



January 12, 2026

REVISED February 2, 2026

City of Sanibel
Planning Department
Craig Chandler, Deputy Planning Director
2475 Library Way
Sanibel, Florida 33957

RE: Riverview II Community Housing & Resources Redevelopment Project
1523/31 Periwinkle Way, Sanibel, FL 33957
Conditional Use / Change of Use VARIANCES Permit Application

Dear Mr. Chandler,

Please accept this application package on behalf of Community Housing & Resources, Inc. requesting conditional and change of use approval for the redevelopment and improvements of the community housing mixed-use project located at 1523/1531 Periwinkle Way. The intent is to achieve Sanibel's BMRH charter goals with **39** new one-bedroom, one-bathroom apartments and a proposed future 2,447 sf building area for low-intensity retail/office/medical office supportive services.

The residential building(s) are designed to mimic the Old Florida style of the Harkey House Riverview I project, however, they're more Island Contemporary style with concrete precast construction and faux-siding façade via stucco details. This updated design lends itself to better facilitate compliance with height restrictions while providing better interior ceiling heights, elevator structural needs, reduces wood materials to mitigate pest control and long-term maintenance expenses, and strengthens the buildings' overall resiliency.

In accordance with Mixed-Use Development standards (126-1032), the development is designed to minimize the potential detrimental influence of commercial or institutional uses on residents by separating the residential from the commercial building; and putting the common elements of the residential structure (elevator and walkway access, utilities/storage closets) closest to the north side to create an intentional separation.

The reduction of commercial floor area criteria is not applicable since all apartments are designated for BMRH in perpetuity.

The property is adjacent to CHR's existing 15-apartment property, Harkey House at Riverview (Riverview I), currently under construction which has limited access along the eastern 7-Eleven property. The proposed layout of Riverview II will improve first responder access and traffic



flow with an intra-connection driveway. Intra-connection driveways are preferred in the Sanibel LDC. Accordingly, this aids in reducing congestion on Periwinkle and improves safety and access issues that continually exist with the access drive at the 7-Eleven property.

CHR intends to provide a recorded easement agreement for this intra-connection drive prior to occupancy the Riverview II buildings, as well as dedicate the IWCD area to the City as was an approved condition for the Harkey House at Riverview I.

This submittal is proposed with the following variance requests:

- **Maximum number of dwelling units (Sec.86-163).** The limitation for BMRH is 12 units per building. The request is to make “each” building’s number of units over the standard by 9 and 6 units. The two apartment buildings are designed with a connecting walkway and common ingress/egress elevator which makes them “one building” which would be exceeding the requirement by 27 units when completed.

The connecting of both buildings is to address multiple issues:

- CDBG-DR projects cannot be phased, have a \$250K/unit cap on the per unit cost allocations and requires ADA compliance standards for all units.
 - The connecting of two buildings makes the costs work for the grant award by eliminating the need for two elevators to serve all the units while facilitating HUD ADA requirements.
- This also reduces the long-term maintenance costs which are funded in part with the City’s tax base.

Further, the apartments are designed to comply with CDBG-DR housing requirements such that ADA can easily be met by simplified future conversions for any of the units without having to add another elevator.

- **Reduced setback/landscape buffer on the East side (Sec. 126-494.d).** There are two properties adjoining the eastern property line, the commercial 7-Eleven site and the multifamily BMRH site. The commercial property line is currently non-conforming with an eastern ingress/egress drive and covered restaurant entry overhang.

The design intent is to provide a 15’ compliant setback/landscape buffer along the property line of 7-Eleven with minor impacts from required utilities. Adjacent to the Riverview I property, the intent is also to provide a setback/landscape buffer but reduced partially by 6.5’ with permeable stone parking spaces.

- The design intent is to ensure compliance with the structures, parking and utilities requirements without impacting the Interior Wetlands Conservation District area to the south of the property; as well as accommodating the Fire Dept’s fire truck access throughout the development.
- CHR will work on a modification to the current dumpster maintenance agreement with 7-Eleven’s ownership and franchisee to relocate the dumpster enclosure. CHR proposes that this approval be allowed, stipulating that a recorded agreement



would be required as a condition to occupancy release as was conditioned for the Riverview I project (vs. a condition to variance approval).

- Adjustments for landscape buffers sizes are made by relocating plantings, not just ground cover requirements.
- **Site access and internal circulation/number of access driveways (Sec. 126-1029.d & 126-104.a.1).** The site has an existing non-compliant, two driveway ingress egress set within setbacks/buffer areas which is attributed to it being two properties that make up this single development.

As reviewed with the Fire Marshall and Chief, maintaining multiple points of ingress egress, as well as intra-connection to the adjacent Riverview I property, facilitates improved life safety conditions for emergency services access.

The shared dumpster enclosure is redesigned for closest access for 7-Eleven and centralized for the CHR buildings' residents and future commercial users. Additionally, when trash service trucks access from the east they can access the dumpsters with a 2-point turn vs. a 4-point turn if accessing from the west. This will ensure more efficient services which occur multiple times per week, and reduced time for blocking the inbound driveway.

The multiple drives and direction of the traffic flow is to facilitate east and west setbacks/buffers, reduce entry widths to minimize non-compliant directional traffic, maximize access, reduce congestion on Periwinkle, and to maximize efficiency for garbage and recycling service pick ups (which has also historically been a significant source of congestion at the 7-Eleven/Riverview I properties).

- **Limitation on principal buildings (Sec. 86-164).** City Staff noted that the limitation for two dwelling units vertically at any point in the building was a “belt and suspenders” provision to a lower height restriction that was relatively recently modified to facilitate floodplain changes. The design of this proposed development meets the current height restriction limit of 45', which allows for 3 stories vertically over flood.

The proposed development is designed to coordinate for administrative approvals for the following:

- **Removal of strangler fig tree.** Currently a strangler fig tree exists within the proposed footprint of the building. It has survived the recent storms; however, it's suffered extensive damage and has signs of rot. A replacement of 3:1 ratio is proposed.
- **Reduction of plantings to 85% for use of all native species.** Calculations were used meeting the standards applicable to the property using all native species for resiliency and limited need for maintenance and irrigation, ensuring best opportunity for plantings to thrive.



- **Outdoor lighting.** The intent is to finalize design with both buildings, parking and site lighting in a manner that complies with Sec. 126-997 and in design consistent with the Harkey House Riverview I project.

As you know, community housing is still a much-needed resource on Sanibel and Captiva for its continued support of its businesses that continue to compete for employees. Community Housing and Resources, with these approvals, can continue to serve and improve the community and provide a supportive services component that can continue a tax base contribution to the City.

On behalf of Community Housing and Resources, I thank you for your time and consideration with this submittal.

Respectfully,

Rachel Lee Bielert

Rachel Lee Bielert

Project Manager for Community Housing & Resources, Inc.

CC: Nicole Decker-McHale, CHR
Steve Fehlhaber, DRMP
Chris Lee, Christopher Lee Architects
Jeremy Walsh, RS Walsh Landscaping

September 29, 2022 2:58 PM C:\projects\25037 Review\1.001 - Main House Project\Layouts\Title (Bound-Color) Plot File RVT (Landing

REV #	REVISION			DRAWN:	CHECKED: DATE

	NAME	DATE
FIELD:	MAW	9/15/25
DRAWN:	WARD	9/28/25
CHECKED:	WARD	9/29/25

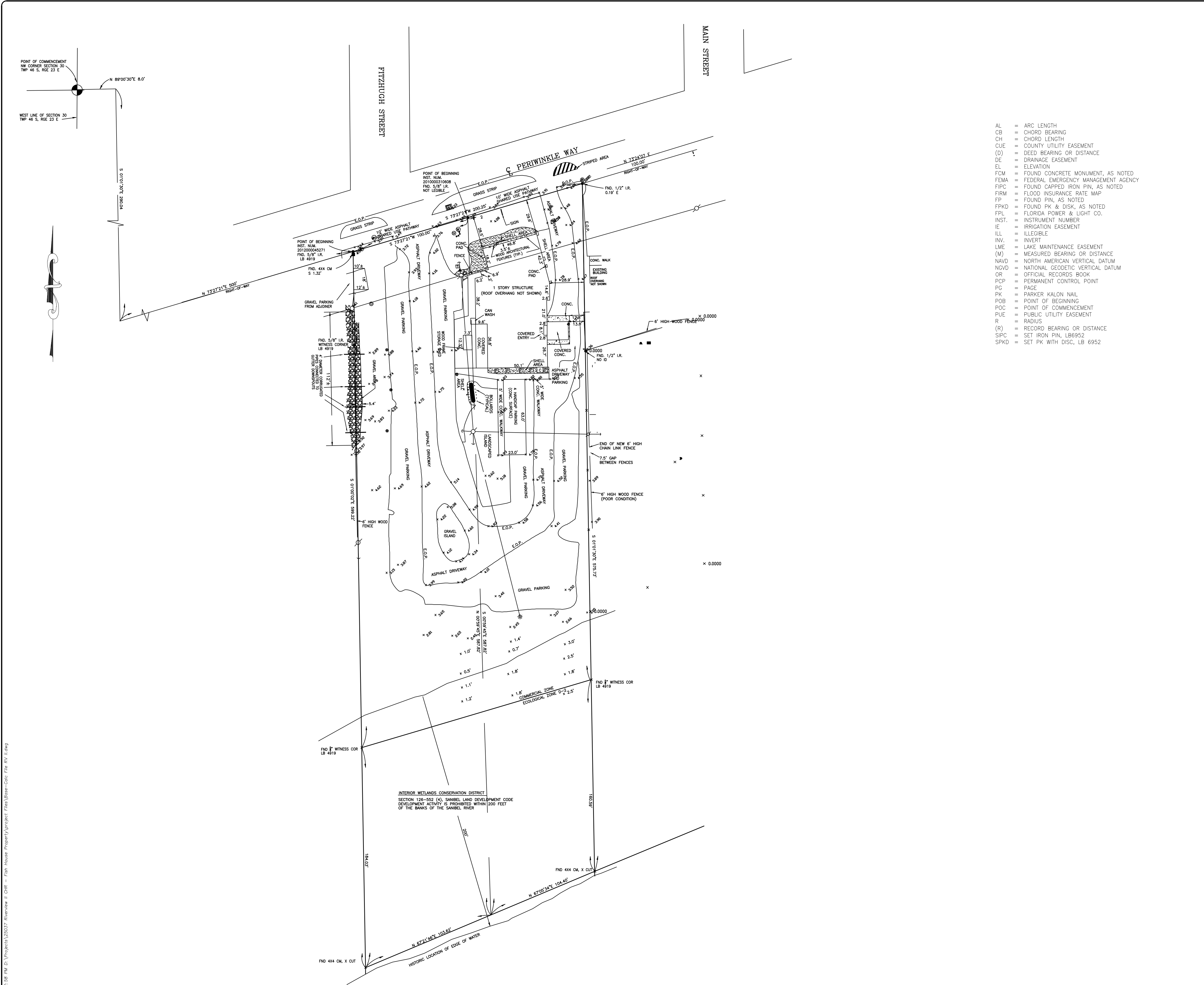


THE WARD SURVEY GROUP
1666 MCGREGOR RESERVE Dr
Fort Myers, Florida 33901
Phone: (239) 245-4555
LB No.: 8654

DATE: 29 SEPT 2025
HORIZ. SCALE: 1" = 40'
VERT. SCALE: 1" = 40'
SEC: TWP: RGE: 18 46 23

CLIENT:	COMMUNITY HOUSING AND RESOURCES, INC.
TITLE:	BOUNDARY AND LIMITED TOPOGRAPHIC SURVEY

PROJECT: 1523 AND 1531 PERIWINKLE WAY			
CROSS REFERENCE: 30-46-23-T1-00004.0070 30-46-23-T1-00004.0060	PROJECT NO.: TWSG 25037	SHEET NUMBER: 1 OF 1	FILE NO.: 25037 DS.DWG



- NOTES:
1. THIS PLAT OF SURVEY WAS PREPARED AS A BOUNDARY AND LIMITED TOPOGRAPHIC SURVEY.
 2. DATE OF LAST FIELDWORK: SEPTEMBER 15, 2025.
 3. BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83, 2011 ADJUSTMENT) WHERE THE SOUTHERLY RIGHT OF WAY LINE OF PERIWINKLE WAY, CITY OF SANIBEL, LEE COUNTY, FLORIDA, BEARS N73°27'21"E.
 4. THIS SURVEY DOES NOT MAKE ANY REPRESENTATION AS TO THE ZONING REGULATIONS AND OR DEVELOPMENT RESTRICTIONS ON THE SUBJECT PARCEL.
 5. DIMENSIONS AND ELEVATIONS ARE IN FEET AND DECIMAL PARTS THEREOF. UNLESS A DIRECT COMPARISON IS MADE, MEASURED BEARINGS AND DISTANCES ARE IDENTICAL WITH PLAT OR RECORD VALUES.
 6. SURVEYED PARCEL IS IN F.E.M.A. FLOOD ZONE "AE 10" EL.10, AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S DIGITAL FLOOD INSURANCE RATE MAP (D.F.I.R.M.) MAP NUMBER, PANEL CITY OF SANIBEL 120402 12071 C 0533 G EFFECTIVE DATE: 11/17/2022
 7. ELEVATIONS SHOWN HEREON ARE IN FEET AND ARE BASED ON THE [DATUM]. ELEVATIONS AND OR SITE BENCHMARKS WERE DERIVED BY DIFFERENTIAL LEVELING FROM LOCAL BENCHMARKS AS SHOWN ON THE BOUNDARY SURVEY BY BEAN WHITTAKER LUTZ AND KAREH, WITH AN ELEVATION OF 4.57', AND TIED AND VERIFIED TO BENCHMARK ON ADJOINING PARCEL.
 8. NO ENVIRONMENTAL ASSESSMENT OR AUDIT WAS PERFORMED ON THE SURVEYED PARCEL BY THIS FIRM.
 9. THIS SURVEY IS NOT INTENDED TO DELINEATE OR DEFINE ANY WETLANDS, ENVIRONMENTALLY SENSITIVE AREAS, WILDLIFE HABITATS OR JURISDICTIONAL LINES OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY, BOARD, COMMISSION OR OTHER ENTITY.
 10. THIS SURVEY DOES NOT DETERMINE PROPERTY OWNERSHIP OR PROPERTY RIGHTS. PLEASE NOTE THERE ARE EXISTING ADJOINING PROPERTY ENCROACHMENTS ON THE WESTERN PROPERTY LINE. THESE HAVE BEEN VERIFIED AS STILL BEING IN USE.
 11. THIS SURVEY REPRESENTS THE BOUNDARY AND THE LOCATED IMPROVEMENTS OR FEATURES, IF ANY, IN ACCORDANCE WITH AND IN RELATION TO THE LEGAL DESCRIPTION AS DEPICTED HEREON. ALL THE EXISTING IMPROVEMENTS ARE SHOWN AS DEPICTED ON THE SURVEY BY B.W.L&K INC. DATED JUNE 2016, AND VERIFIED 09/15/2025.
 12. PARCEL INFORMATION SHOWN HEREON WERE TAKEN FROM 2025 LEE COUNTY GEOGRAPHIC INFORMATION SYSTEM, AS DOWNLOADED ON THE DATE OF SURVEY.
 13. THIS SURVEY IS FOR THE EXCLUSIVE USE OF THE PARTY(IES) IT WAS ORIGINALLY PREPARED FOR, AS DEPICTED HEREON, AND IS NOT TRANSFERABLE. ANY ADDITIONS OR DELETIONS TO THIS SURVEY AND OR THE ACCOMPANYING REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.
 14. THE OWNERSHIP OF FENCES IS UNKNOWN, UNLESS OTHERWISE NOTED.
 15. ONLY THOSE SURFACE AND AERIAL IMPROVEMENTS, AS DEPICTED HEREON, HAVE BEEN FIELD LOCATED. SUBSURFACE AND AERIAL IMPROVEMENTS, IF ANY, HAVE NOT BEEN LOCATED. BUILDING FOUNDATIONS BENEATH THE SURFACE WERE NOT LOCATED UNLESS OTHERWISE NOTED.
 16. AN ABSTRACT OF TITLE, TITLE COMMITMENT, AND OR OWNERSHIP AND ENCUMBRANCE REPORT FOR THE SUBJECT PROPERTY WAS NOT PROVIDED. THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.

