8" (2055)	4'-4 7/16" (1332)	3'-6" (1067)	NO				
		3000 (1361)	Side Opening or Center Opening	8'-4" (2540)	8'-7" (2616)	6'-3" (1905)	6'-3 1/2" (1918)	6'-5 5/8" (1971)	5'-0 7/16" (1536)	3'-6" (1067)	NO				
		3500 (1588)	Side Opening or Center Opening	8'-4" (2540)	8'-7" (2616)	6'-11" (2108)	6'-11" (2108)	6'-5 5/8" (1971)	5'-6 5/8" (1693)	3'-6" (1067)	YES ⁽⁹⁰⁾				
		FRONT & REVERSE OPENING	PASSENGER	2000 (907)	Side Opening	7'-4" (2235)	7'-9" (2362)	6'-3 3/4" (1924)	6'-3 3/4" (1924)	5'-8 7/8" (1750)	4'-4 7/16" (1332)	3'-0" (914)	NO		
2500 (1134)	Side Opening or Center Opening			8'-4" (2540)	8'-9" (2667)	6'-3 3/4" (1924)	6'-3 3/4" (1924)	6'-8 7/8" (2055)	4'-4 7/16" (1332)	3'-6" (1067)	NO				
3000 (1361)	Side Opening or Center Opening			8'-4" (2540)	8'-7" (2616)	6'-11 1/4" (2127)	6'-11 3/4" (2127)	6'-5 5/8" (1971)	5'-0 7/16" (1536)	3'-6" (1067)	NO				
3500 (1588)	Side Opening or Center Opening			8'-4" (2540)	8'-7" (2616)	7'-6" (2286)	7'-6" (2284)	6'-5 5/8" (1971)	5'-6 5/8" (1693)	3'-6" (1067)	NO				

CLEAR OVERHEAD H AND PIT DEPTH I		
CAPACITY LBS. (kg)	150 FPM (.75 m/s)	
	Pit Depth (mm)	Clear Overhead (mm)
2000 to 3500 (907 to 1588)	5'-0" (1524)	11'-8" (3556) ⁽¹⁾

1 ELEV. SPEC. SHEET
SCALE: 3/8" = 1'-0"

ELEVATOR GENERAL NOTES:

1. ELEVATOR BASIS OF DESIGN: KONO MONOSPACE 300 TRACTION Elevator 3500# CAPACITY, W/ FRONT OPENING DOOR.
2. SUMP PUMP REQUIRED, 2FT X 2FT X 2FT PIT AT BOTTOM OF ELEVATOR PIT, OR COORDINATE FINAL LOCATION WITH ELEVATOR MANUFACTURER, SEE STRUCTURAL FOR MORE INFORMATION.
3. STEEL LADDER ACCESS TO ELEVATOR PIT TO BE PROVIDED PER ELEVATOR MANUFACTURER.
4. INTERIOR FINISH TO BE SELECTED BY OWNER.
5. XYPEX CONCRETE ADDITIVE IN ELEVATOR PITS ONLY.
6. VERIFY WITH MANUFACTURER THE SIZE OF ELEVATOR ROUGH OPENING.

MARK

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**RIVERVIEW CHR DEVELOPMENT
1517 PERIWINKLE WAY, SANIBEL,
FL 33957**