1523 Periwinkle Way
STRAP: 30-46-23-11-00004.0070 FOUO ID: 10128025

A TRACT OR PARCEL OF LAND LYING IN GOVERNMENT LOT 4, OF SECTION 30, TOWNSHIP 46 SOUTH, RANGE 23 EAST WHICH LOT OR PARCEL IS DESCRIBED AS FOLLOWS:
FROM THE CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF SECTION 30 SET BY GUY R. NEAL IN 1926 IN ACCORDANCE WITH THE RETRACEMENTS OF A.W. GILBERT U.S. DEPUTY SURVEYOR IN 1897 RUN NORTH 89 DEG. 00'30" EAST ALONG THE NORTH LINE OF SAID SECTION 30 FOR 8 FEET; THENCE SOUTH 1 DEG. 01'30" EAST PARALLEL WITH AND 8 FEET EAST OF THE WEST LINE OF SAID SECTION 30 FOR 290.04 FEET TO A CONCRETE MONUMENT ON THE SOUTH LINE (25 FEET FROM THE CENTER LINE) OF THE SANIBEL-CAPTIVA ROAD (STATE ROAD 9-807) THENCE RUN NORTH 73 DEGS. 35'40" EAST ALONG SAID SOUTH LINE 600 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED; FROM SAID POB SOUTH 1 DEG. 01'30" EAST PARALLEL WITH 586.52 FEET EAST OF SAID WEST LINE FOR 585.86 FEET; THENCE RUN NORTH 67 DEG 17'30" EAST FOR 103.75 FEET; THENCE RUN NORTHEAST TO A POINT UPON THE SOUTH LINE (25 FEET FROM THE CENTER LINE) OF THE SANIBEL-CAPTIVA ROAD, WHICH IS 300 FEET NORTHEASTERLY FROM POB OF SAID LANDS HEREIN DESCRIBED; THENCE RUN 73 DEG. 35'40" WEST ALONG SAID SOUTH LINE OF THE SANIBEL-CAPTIVA ROAD 100 FEET TO THE POB OF THE LANDS HEREIN DESCRIBED.

1531 Periwinkle
STRAP: 30-46-23-11-00004.0060 FOUO ID: 10128024

A TRACT OR PARCEL OF LAND LYING IN GOVERNMENT LOT 4 OF SECTION 30, TOWNSHIP 46 SOUTH, RANGE 23 EAST, WHICH TRACT OR PARCEL IS DESCRIBED AS FOLLOWS:
FROM THE CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF SECTION 30 SET BY GUY R. NEAL IN 1926, IN ACCORDANCE WITH THE RETRACEMENTS OF A.W. GILBERT, U.S. DEPUTY SURVEYOR IN 1897, RUN NORTH 89 DEGREES 00'30" EAST ALONG THE NORTH LINE OF SAID SECTION 30 FOR 8 FEET; THENCE RUN SOUTH 1 DEGREE 01'30" EAST PARALLEL WITH AND 8 FEET EAST OF THE WEST LINE OF SAID SECTION 30 FOR 290.04 FEET TO A CONCRETE MONUMENT ON THE SOUTH LINE (25 FEET FROM THE CENTER LINE) OF THE SANIBEL-CAPTIVA ROAD (STATE ROAD NO. 9-807); THENCE RUN NORTH 73 DEGREES 35'40" EAST ALONG SAID SOUTH LINE FOR 500 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED; FROM SAID POINT OF BEGINNING RUN SOUTH 1 DEGREE 01'30" EAST PARALLEL WITH AND 490.10 FEET EAST OF SAID WEST LINE FOR 599.22 FEET; THENCE RUN NORTH 67 DEGREES 17'30" EAST FOR 103.75 FEET; THENCE RUN NORTH 1 DEGREE 01'30" WEST PARALLEL WITH AND 586.52 FEET EAST OF SAID WEST LINE FOR 585.86 FEET TO AN INTERSECTION WITH SAID SOUTH LINE OF THE SANIBEL-CAPTIVA ROAD; THENCE RUN SOUTH 73 DEGREES 35'40" WEST ALONG SAID SOUTH LINE FOR 100 FEET TO THE POINT OF BEGINNING.

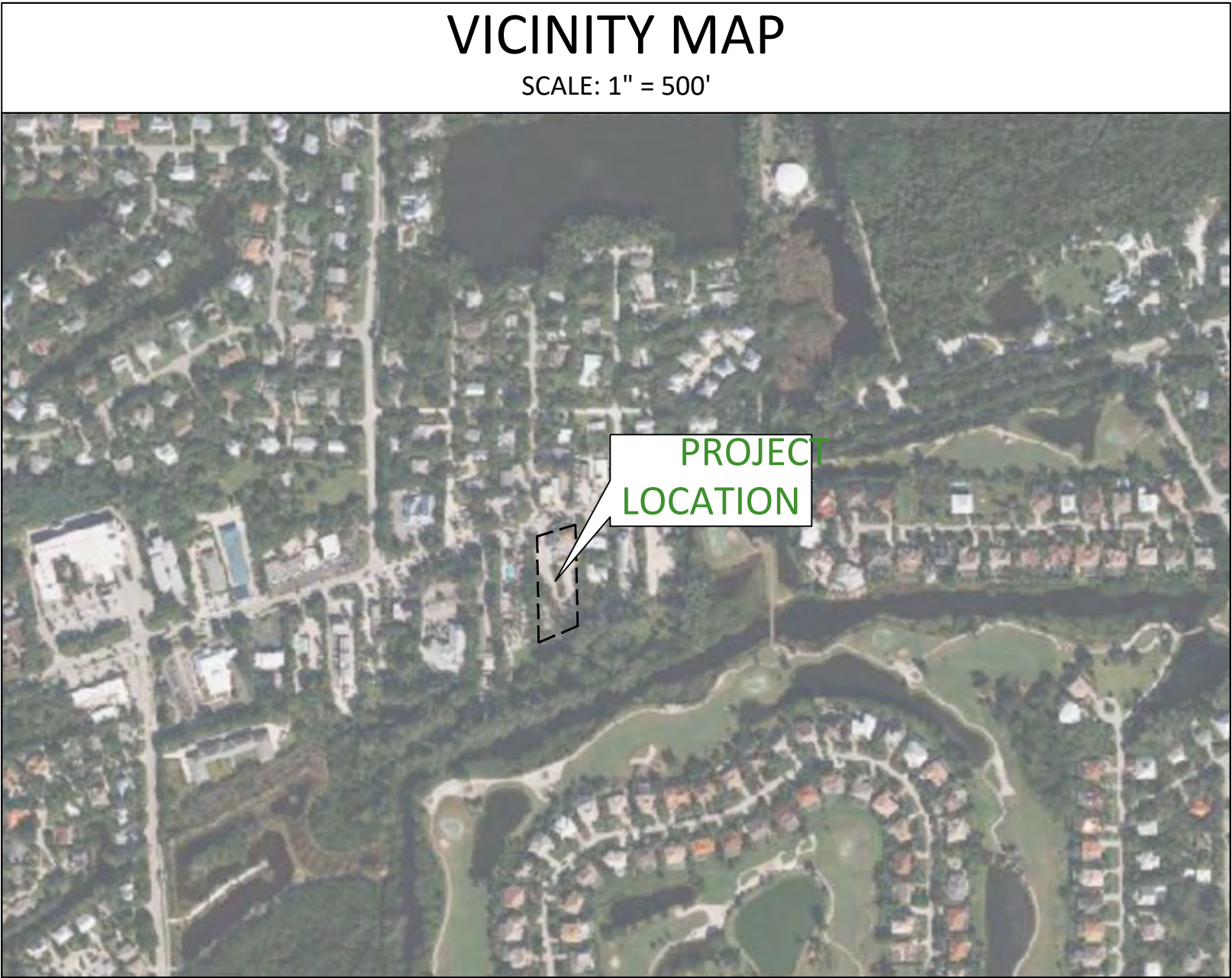
MICHAEL A. WARD DATE
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATE NO. LS 5301
THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MICHAEL A. WARD, PLS.
I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF
THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE
APPLICABLE PROVISIONS FOR CH. 54-17, FLORIDA ADMINISTRATIVE
CODE, PURSUANT TO CHAPTER 472, FLORIDA STATUTES

CONSTRUCTION PLANS

for

RIVERVIEW II AT 1523 PERIWINKLE WAY

SANIBEL, FLORIDA



PROJECT SHEET INDEX

- C1.0 COVER SHEET
- C2.0 GENERAL NOTES
- C3.0 EXISTING CONDITIONS
- C4.0 SITE PLAN
- C5.0 PAVING, GRADING, AND DRAINAGE PLAN
- C6.0 UTILITY PLAN
- C7.0 GENERAL DETAILS
- C7.1 UTILITY DETAILS
- C7.2 DRAINAGE DETAILS
- C7.3 LIFT STATION DETAILS
- c8.0 EROSION AND SEDIMENT CONTROL PLAN

UTILITY CONTACTS:

CATV, FIBER, TELEPHONE
CENTURYLINK
1319 BLAIRSTOWN ROAD
TALLAHASSEE, FL 32301
BILL MCCLOUD 850-815-3144

ELECTRIC
LEE COUNTY ELECTRIC CO-OP
PO BOX 3455
NORTH FORT MYERS, FL 33918
TOM BAILEY 239-656-2414

CONSULTANT CONTACTS:

SURVEY
THE WARD SURVEY GROUP, INC.
MICHAEL A. WARD, PLS 239-245-4555

CIVIL ENGINEERING
DRMP, INC.
1404 DEAN STREET, SUITE 101
FORT MYERS, FL 33901
STEPHEN C. FEHLHABER, P.E. 239-206-5093

WATER
THE ISLAND WATER ASSOCIATION, INC.
3651 SANIBEL CAPTIVA ROAD
SANIBEL, FL 33957
DAN PAOLINO 239-472-1502 x115

SEWER
CITY OF SANIBEL
800 DUNLOP ROAD
SANIBEL, FL 3395
OISIN DOLLEY 239-472-6397 x503

ARCHITECT
CHRISTOPHER J. LEE ARCHITECTS, INC.
13180 NORTH CLEVELAND AVENUE, SUITE 112
NORTH FORT MYERS, FL 33903
CHRISTOPHER J. LEE, RA 239-482-4272

COMMUNITY HOUSING AND RESOURCES, INC.
2340 PERIWINKLE WAY, SUITE K-2
SANIBEL, FL 33957
ATTN. NICOLE DECKER-MCHALE



1715 MONROE STREET, SUITE 500, FORT MYERS, FL 33901

JANUARY, 2026

DRMP PROJECT NO. 301.2501366.000

NOTE:
ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN
ALTERED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.

CALL 48 HOURS
BEFORE YOU DIG

IT'S THE LAW!
DIAL 811


Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

STEPHEN C. FEHLHABER, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE No. 98609.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY STEPHEN C. FEHLHABER, P.E. ON

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE
SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE CODE 61G15-23.004(3)(e), A DIGITAL
SIGNATURE APPLIED TO AN ITEM IN ELECTRONIC FORM SHALL HAVE THE SAME FORCE
AND EFFECT AS SIGNING ALL OF THE INDIVIDUAL SHEETS OR PAGES CONTAINED WITHIN
THAT ITEM.

P:\Projects\2513012500789.000_Riverview_II_Housing_and_Urban_Developme\06-CAD\Plans\02.0_GENERAL NOTES.dwg Plotted: Jan 13, 2026 -- 12:22am by gfehhaber

GENERAL NOTES

1. UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL BE PERFORMED CONSISTENT WITH THE FOLLOWING SPECIFICATIONS:
- CITY OF SANIBEL PLANNING DEPARTMENT

CITY OF SANIBEL UTILITY DEPARTMENT

THE ISLAND WATER ASSOCIATION, INC.

SOUTH FLORIDA WATER MANAGEMENT DISTRICT

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2. THIS DESIGN HAS BEEN BASED UPON GROUND-RUN TOPOGRAPHIC SURVEYS BY HALEY WARD. DRMP, INC. MAKES NO ASSURANCES REGARDING THE ACCURACY OF EITHER SUCH EVALUATION.
3. ALL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
4. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE, INCLUDING ALL SURFACE AND SUBSURFACE CONDITIONS, THE WORK REQUIRED AND ALL OTHER CONDITIONS THAT MAY AFFECT THE SUCCESSFUL COMPLETION OF THE JOB PRIOR TO COMMENCEMENT OF WORK.
5. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND PERMIT CONDITIONS BEARING ON THE CONDUCT OF THE WORK, AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, HE SHALL PROMPTLY NOTIFY THE ENGINEER, IN WRITING, AND ANY NECESSARY CHANGES SHALL BE ADJUSTED, AS PROVIDED IN THE AGREEMENT FOR CHANGES IN THE WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER AND THE ENGINEER FOR THE ACTS AND OMISSIONS OF CONTRACTOR'S EMPLOYEES AND ALL HIS SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS WITH GOVERNMENTAL DEPARTMENTS, PUBLIC UTILITIES, PUBLIC CARRIERS, SERVICE COMPANIES, AND CORPORATIONS OWNING OR CONTROLLING ROADWAYS, RAILWAYS, WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, AND TELEGRAPH FACILITIES SUCH AS PAVEMENTS, TRACKS, PIPING, WIRES, CABLES, CONDUITS, POLES, GUYS, OR OTHER SIMILAR FACILITIES, INCLUDING INCIDENTAL STRUCTURES CONNECTED THEREWITH THAT ARE ENCOUNTERED IN THE WORK IN ORDER THAT SUCH ITEMS MAY BE PROPERLY SUPPORTED, PROTECTED OR LOCATED.
8. UNLESS OTHERWISE SPECIFIED IN THE GENERAL CONDITIONS, ALL CONSTRUCTION IS TO BE GOVERNED BY THE PLANS, APPLICABLE PERMITS, AND SPECIFICATIONS HEREIN, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING AND SAFETY CODES, LAWS AND ORDINANCES.
9. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC OR UTILITY RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMIT FROM JURISDICTION RESPONSIBLE FOR SUCH RIGHT-OF-WAY. IN ADDITION, CONTRACTOR SHALL OBTAIN GAS I.D. NUMBER FROM LOCAL GAS COMPANY AND NOTIFY UNDERGROUND UTILITIES, NOTIFICATION CENTER AT 1-800-432-4770 AT LEAST 72 HOURS PRIOR TO START OF WORK.
10. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN CONSISTENT WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, AND SUBMIT TO THE ENGINEER FOR APPROVAL.
11. IN THE EVENT THE CONTRACTOR DISCOVERS ANY ERRORS OR OMISSIONS IN THE PLANS HE SHALL IMMEDIATELY NOTIFY THE OWNER OR OWNER'S AGENT.
12. CONTRACTOR SHALL PRESERVE AND PROTECT ALL PERMANENT REFERENCE MONUMENTS, PERMANENT CONTROL POINTS, PERMANENT BENCH MARKS AND PROPERTY CORNERS. IN THE EVENT THE MONUMENTS, POINTS OR MARKERS ARE DISTURBED THE CONTRACTOR SHALL EMPLOY A FLORIDA REGISTERED LAND SURVEYOR TO RESET OR REPLACE THEM.
13. THE OWNER, OWNER'S AGENT AND INSPECTORS OF APPLICABLE GOVERNMENT JURISDICTIONS, SHALL AT ALL TIMES HAVE ACCESS TO THE WORK WHEREVER AND WHENEVER IT IS IN PREPARATION OR PROGRESS; AND THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS AND FOR THE INSPECTION.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL REASONABLE AND PRUDENT PRECAUTIONS TO INSURE THAT ALL COMPLETED WORK, MATERIALS AND EQUIPMENT STORED ON SITE ARE SAFE AND SECURED FROM UNAUTHORIZED ACCESS OR USE. SUCH PRECAUTIONS MAY INCLUDE INSTALLATION OF SIGNS, FENCES, OR POSTING OF SECURITY GUARDS.
15. CONTRACTOR SHALL, AT ALL TIMES, UTILIZE ALL NORMALLY ACCEPTED AND REASONABLY EXPECTED SAFETY PRACTICES AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND GUIDELINES PERTAINING TO SAFE UTILIZATION OF EQUIPMENT OR MATERIALS AS PUBLISHED BY MANUFACTURER.
16. PRIOR TO INITIATING ANY EXCAVATION (INCLUDING BUT NOT LIMITED TO TUNNELS, DITCHES, STORM WATER PONDS, CANALS, ARTIFICIAL LAKES) CONTRACTOR SHALL INSTALL FENCES AND TAKE ALL OTHER REASONABLE AND PRUDENT STEPS TO INSURE THAT ACCESS TO EXCAVATION BY UNAUTHORIZED PERSONNEL IS PREVENTED.
17. CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE PROVISIONS OF THE FLORIDA STATE TRENCH SAFETY ACT.
18. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO:
- A. ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY;

B. ALL THE WORK AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE, UNDER THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR ANY OF ITS SUBCONTRACTORS;

C. OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS, ROADWAY, STRUCTURES AND UTILITIES NOT DESIGNATED FOR DEMOLITION IN THE COURSE OF CONSTRUCTION.

19. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY CODES AND WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC, QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THEIR PROTECTION AGAINST DAMAGE, INJURY OR LOSS, OR DESIGNED TO PROTECT THE ENVIRONMENT. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES OF THE EXISTENCE OF HAZARDS AND OF THE SAFETY REGULATIONS.
20. ALL DAMAGE OR LOSS TO ANY PROPERTY REFERRED TO IN CLAUSES 17.1(B) AND 17.1(C) CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR BY ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SHALL BE REMEDIED BY THE CONTRACTOR, EXCEPT DAMAGE OR LOSS PROPERLY ATTRIBUTABLE SOLELY TO THE ACTS OR OMISSIONS OF THE OWNER, OR THE ENGINEER OR ANYONE EMPLOYED BY THEM, OR FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, AND NOT PROPERLY ATTRIBUTABLE IN WHOLE OR IN PART, TO THE FAULT OR NEGLIGENCE OF THE CONTRACTOR.
21. UNTIL FINAL ACCEPTANCE OF THE WORK BY OWNER, THE CONTRACTOR SHALL HAVE THE CHARGE AND CARE OF AND SHALL BEAR THE RISK OF INJURY OR DAMAGE, LOSS OR EXPENSE TO ANY PART THEREOF, OR TO ANY MATERIALS STORED ON SITE, BY THE ACTION OF THE ELEMENTS OR FROM ANY OTHER CAUSE WHETHER ARISING FROM THE EXECUTION OR NON-EXECUTION OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD ALL INJURIES OR DAMAGES TO ANY PORTION OF THE WORK OCCASIONED BY ANY OF THE ABOVE CAUSES BEFORE FINAL ACCEPTANCE AND SHALL BEAR THE EXPENSES THEREOF.
22. THE CONTRACTOR SHALL NOT LOAD OR PERMIT ANY PART OF THE WORK TO BE LOADED SO AS TO ENDANGER ITS SAFETY. NO LOAD SHALL BE PLACED ON A ROOF WITHOUT THE APPROVAL OF THE OWNER OR ENGINEER.
23. THOSE PARTS OF WORK IN PLACE WHICH ARE SUBJECT TO DAMAGE BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
24. PERMANENT OPENINGS USED AS THOROUGHFARES FOR THE INTRODUCTION OF WORK AND MATERIALS TO THE STRUCTURE SHALL HAVE HEADS, JAMBS AND SILLS WELL BLOCKED AND BOARDED BY THE CONTRACTOR. OWNER RETAINS THE AUTHORITY, BUT ASSUMES NO DUTY, TO ESTABLISH STANDARDS OF PROTECTION, AND TO REVIEW THE EFFICIENCY OF PROTECTIVE MEASURES TAKEN BY THE CONTRACTOR.
25. MAINTENANCE OF TRAFFIC IS TO BE PROVIDED BY CONTRACTOR.
26. THE CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ACT OF 1970 AND ALL RULES AND REGULATIONS NOW OR HEREAFTER IN EFFECT UNDER SAID ACT, AND THE CONTRACTOR FURTHER AGREES TO COMPLY WITH ANY AND ALL APPLICABLE STATE LAWS AND REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH.
27. THE CONTRACTOR SHALL PROTECT AND KEEP OWNER (INCLUDING THEIR AGENTS AND EMPLOYEES) FREE AND HARMLESS FROM ANY AND ALL LIABILITY, PUBLIC OR PRIVATE, PENALTIES, CONTRACTUAL OR OTHERWISE, LOSSES, DAMAGES, COSTS, ATTORNEY'S FEES, EXPENSES, CAUSES OF ACTION, CLAIMS OR JUDGMENTS RESULTING FROM THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AS AMENDED OR ANY RULE OR REGULATION PROMULGATED THEREUNDER OR OF ANY STATE LAWS OR REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, AND CONTRACTOR SHALL INDEMNIFY OWNER FROM ANY SUCH CLAIMS, PENALTIES, SUITS OR ACTIONS, PUBLIC OR PRIVATE, ADMINISTRATIVE OR JUDICIAL, INCLUDING ATTORNEY'S FEES PAID OR INCURRED BY OR ON BEHALF OF OWNER, JOINTLY OR SEVERALLY, AND/OR THEIR AGENTS AND EMPLOYEES. THE CONTRACTOR FURTHER AGREES, IN THE EVENT OF A CLAIMED VIOLATION OF ANY FEDERAL OR STATE SAFETY AND HEALTH LAW OR REGULATION ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, OWNER MAY IMMEDIATELY TAKE WHATEVER ACTION IS DEEMED NECESSARY BY OWNER TO REMEDY THE CLAIMED VIOLATION. ANY AND ALL COSTS OR EXPENSES PAID OR INCURRED BY OWNER IN TAKING SUCH ACTION SHALL BE BORNE BY CONTRACTOR, AND CONTRACTOR AGREES TO PROTECT, HOLD HARMLESS AND INDEMNIFY OWNER AGAINST ANY AND ALL SUCH COSTS OR EXPENSES.
28. ALL WORK PERFORMED UNDER THE CONTRACT, AND ALL EQUIPMENT, APPLIANCES, TOOLS AND LIKE ITEMS USED IN THE WORK SHALL CONFORM TO APPLICABLE SAFETY CODES AND REGULATIONS OF ANY PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION. IN THE EVENT OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT INTERPRETATION OR REGULATION SHALL GOVERN.
29. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT AN EROSION CONTROL PLAN TO MINIMIZE EROSION AND INSURE FUNCTIONING OF STORMWATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION.
30. CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL HAZARDOUS MATERIALS (AS DEFINED PARAGRAPH20.8) IN COMPLIANCE WITH ALL PRESENT FEDERAL, STATE AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAW, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW.
31. CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIAL CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.
32. CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS CONTRACT, REMOVE ALL SUPPLIES, MATERIALS, AND WASTE CONTAINING AND HAZARDOUS MATERIAL FROM THE JOB SITE. CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY, AS BETWEEN THE PARTIES OF

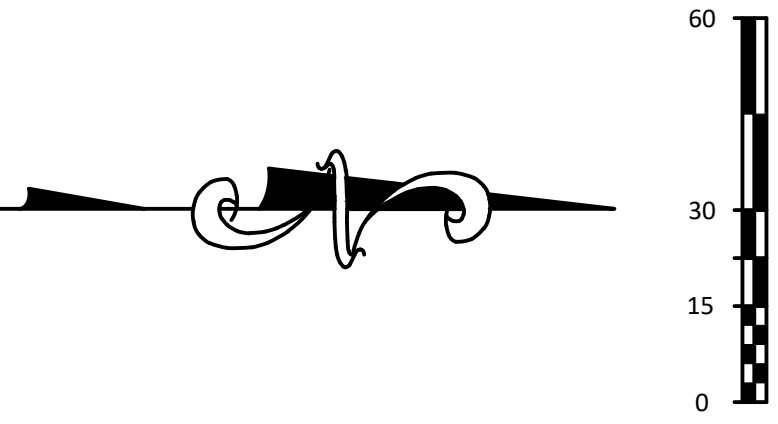
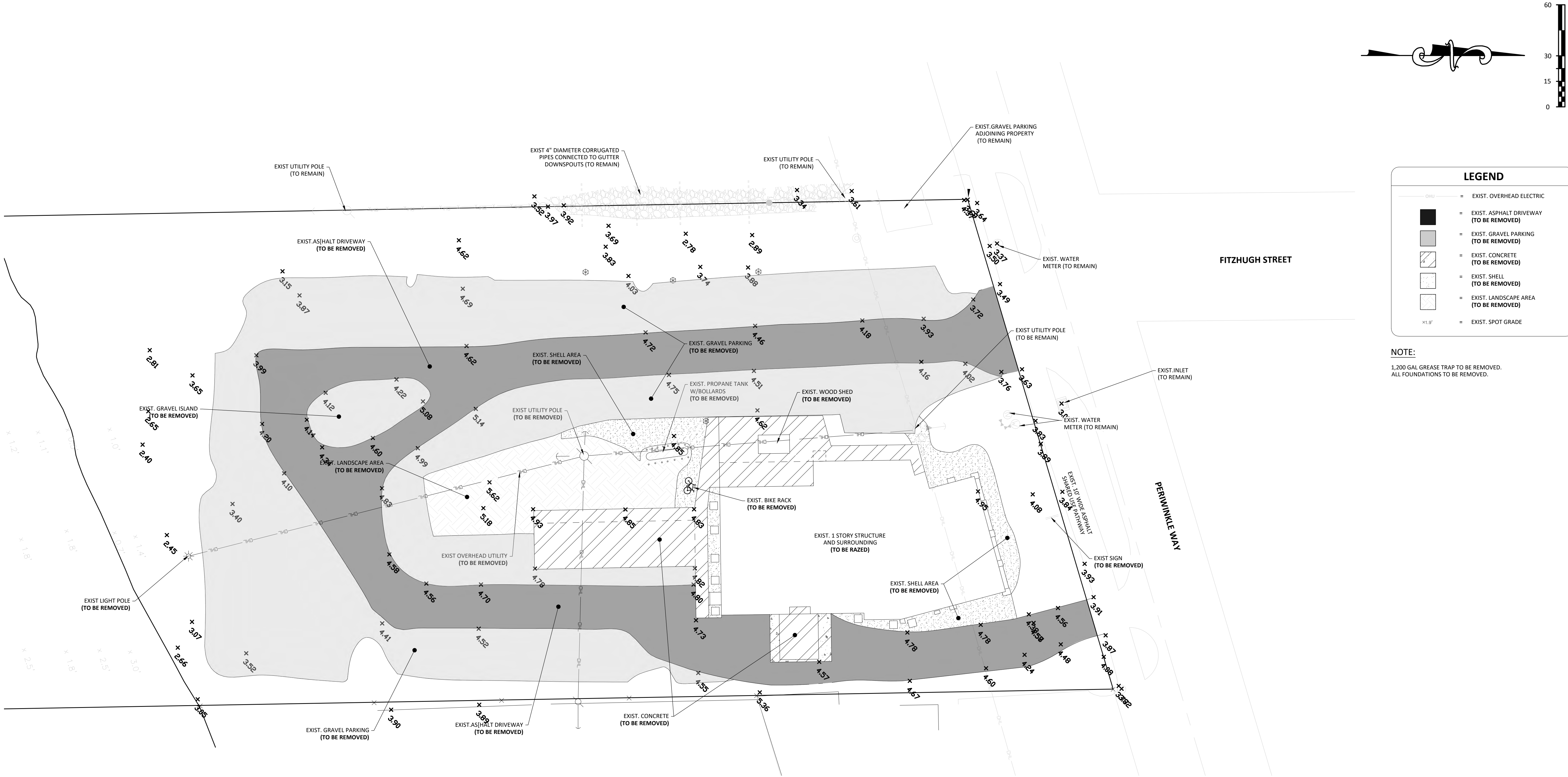
THIS CONTRACT, FOR THE COMPLIANCE OF CONTRACTOR AND ITS SUBCONTRACTORS WITH THE PROVISIONS OF PARAGRAPH 21.7.

33. CONTRACTOR AGREES TO INDEMNIFY, DEFEND, PROTECT AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY CLAIMS INCLUDING, WITHOUT LIMITATION, ACTUAL ATTORNEY'S FEES AND ANY COSTS OF INVESTIGATION, SOILS TESTING, GOVERNMENTAL APPROVALS, REMEDIATION AND CLEANUP ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE FAILURE OF CONTRACTOR OR ITS SUBCONTRACTORS, OR THEIR AGENTS, EMPLOYEES, OFFICERS, OR REPRESENTATIVES, TO COMPLY WITH THE TERMS OF THIS ARTICLE 21.
34. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSE OF ANY HAZARDOUS MATERIAL ON OR ABOUT THE JOB SITE IN VIOLATION OF THIS PARAGRAPH, CONTRACTOR SHALL IMMEDIATELY SO INFORM OWNER IN WRITING. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.
35. IN THE EVENT CONTRACTOR OR ITS SUBCONTRACTORS ENCOUNTER ON THE PREMISES ANY PIPELINE, UNDERGROUND STORAGE TANK OR OTHER CONTAINER, OF ANY KIND, THAT MAY CONTAIN A HAZARDOUS MATERIAL, OR ENCOUNTER MATERIAL REASONABLY BELIEVED TO BE A HAZARDOUS MATERIAL, CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO OWNER IN WRITING.
36. IF CONTRACTOR OR ITS SUBCONTRACTORS DO NOT COMPLY WITH THE REQUIREMENTS OF THIS PARAGRAPH, OWNER MAY, BUT IS NOT OBLIGATED TO, GIVE WRITTEN NOTICE OF VIOLATION TO CONTRACTOR. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS FAIL TO COMPLY WITH THE REQUIREMENTS OF THE PARAGRAPH WITHIN TWENTY-FOUR (24) HOURS FROM THE TIME OWNER ISSUES SUCH WRITTEN NOTICE OF NONCOMPLIANCE OR WITHIN THE TIME OF AN ABATEMENT PERIOD SPECIFIED BY ANY GOVERNMENTAL AGENCY, WHICHEVER PERIOD IS SHORTER, CONTRACTOR SHALL BE IN MATERIAL DEFAULT OF THIS CONTRACT.
37. "HAZARDOUS MATERIAL" MEANS ANY SUBSTANCE: (A) THE PRESENCE OF WHICH REQUIRES INVESTIGATION OR REMEDIATION UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, ORDINANCE, RULE, CODE, ORDER, ACTION, POLICY OR COMMON LAW, OR (B) WHICH IS OR BECOMES DEFINED AS A "HAZARDOUS WASTE," "HAZARDOUS SUBSTANCE," POLLUTANT OR CONTAMINANT UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, RULE OR ORDINANCE OR AMENDMENTS THERETO INCLUDING, WITHOUT LIMITATION, THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (42 U.S.C. SECTIONS 9601 ET SEQ.) AND/OR THE RESOURCE CONSERVATION AND RECOVERY ACT (42 U.S.C. SECTIONS 6901 ET SEQ.), OR (C) WHICH IS TOXIC, EXPLOSIVE, CORROSIVE, FLAMMABLE, INFECTIOUS, RADIOACTIVE, CARCINOGENIC, MUTAGENIC, OR OTHERWISE HAZARDOUS AND IS REGULATED BY ANY GOVERNMENTAL AUTHORITY, AGENCY, DEPARTMENT, COMMISSION, BOARD, AGENCY OR INSTRUMENTALITY OF THE UNITED STATES, THE STATE IN WHICH THE PREMISES ARE LOCATED OR ANY POLITICAL SUBDIVISION THEREOF, OR (D) THE PRESENCE OF WHICH ON THE PREMISES CAUSES OR THREATENS TO CAUSE A NUISANCE UPON THE PREMISES OR TO ADJACENT PROPERTIES OR POSES OR THREATENS TO POSE A HAZARD TO THE HEALTH OR SAFETY OF PERSONS ON OR ABOUT THE PREMISES, OR (E) WHICH CONTAINS GASOLINE, DIESEL FUEL OR OTHER PETROLEUM HYDROCARBONS, OR (F) WHICH CONTAINS POLYCHLORINATED BIPHENYLS (PCBS), ASBESTOS, LEAD OR UREA FORMALDEHYDE FOAM INSULATION.
38. THE EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AS TO SIZE, LOCATION, AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
39. ANY EXISTING LANDSCAPING TO BE PRESERVED UNLESS OTHERWISE NOTED IN LANDSCAPE PLANS.