FLORIDA SEAL

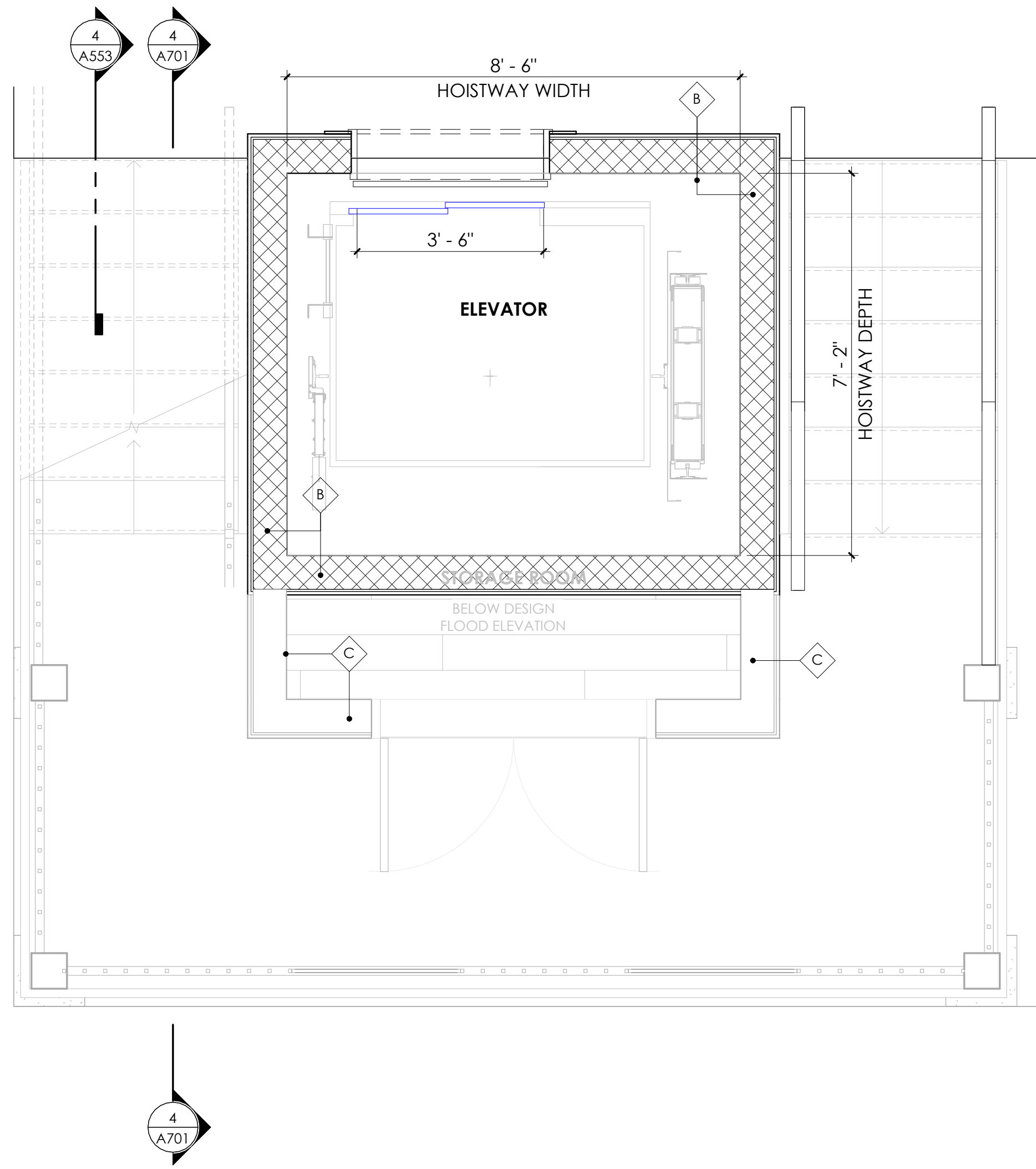
3/24/2025

PERMIT SET

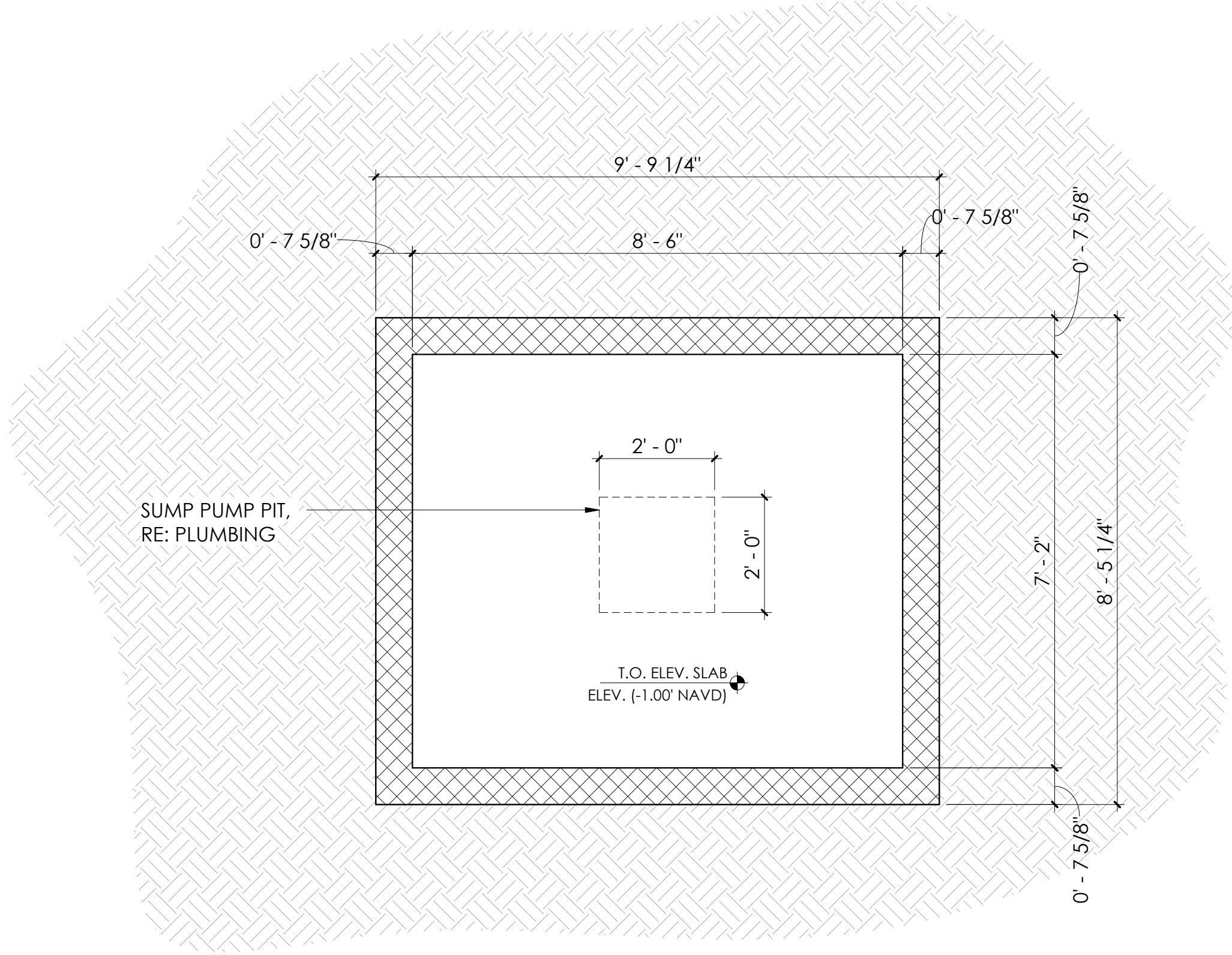
ELEVATOR

PHASE	100% C
PR NO	23416
PA/PM	CC/PM

A703



1 ELEVATOR - GROUND TO THIRD FLOOR
SCALE: 1/2" = 1'-0"
STAIRS AND ELEVATOR REFER TO STRCTURAL DRAWINGS



2 ELEVATOR PIT FLOOR PLAN
SCALE: 1/2" = 1'-0"

ELEVATOR GENERAL NOTES:

1. ELEVATOR BASIS OF DESIGN: KONO MONOSPACE 300 TRACTION Elevator 3500# CAPACITY, W/ FRONT OPENING DOOR.
2. SUMP PUMP REQUIRED, 2FT X 2FT X 2FT PIT AT BOTTOM OF ELEVATOR PIT, OR COORDINATE FINAL LOCATION WITH ELEVATOR MANUFACTURER, SEE STRUCTURAL FOR MORE INFORMATION.
3. STEEL LADDER ACCESS TO ELEVATOR PIT TO BE PROVIDED PER ELEVATOR MANUFACTURER.
4. INTERIOR FINISH TO BE SELECTED BY OWNER.
5. XYPEX CONCRETE ADDITIVE IN ELEVATOR PITS ONLY.
6. VERIFY WITH MANUFACTURER THE SIZE OF ELEVATOR ROUGH OPENING.