			DESIGNED BY	SCF	OWNER / DEVELOPER: COMMUNITY HOUSING AND RESOURCES, INC. 2340 PERIWINKLE WAY, SUITE K-2 SANIBEL, FL 33957		CONSTRUCTION PLAN FOR RIVERVIEW II AT 1523 PERIWINKLE WAY	GENERAL NOTES		PROJECT NO.: 301.2501366.000
			DRAWN BY	SCF						DATE: JANUARY 2026
			CHECKED BY	SCF						SCALE: NA
			APPROVED BY	SCF						SHEET: C2.0
NO.	REVISIONS	DATE					CITY OF SANIBEL, LEE COUNTY, FLORIDA	DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE	Stephen C. Fehhaber, PE FtIroida P.E. No. 98609	

PERMIT SET

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LEGEND

— CHU —

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×1.9'

= EXIST. OVERHEAD ELECTRIC

= EXIST. ASPHALT DRIVEWAY
(TO BE REMOVED)

= EXIST. GRAVEL PARKING
(TO BE REMOVED)

= EXIST. CONCRETE
(TO BE REMOVED)

= EXIST. SHELL
(TO BE REMOVED)

= EXIST. LANDSCAPE AREA
(TO BE REMOVED)

= EXIST. SPOT GRADE

NOTE:
1,200 GAL GREASE TRAP TO BE REMOVED.
ALL FOUNDATIONS TO BE REMOVED.

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OWNER / DEVELOPER:
**COMMUNITY HOUSING AND
RESOURCES, INC.**
2340 PERIWINKLE WAY, SUITE K-2
SANIBEL, FL 33957



1715 Monroe Street, Suite 500 - Fort Myers, Florida 33901
Phone:239.206.5093 WWW.DRMP.COM

CONSTRUCTION PLAN FOR
**RIVerview II AT
1523 PERIWINKLE WAY**

CITY OF SANIBEL, LEE COUNTY, FLORIDA

**EXISTING CONDITIONS
AND DEMOLITION PLAN**

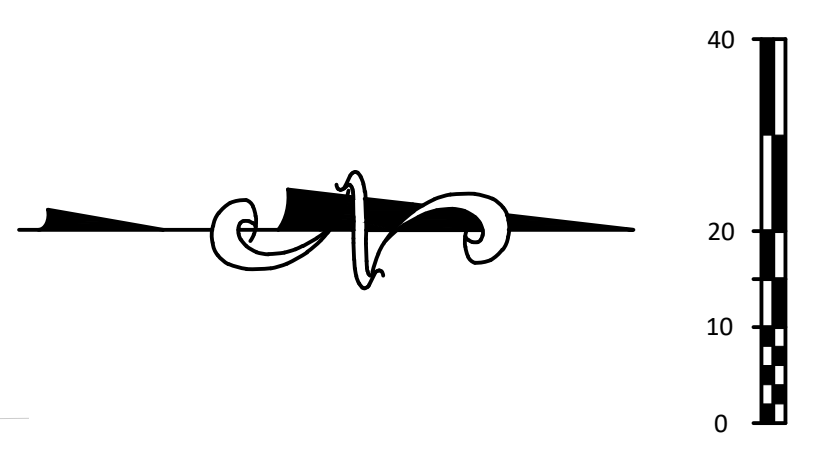
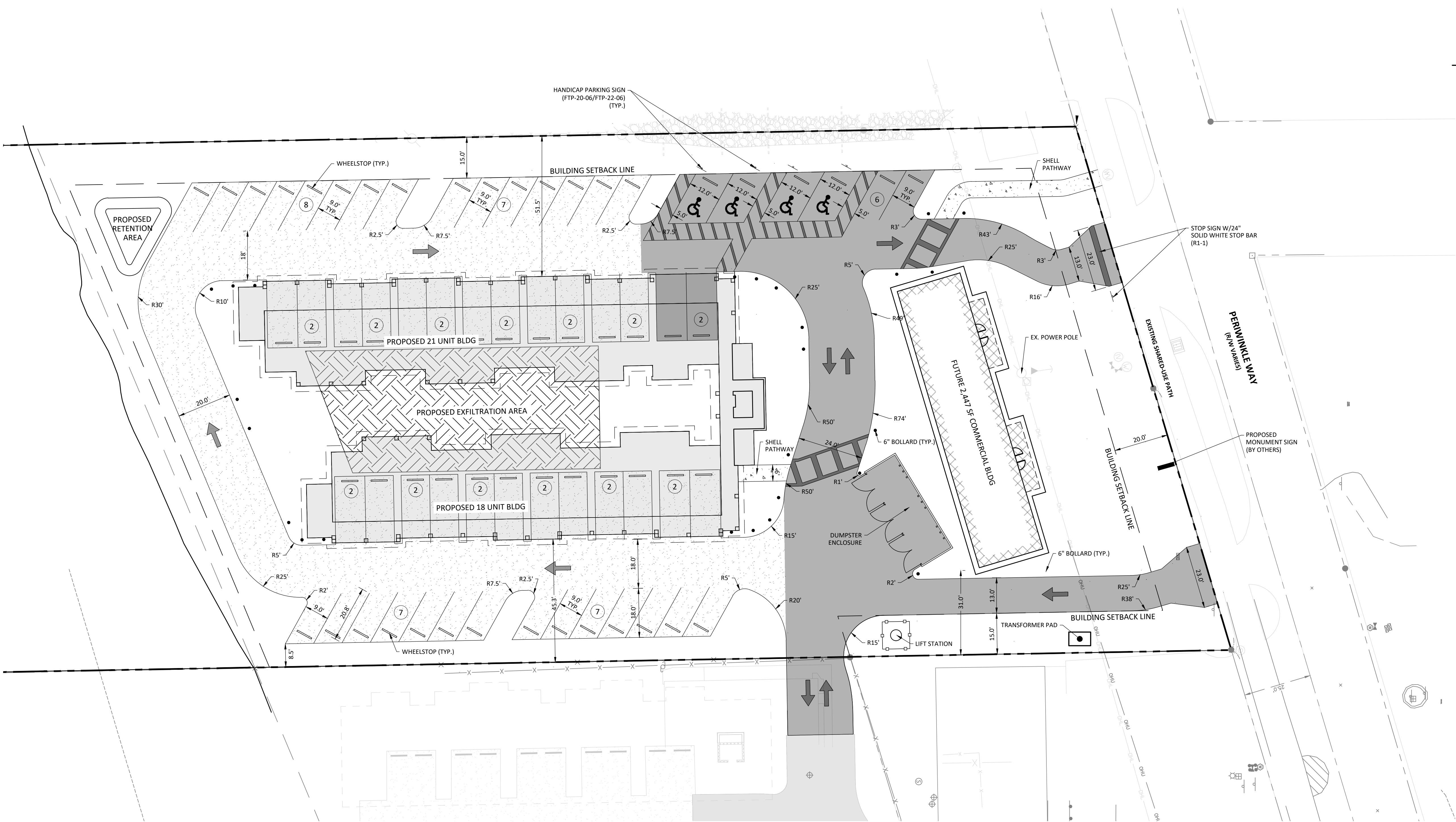
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Stephen C. Fehlbauer, PE
Florida P.E. No. 98609

PROJECT NO:	301.2501366.000
DATE:	JANUARY 2026
SCALE:	1" = 30'
SHEET:	C3.0

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LEGEND	
	= PROPOSED BUILDING
	= PROPOSED ASPHALT PAVEMENT
	= PARKING COUNT
	= FUTURE BUILDING

PARKING		
TYPE	REQUIRED	PROVIDED
MULTIFAMILY DEVELOPMENT, AND UNIFIED CLUSTER HOUSING, INCLUDING RESORT HOUSING USE (39 UNITS)	1.25 FOR EACH DWELLING UNIT (49 SPACES)	61 SPACES (57 STANDARD, 4 ACCESSIBLE)
ACCESSIBLE PARKING SPACES	51 TO 75 SPACES = 3 TOTAL	4 TOTAL

RESIDENTIAL DENSITY	
REQUIRED	PROVIDED
4.0 DWELLING UNITS/ACRE 2.2 DWELLING UNITS/ACRE	14.9 DWELLING UNITS/ACRE
4.0 DU/AC X 1.66 AC = 6.64 DU 2.2 DU/AC X 0.96 AC = 2.11 DU	
6.64 DU + 2.11 DU = 8.75 (9) DU	39 DWELLING UNITS

SITE AREA	
DESCRIPTION	AREA
LOT AREA (TOTAL)	114,285 SF
LOT AREA (GEN. COMM. DIST.)	71,375 SF
PROP. DISTURBED AREA	71,375 SF
PROP. DEVELOPED AREA ¹	34,952 SF
PROP. IMPERMEABLE COVER ²	35,142 SF
IWCD	42,920 SF
TOTAL PARCEL	2.62 AC

1) EXCLUDES INTER-CONNECTIVITY PATH AND INTRA-CONNECTIVITY DRIVEWAY PURSUANT TO SEC. 126-855

2) EXCLUDES INTRA-CONNECTIVITY DRIVEWAY PURSUANT TO SEC. 126-855

*CALCULATED BY BUILDING + IMPERVIOUS + HALF SEMI-PERVIOUS

COMMERCIAL BLDG:	3,379 SF
MULTIFAMILY BLDG:	12,311 SF
ASPHALT:	11,185 SF
STONE DRIVE/PARKING:	14,787 SF
*50%:	7,394 SF
DUMPSTER ENCL.:	682 SF
TOTAL DEVELOPED AREA:	34,952 SF

VEGETATION AREA:	35,761 SF
INTRA-CONNECTIVITY DRIVE:	282 SF
INTER-CONNECTIVITY PATH:	380 SF
*50%:	190 SF

INCLUDING IWCD AREA: 35,142/114,285 = 0.307 = 30.7%

EXCLUDING IWCD AREA: 35,142/71,375 = 0.492 = 49.2%

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2340 PERIWINKLE WAY, SUITE K-2

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CONSTRUCTION PLAN FOR

RIVERVIEW II AT 1523 PERIWINKLE WAY

CITY OF SANIBEL, LEE COUNTY, FLORIDA

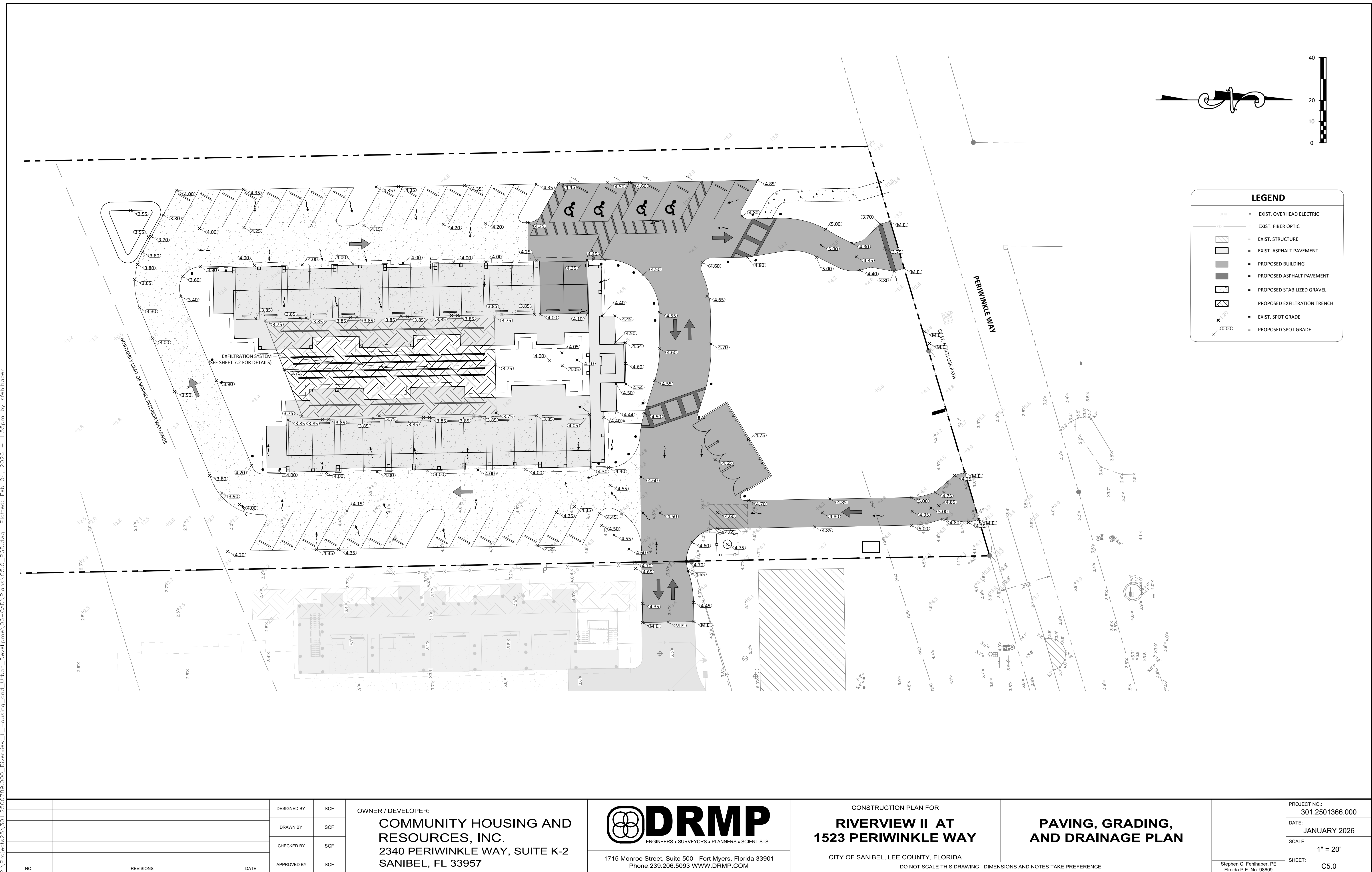
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SITE PLAN

Stephen C. Fehlbauer, PE
Florida P.E. No. 98609

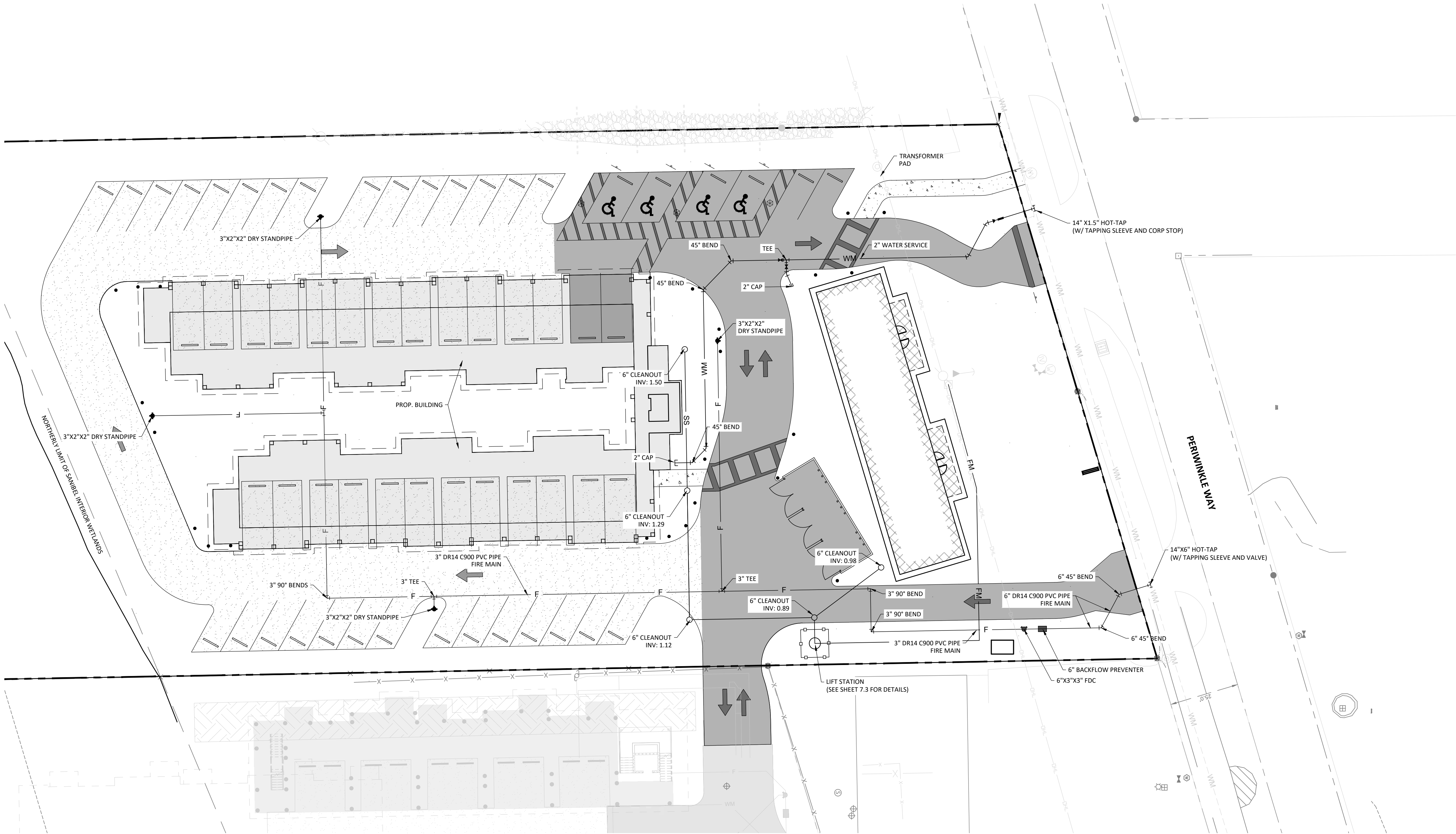
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DATE:	JANUARY 2026
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LEGEND

= EXIST. OVERHEAD ELECTRIC

= EXIST. FIBER OPTIC

= PROPOSED WATER MAIN

= PROPOSED FIRE MAIN

= PROPOSED GRAVITY SEWER

= PROPOSED FORCE MAIN

= EXIST. STRUCTURE

= PROPOSED BUILDING

= DEMO

NOTE:

14"X6" STAINLESS STEEL TAPPING SADDLE SHALL HAVE A MUELLER GATE VALVE THAT MEETS IWA CONSTRUCTION SPECIFICATION INSTALLED. ASSEMBLY MUST BE PRESSURE TESTED AND WITNESSED BY IWA PRIOR TO HOT-TAPPING. PRE-CAST CONCRETE PAD SHALL BE INSTALLED AROUND VALVE BOX.

14"X1.5" STAINLESS STEEL TAPPING SADDLE SHALL HAVE A BRASS CORPORATION STOP INSTALLED. A 3" PVC CASING IS REQUIRED SHOULD CTS POLY TUBE BE USED.

SERVICE TAPS SHALL BE A MINIMUM OF 3 FEET APART.

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2340 PERIWINKLE WAY, SUITE K-2

SANIBEL, FL 33957



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CONSTRUCTION PLAN FOR

RIVERVIEW II AT

1523 PERIWINKLE WAY

CITY OF SANIBEL, LEE COUNTY, FLORIDA

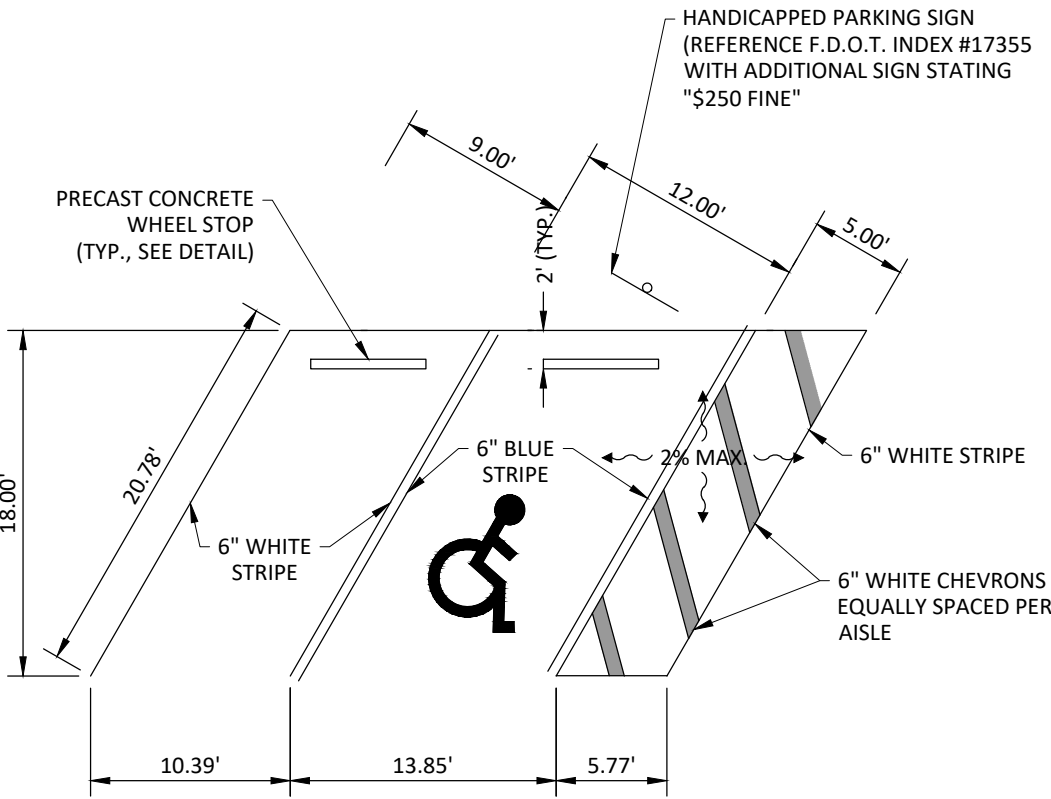
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UTILITY PLAN

Stephen C. Felhaber, PE
Florida P.E. No. 98609

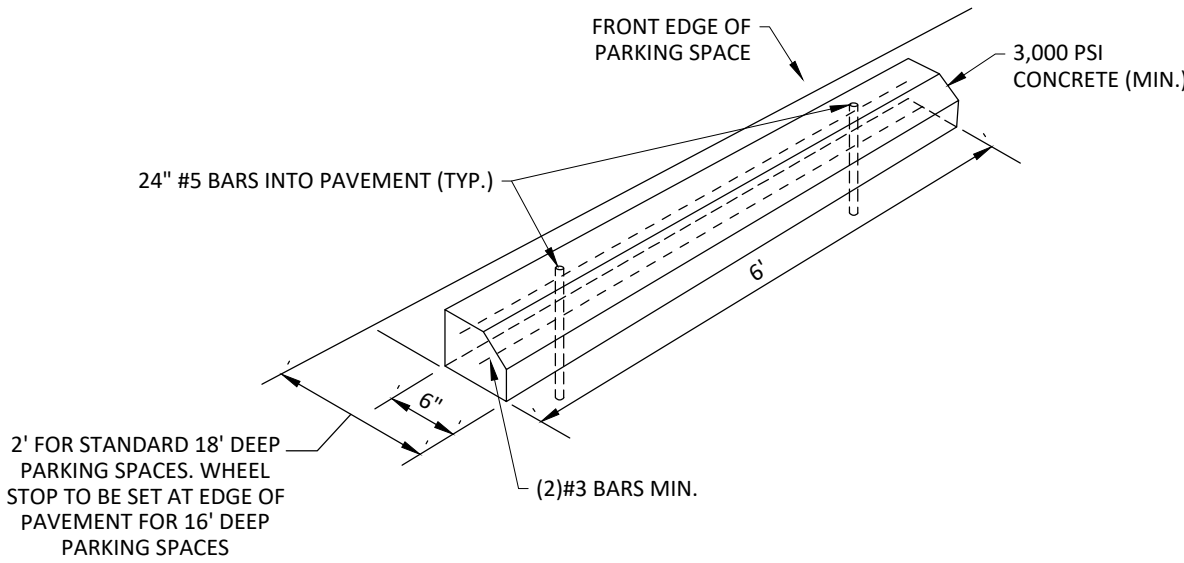
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DATE:	JANUARY 2026
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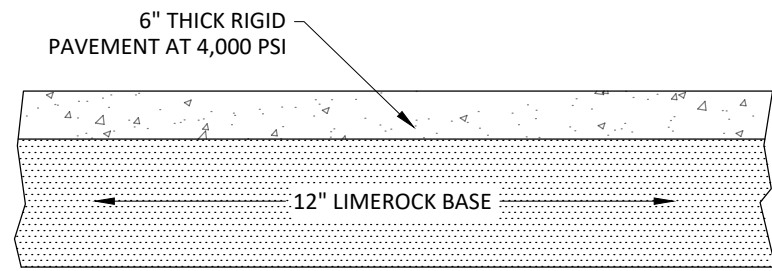


- NOTES:**
1. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS PER ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 4.6.

PARKING SPACE DETAIL
NTS

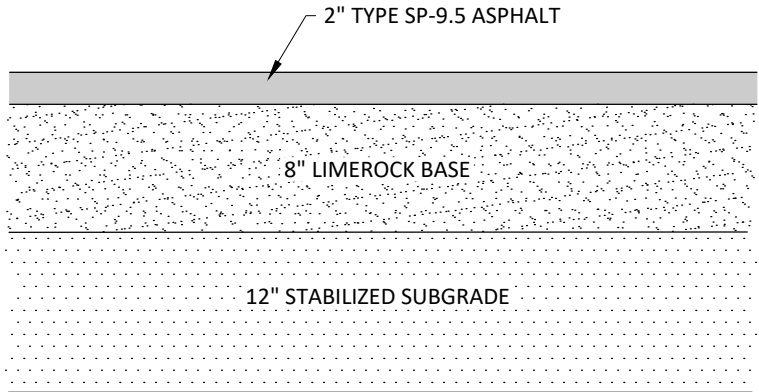


WHEEL STOP DETAIL
NTS



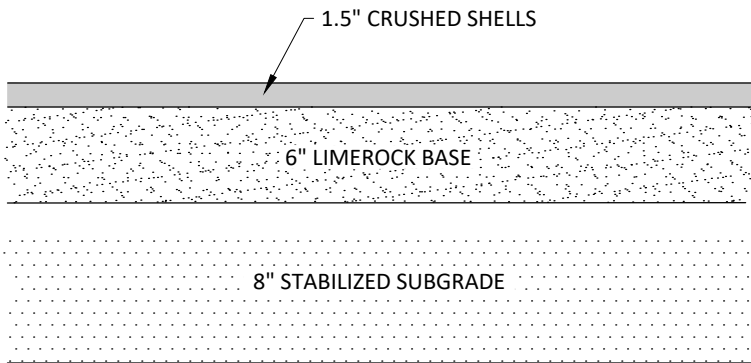
- NOTES:**
1. 12" LIMEROCK BASE, PRIMED AND COMPACTED TO 98% OF MAX. DENSITY (DETERMINED BY AASHTO T-180).
 2. WHEN NO CURB IS PROPOSED LIMEROCK TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT.

TYPICAL RIGID PAVEMENT SECTION
NTS



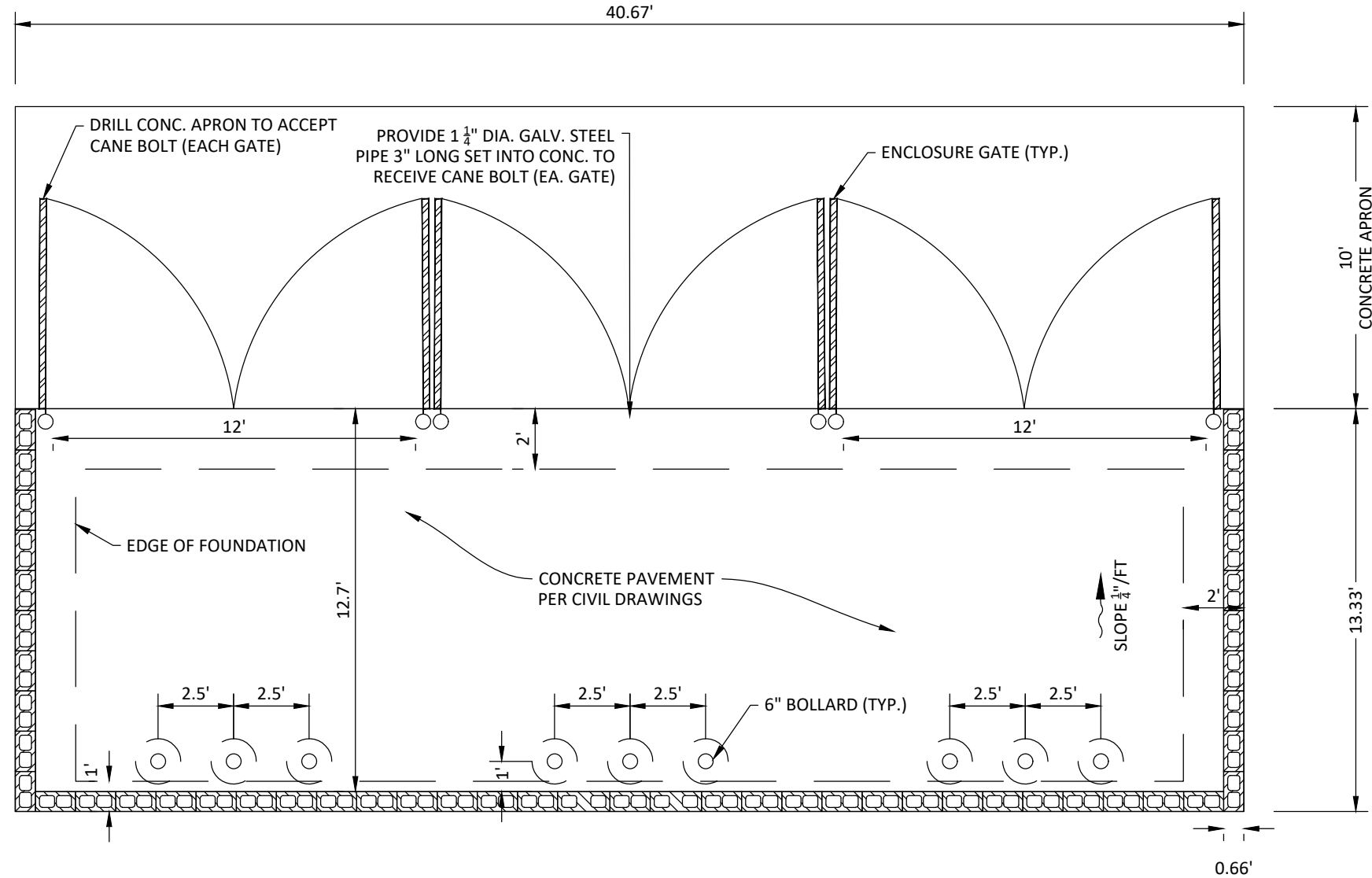
- NOTES:**
1. 8" LIMEROCK BASE, PRIMED AND COMPACTED TO 98% OF MAX. DENSITY (AASHTO T-180)
 2. 12" STABILIZED SUBGRADE (MIN. LBR 40).
 3. STABILIZED SUBGRADE TO EXTEND 12 INCHES BEYOND BACK OF CURB AND WHEN NO CURB IS PRESENT, LIMEROCK TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT.
 4. BID ALTERNATE FOR REPLACEMENT OF ASPHALT IN LIEU OF MILLING AND RESURFACING.

TYPICAL ASPHALT PAVEMENT SECTION
NTS



- NOTES:**
1. 8" LIMEROCK BASE, PRIMED AND COMPACTED TO 98% OF MAX. DENSITY (AASHTO T-180)
 2. 12" STABILIZED SUBGRADE (MIN. LBR 40).
 3. STABILIZED SUBGRADE TO EXTEND 12 INCHES BEYOND BACK OF CURB AND WHEN NO CURB IS PRESENT, LIMEROCK TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT.
 4. BID ALTERNATE FOR REPLACEMENT OF ASPHALT IN LIEU OF MILLING AND RESURFACING.

TYPICAL CRUSHED SHELLS SECTION
NTS



DUMPSTER ENCLOSURE DETAIL
NTS

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CONSTRUCTION PLAN FOR
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CITY OF SANIBEL, LEE COUNTY, FLORIDA

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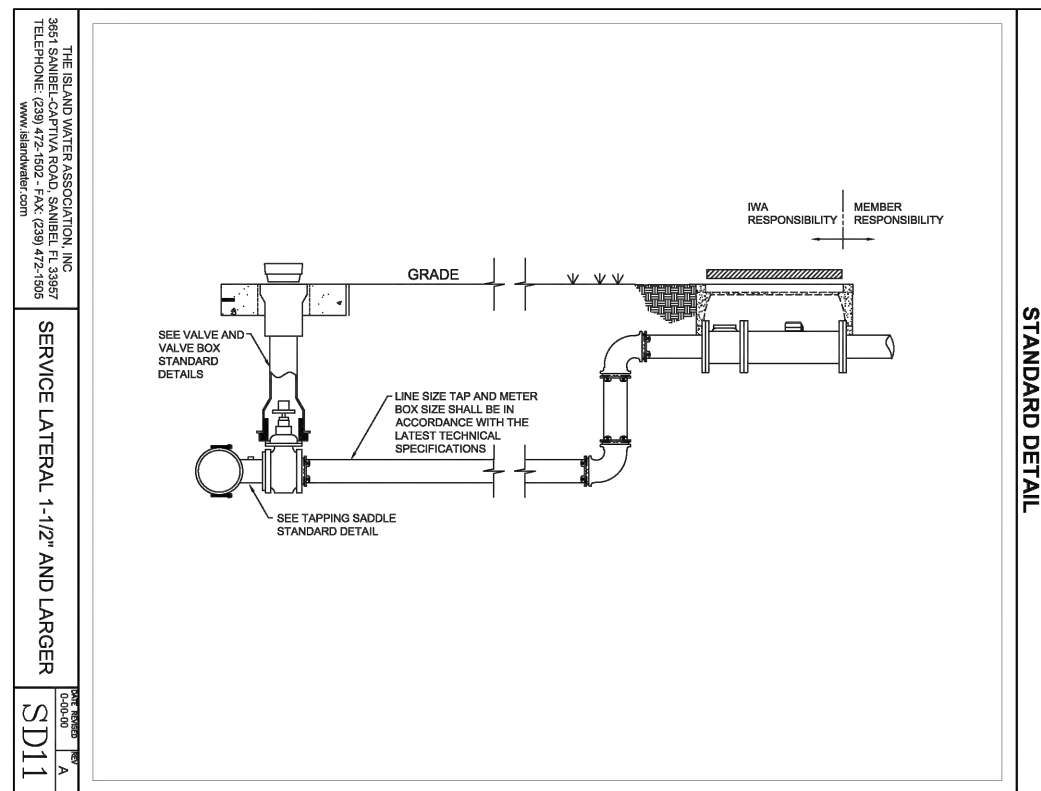
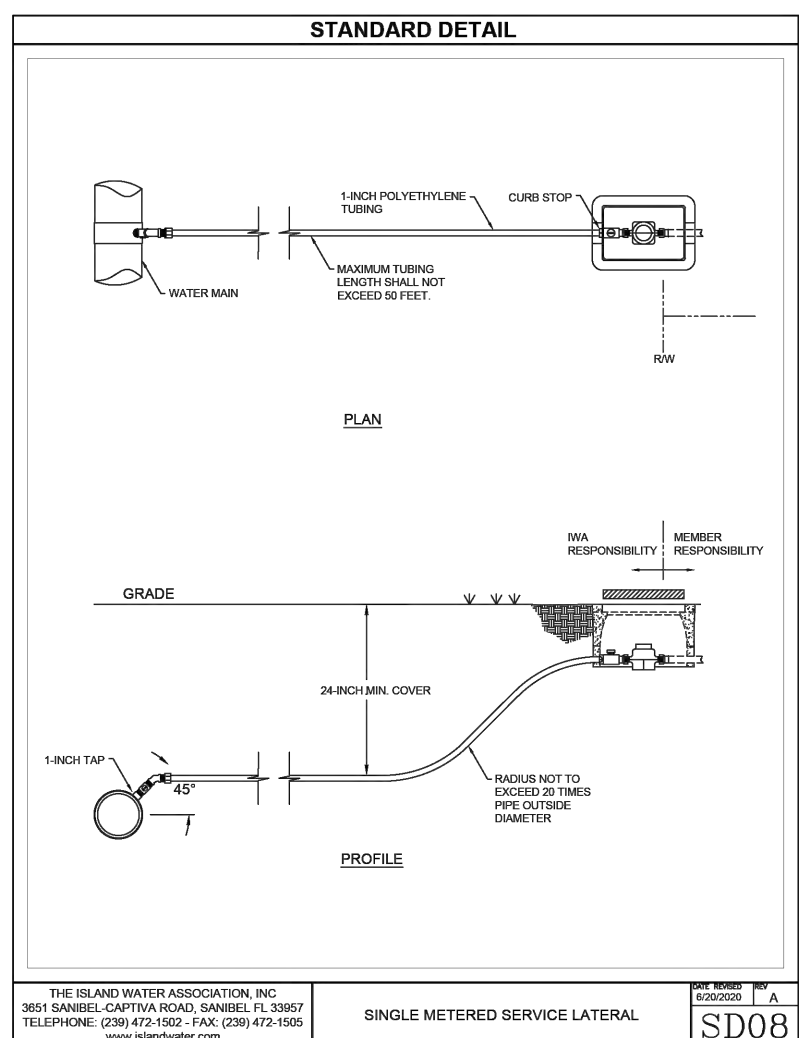
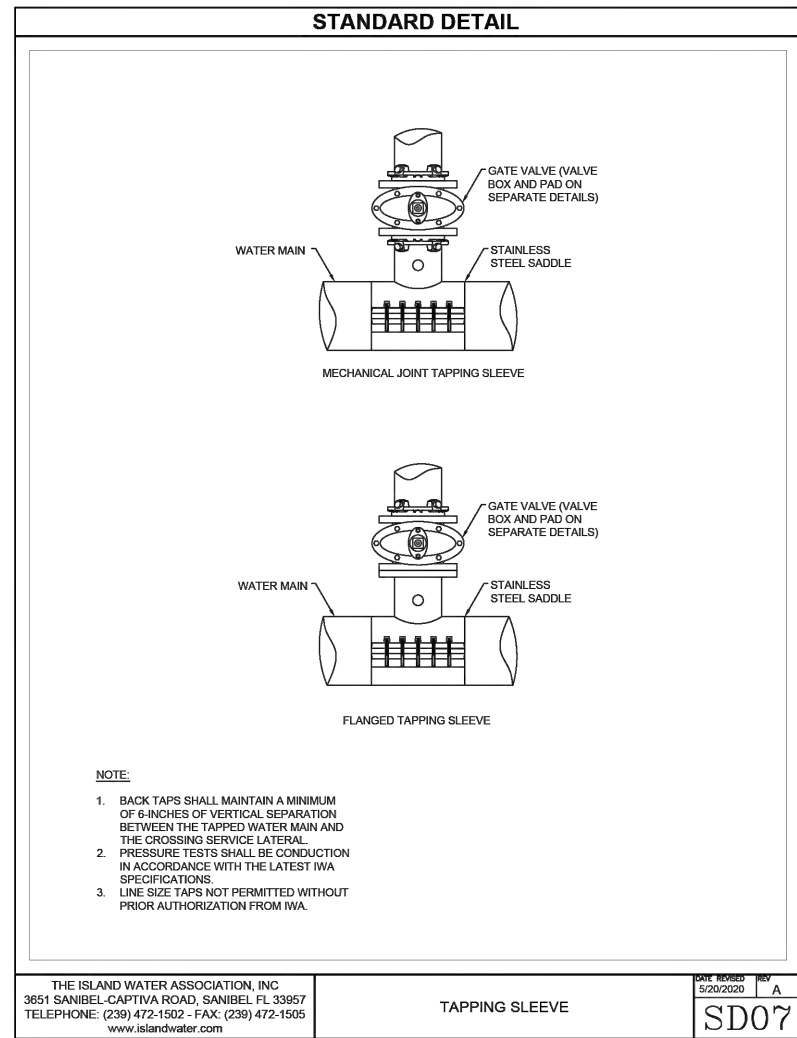
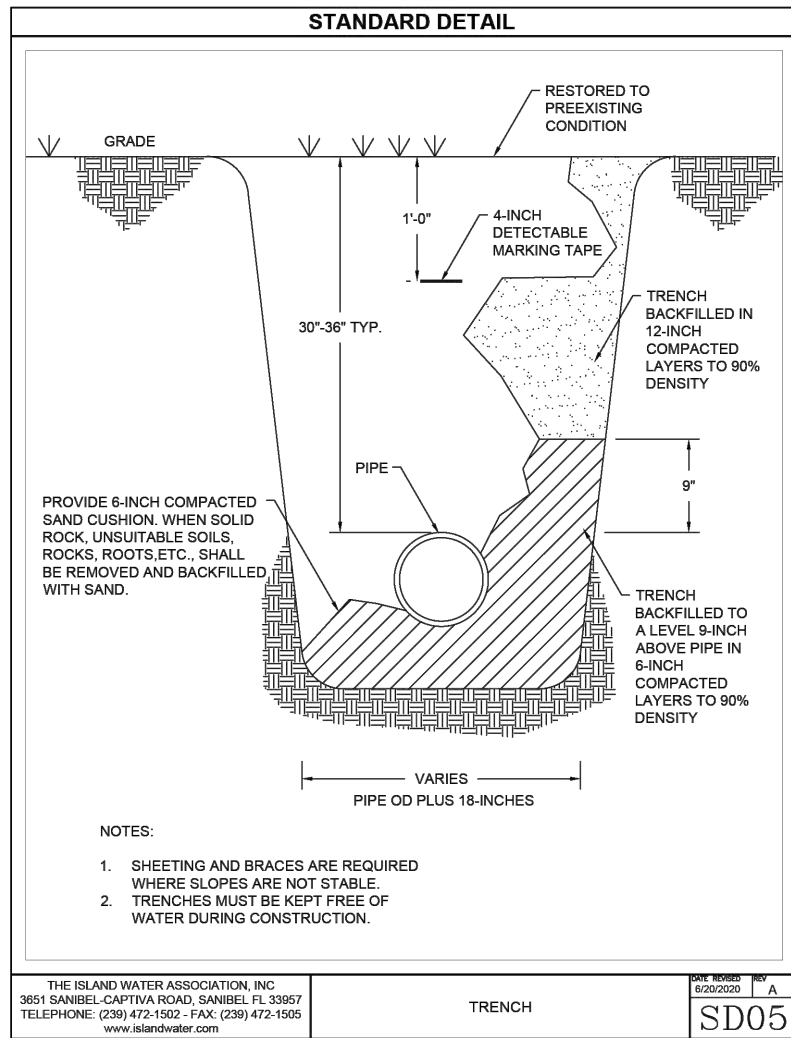
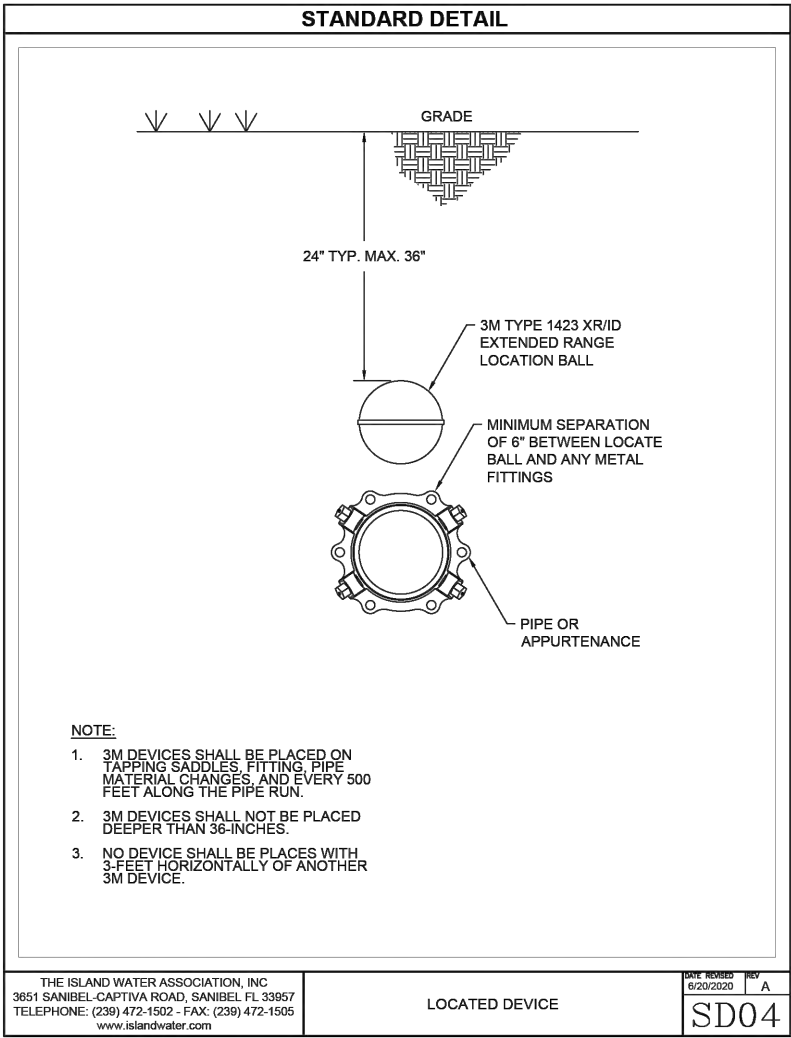
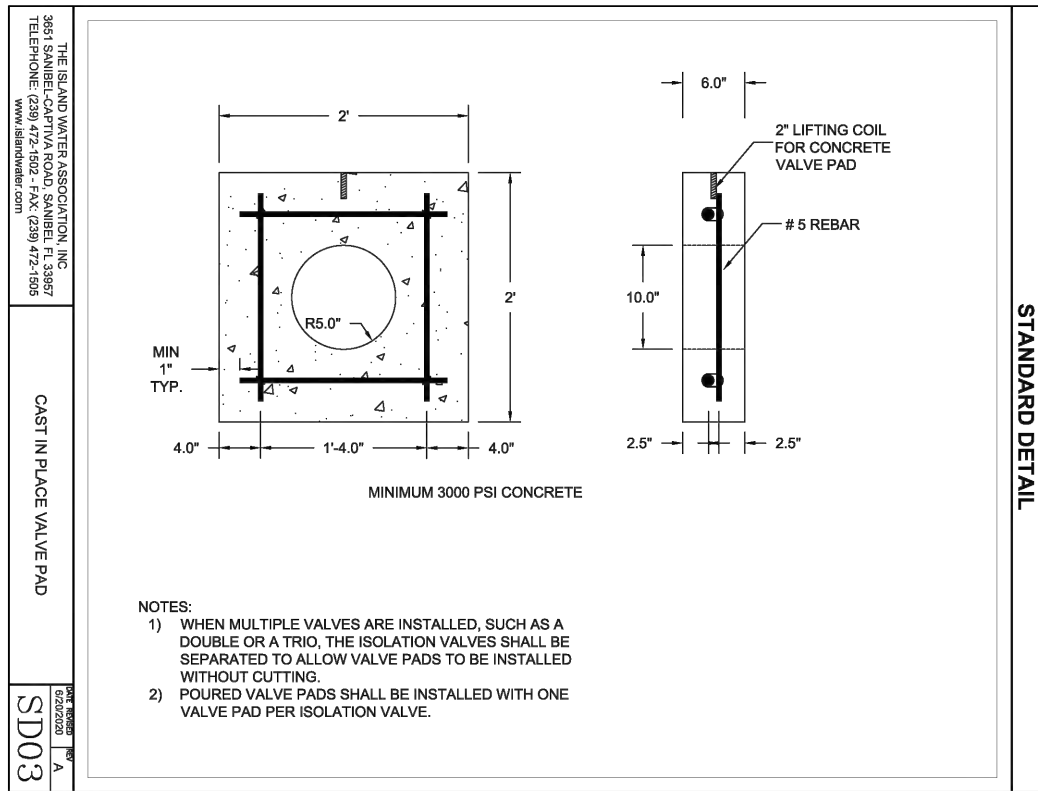
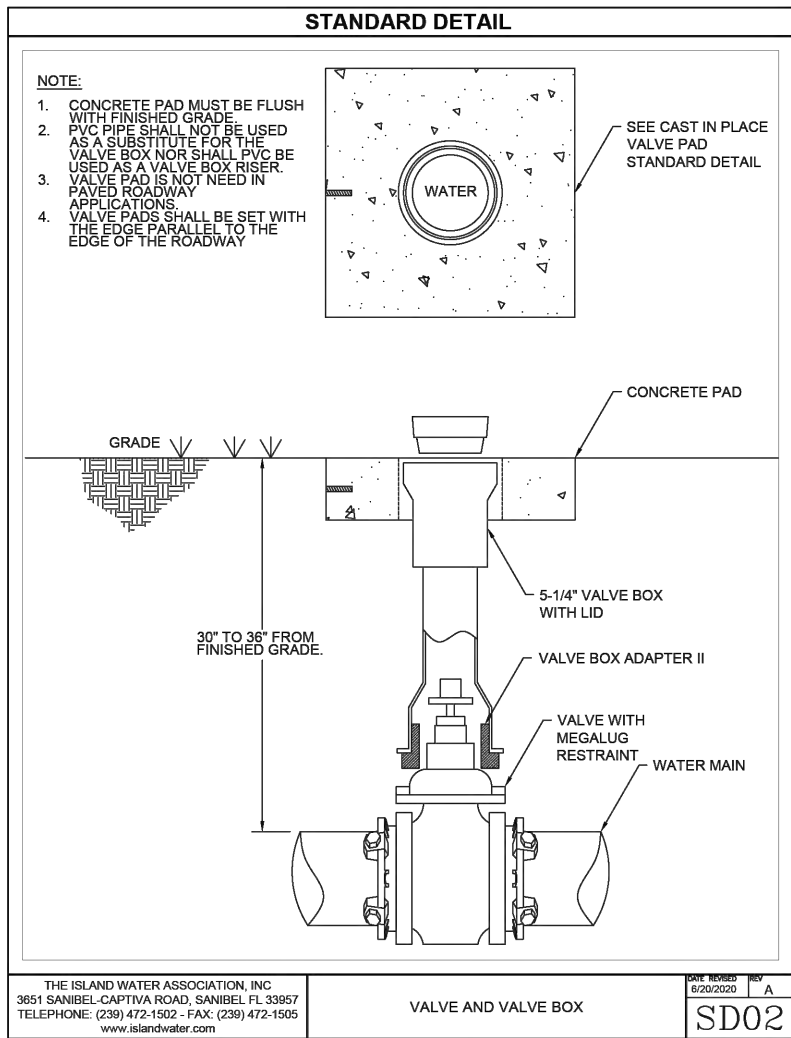
GENERAL DETAILS

Stephen C. Fehlihaber, PE
Florida P.E. No. 98609

PROJECT NO.:
301.2501366.000
DATE:
JANUARY 2026
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SHEET:
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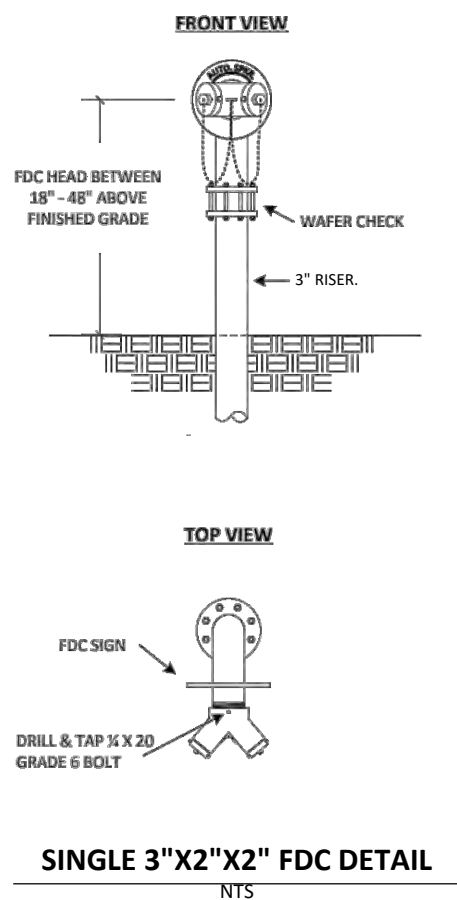
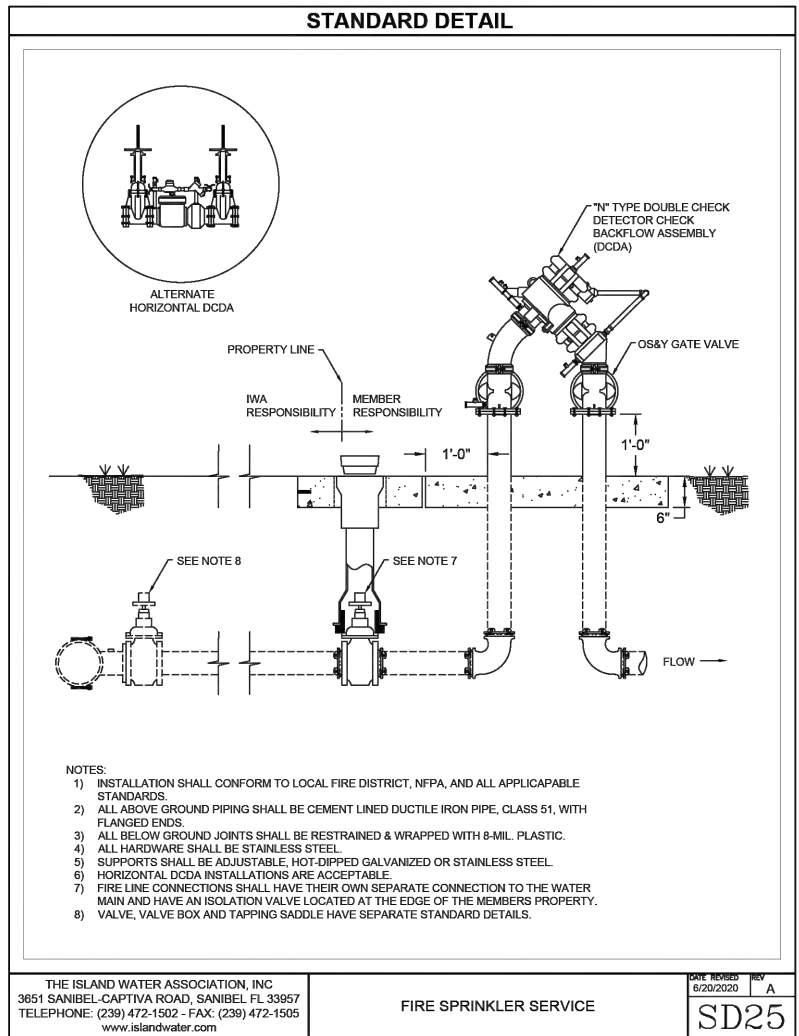
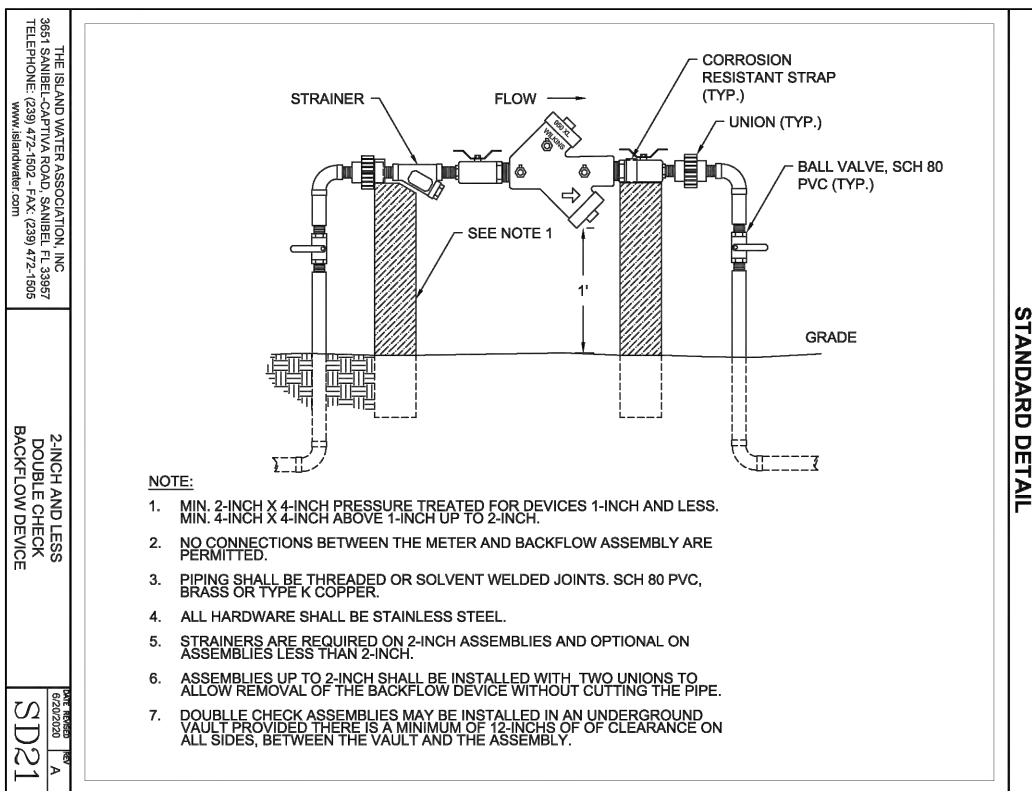
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STANDARD DETAIL									
Restrained Length in feet for Ductile Iron (poly wrapped)									
Size	90	Bend 45	22.5	11.25	Dead End	Tee			
4	24	10	5	3	69	1			
6	34	14	7	4	97	1			
8	43	18	9	5	126	10			
10	51	22	11	5	151	33			
12	60	25	12	6	177	58			
14	67	28	14	7	201	80			
16	75	31	15	8	225	104			
20	89	37	18	9	272	147			
Restrained Length in feet for PVC									
Size	90	Bend 45	22.5	11.25	Dead End	Tee			
4	21	9	5	2	45	1			
6	28	12	6	3	63	1			
8	37	16	8	4	83	7			
10	44	18	9	5	99	21			
12	51	21	11	5	116	36			
14	57	24	12	6	132	50			
16	64	27	13	7	149	65			
20	76	32	16	8	179	92			
Soil type -SP 1.5 safety factor trench type 3 30" cover 150 psi test pressure									
THE ISLAND WATER ASSOCIATION, INC. 3811 SANIBEL CAPITAN ROAD, SANIBEL, FL 33957 TELEPHONE: (239) 472-1502 • FAX: (239) 472-1505 www.islandwater.com									
EXTERNAL RESTRAINT SCHEDULE								SD15	

STANDARD DETAIL									
LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314									
Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings	Joint Spacing @ Crossings	Joint Spacing @ Crossings	Joint Spacing @ Crossings	Joint Spacing @ Crossings	Joint Spacing @ Crossings	Joint Spacing @ Crossings
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 5 ft. Minimum	Water Main 12 inches is the minimum except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum	Water Main	Water Main	Water Main	Water Main	Water Main	Water Main
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. Minimum	Water Main 12 inches is preferred 6 inches minimum	Alternate 3 ft. minimum	Water Main	Water Main	Water Main	Water Main	Water Main	Water Main
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. Minimum (3)	Water Main 12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum	Water Main	Water Main	Water Main	Water Main	Water Main	Water Main
Other Sewage Treatment & Disposal System	10 ft. Minimum	—	—	—	—	—	—	—	—
(1) Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches. (2) Reclaimed Water regulated under Part III of Chapter 62.610, F.A.C. (3) I.E. for gravity sanitary sewer where the bottom of the water main is laid at least 65 inches above the top of the gravity sanitary sewer. (4) Reclaimed water not regulated under Part III of Chapter 62.610, F.A.C. (5) Additional information under paragraph 3g of 62-556, F.A.C.									
Disclaimer - This document is for your convenience only. Please refer to F.A.C. Rule 62.555.314 for additional requirements									
THE ISLAND WATER ASSOCIATION, INC. 3811 SANIBEL CAPITAN ROAD, SANIBEL, FL 33957 TELEPHONE: (239) 472-1502 • FAX: (239) 472-1505 www.islandwater.com									
DOUBLE CHECK BACKFLOW DEVICE								SD21	

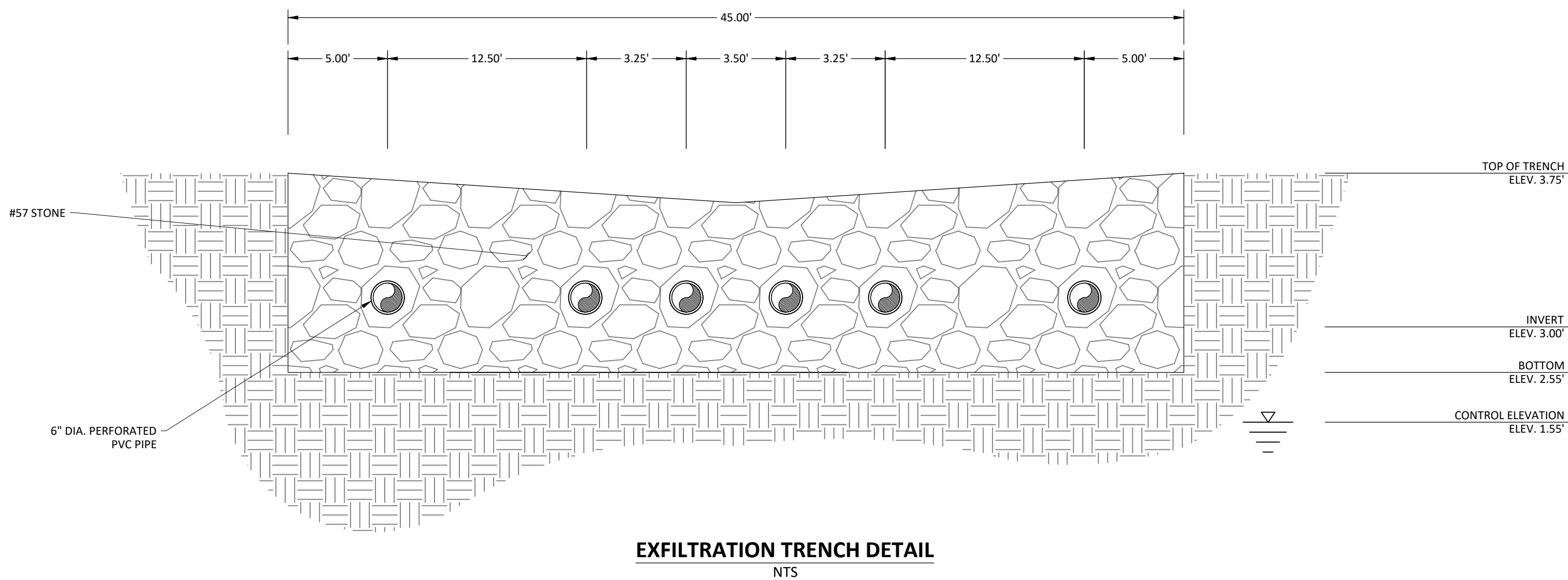


			DESIGNED BY	SCF	OWNER / DEVELOPER: COMMUNITY HOUSING AND RESOURCES, INC. 2340 PERIWINKLE WAY, SUITE K-2 SANIBEL, FL 33957	 DRMP ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS	CONSTRUCTION PLAN FOR RIVerview II AT 1523 PERIWINKLE WAY		UTILITY DETAILS		PROJECT NO.: 301.2501366.000
			DRAWN BY	SCF			CITY OF SANIBEL, LEE COUNTY, FLORIDA				
			CHECKED BY	SCF				DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE			
			APPROVED BY	SCF							
NO.	REVISIONS		DATE								

Stephen C. Fehhaber, PE
Florida P.E. No. 98609

PERMIT SET

P:\Projects\25\301.2500789.000-Riverview_II_Housing_and_Urban_Developme\06-CAD\Plans\C7.0-Detail\US.dwg Plotted: Jan 12, 2026 -- 11:59pm by stefhaber



Riverview II
RETENTION CALCULATIONS

DRAINAGE DATA

Basin Area	72332 sf
Net Impervious Area	13955 sf
Previous Disturbed Area	58655 sf
Average Site Grade (ft. NAVD)	4.10 ft (NAVD88)
Control Elevation (WWT ID, NAVD)	1.55 ft (NAVD88)
Average Depth to Water Table (ft)	2.55 ft
5-Year 1-hour Design Storm Event	2.80 in

ACCUMULATED DIRECT RUNOFF, Q

Accumulated Runoff	P =	2.80 inches
Soil Storage Values:		
- Impervious Available Soil Storage	S =	0.00 inches
- Permeable Disturbed Available Soil Storage	S =	5.36 inches
- Permeable Undisturbed Available Soil Storage	S =	4.71 inches

EQUATIONS

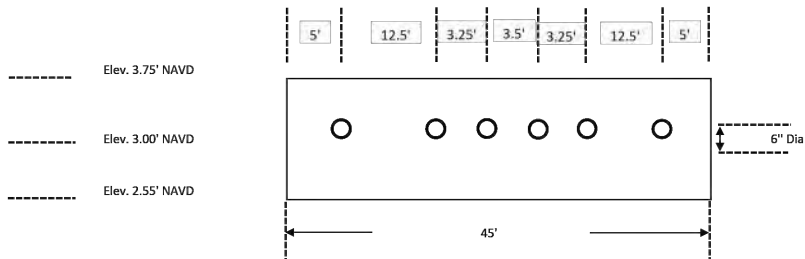
$Q = \frac{(P - 0.2(S))}{(P + 0.8(S))}$

$QA = \text{Area Runoff} \times \text{Volume} = Q \times \text{Area}$

RUNOFF CALCULATIONS

Impervious Surface	Q =	2.80
Q x A =		3256.1 cf
Permeable Disturbed Surface	Q =	0.77
Q x A =		3768.0 cf
Permeable Undisturbed Surface	Q =	0.53
Q x A =		0.0 cf
Required Retention Volume =		7024.1 cf
Is proposed storage acceptable?	Yes	

Proposed Retention Volume	
Trench Area	26,455 sf
Trench x Base Depth	6.8 ft
Trench Storage	5,379 cf
Stone Void Ratio	0.4
Trench Length	300 ft
Pipe Length	88.5 ft
Number of Pipes	5
Pipe Cross-sectional Area	0.382 sf
Trench Cross-sectional Area	23.328 sf
Trench Storage	2,020 cf
Detention Area (Bottom)	231 sf
Detention Area (Top)	540 sf
Detention Depth	1 ft
Detention Area Volume	388 cf
Total Available Storage	8,388 cf



P:\Projects\25\301.2500789.000-Riverview_II_Housing_and_Urban_Developme\06-CAD\Plans\C7.0-Detail\US.dwg
Tab: Retention Calc

1/12/2026
Page 1 of 1



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U. S. A.

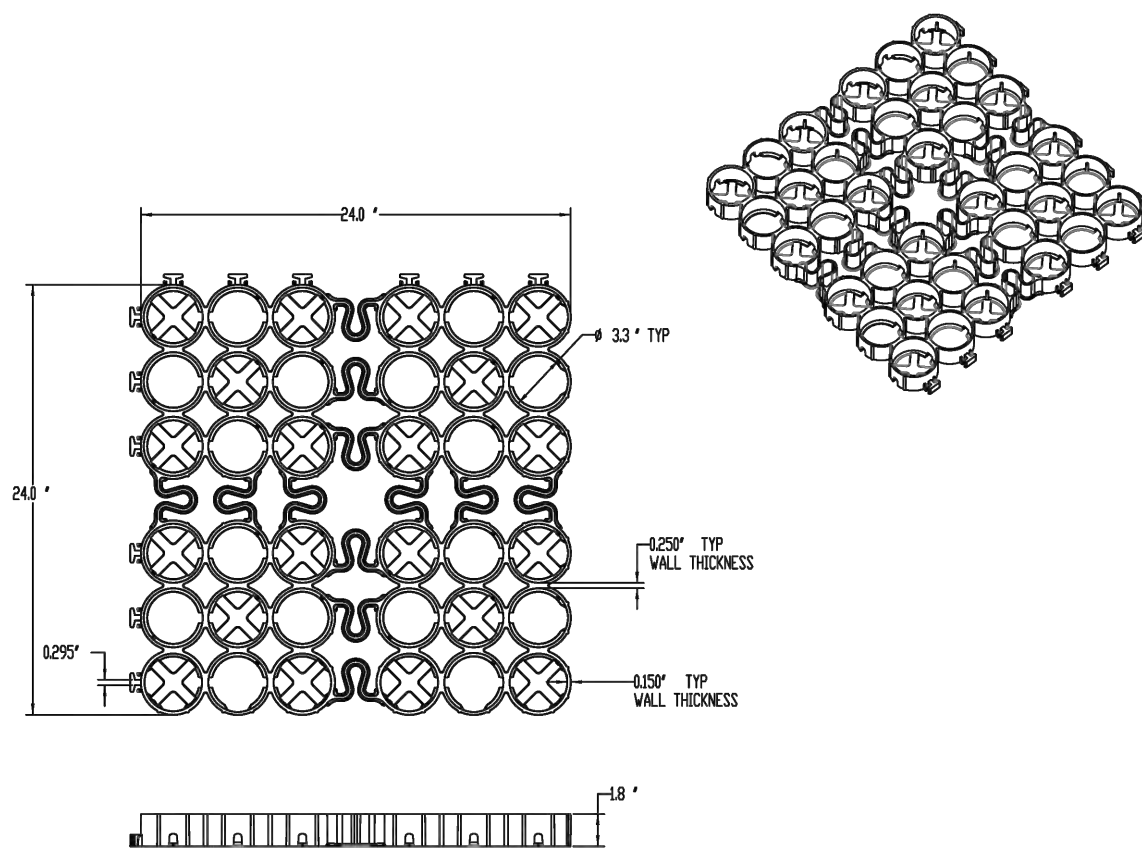
TRUEGRID PRO PLUS 24" X 24" X 18"
US PATENT NO. 8,734,849

PROPRIETARY FEATURES

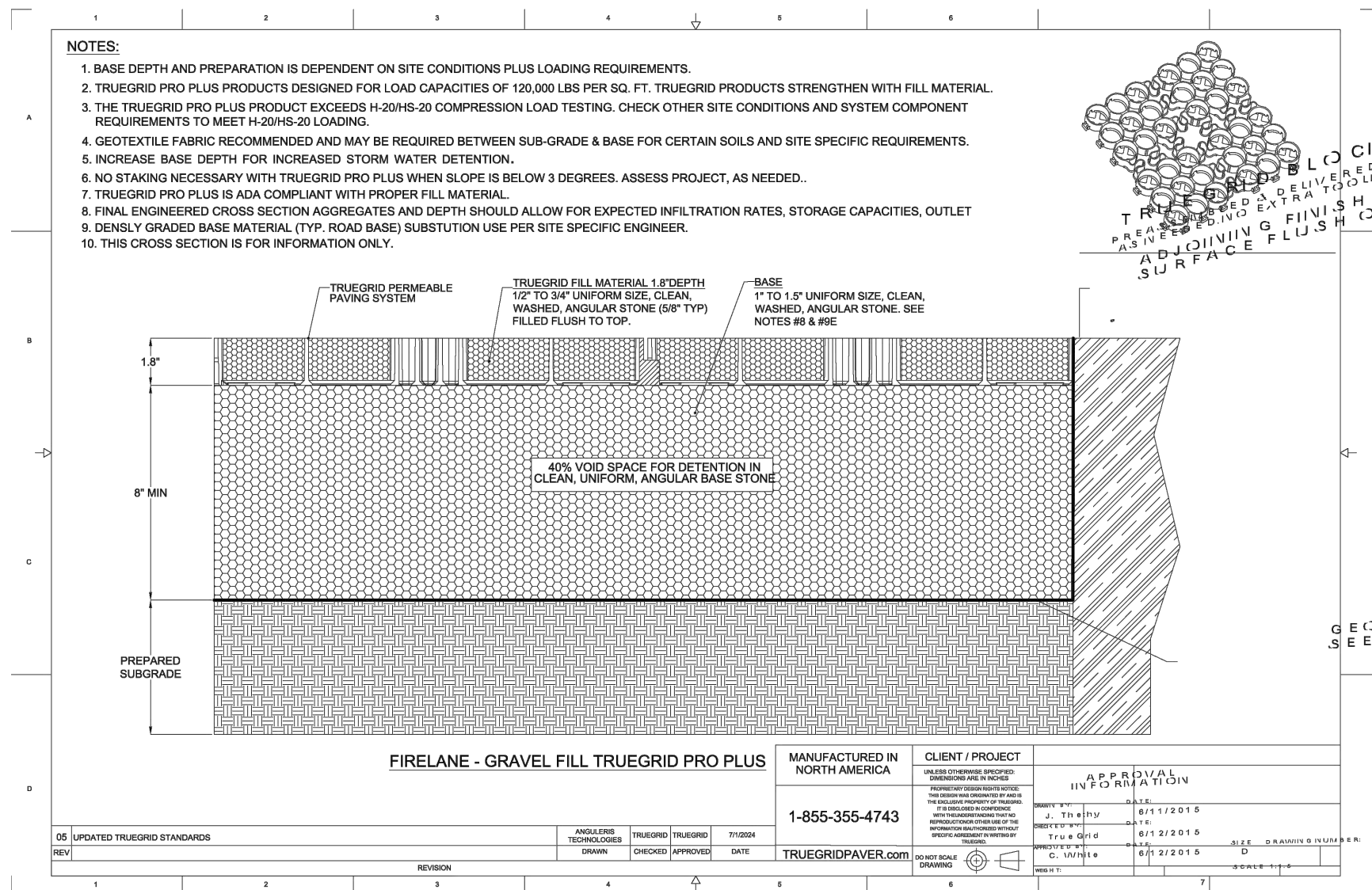
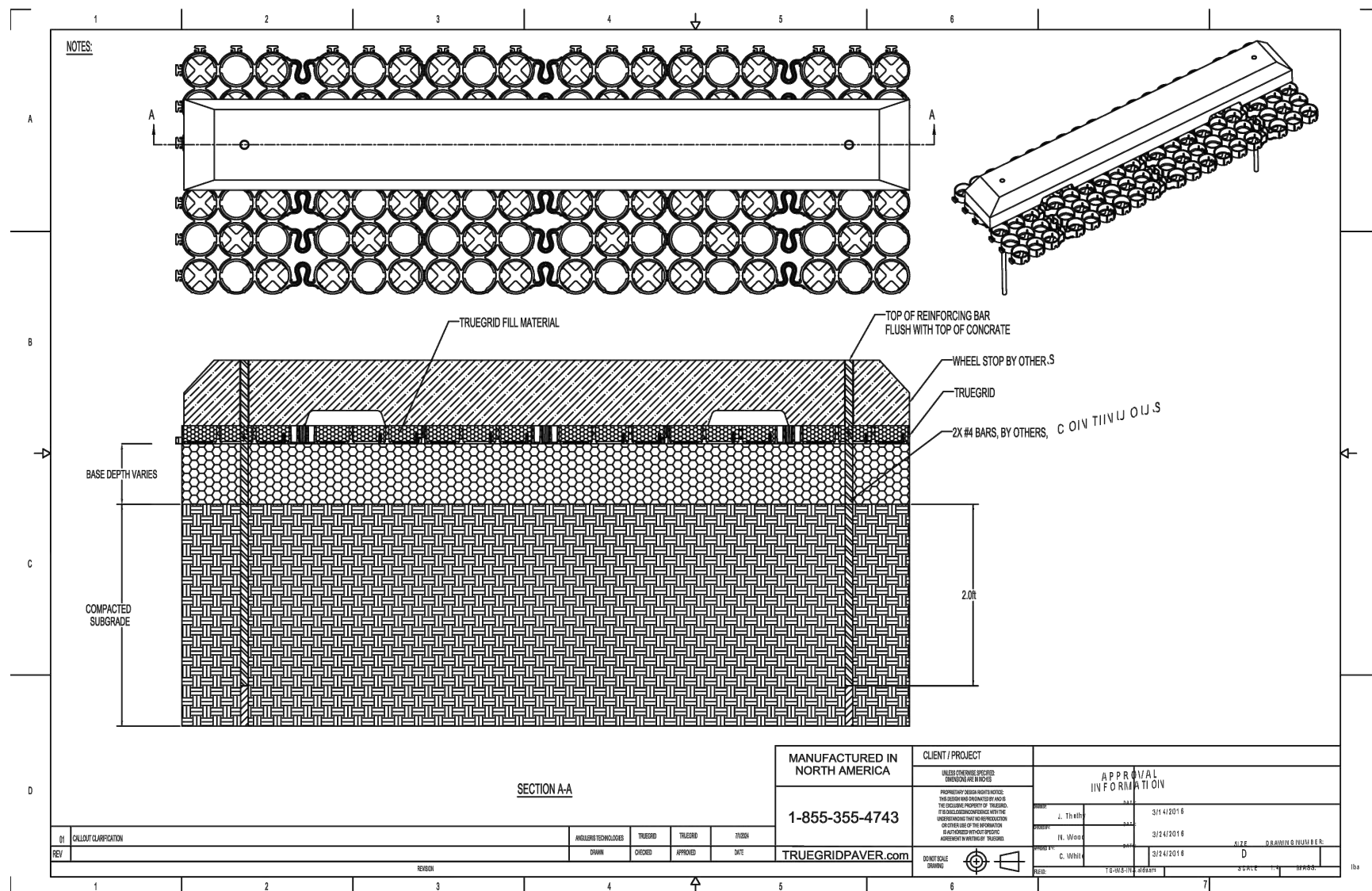
- 1) F-ANCHORS FOR STAKING NEEDED
- 2) 3-POINT MULTIPLE LOCKING TABS
- 3) S-FLEX JOINTS (BUILT IN EXPANSION JOINTS FOR SOIL MOVEMENT AND SEASONAL CHANGES)
- 4) DEEP STRENGTH DESIGN

OTHER:

- 1) 100% POST-CONSUMER RECYCLED HDPE, DELIVERED IN PREASSEMBLED 4' X 4' SHEETS THAT CAN BE RECONFIGURED, AS NEEDED.



FOR PRICING OR ORDERING CALL 1-855-355-GRID (4743). IN STOCK. FACTORY DIRECT.



NO.	REVISIONS	DATE	DESIGNED BY	SCF
			DRAWN BY	SCF
			CHECKED BY	SCF
			APPROVED BY	SCF

OWNER / DEVELOPER:

COMMUNITY HOUSING AND
RESOURCES, INC.
2340 PERIWINKLE WAY, SUITE K-2
SANIBEL, FL 33957



1715 Monroe Street, Suite 500 - Fort Myers, Florida 33901
Phone: 239.206.5093 WWW.DRMP.COM

CONSTRUCTION PLAN FOR
**RIVERVIEW II AT
1523 PERIWINKLE WAY**

CITY OF SANIBEL, LEE COUNTY, FLORIDA

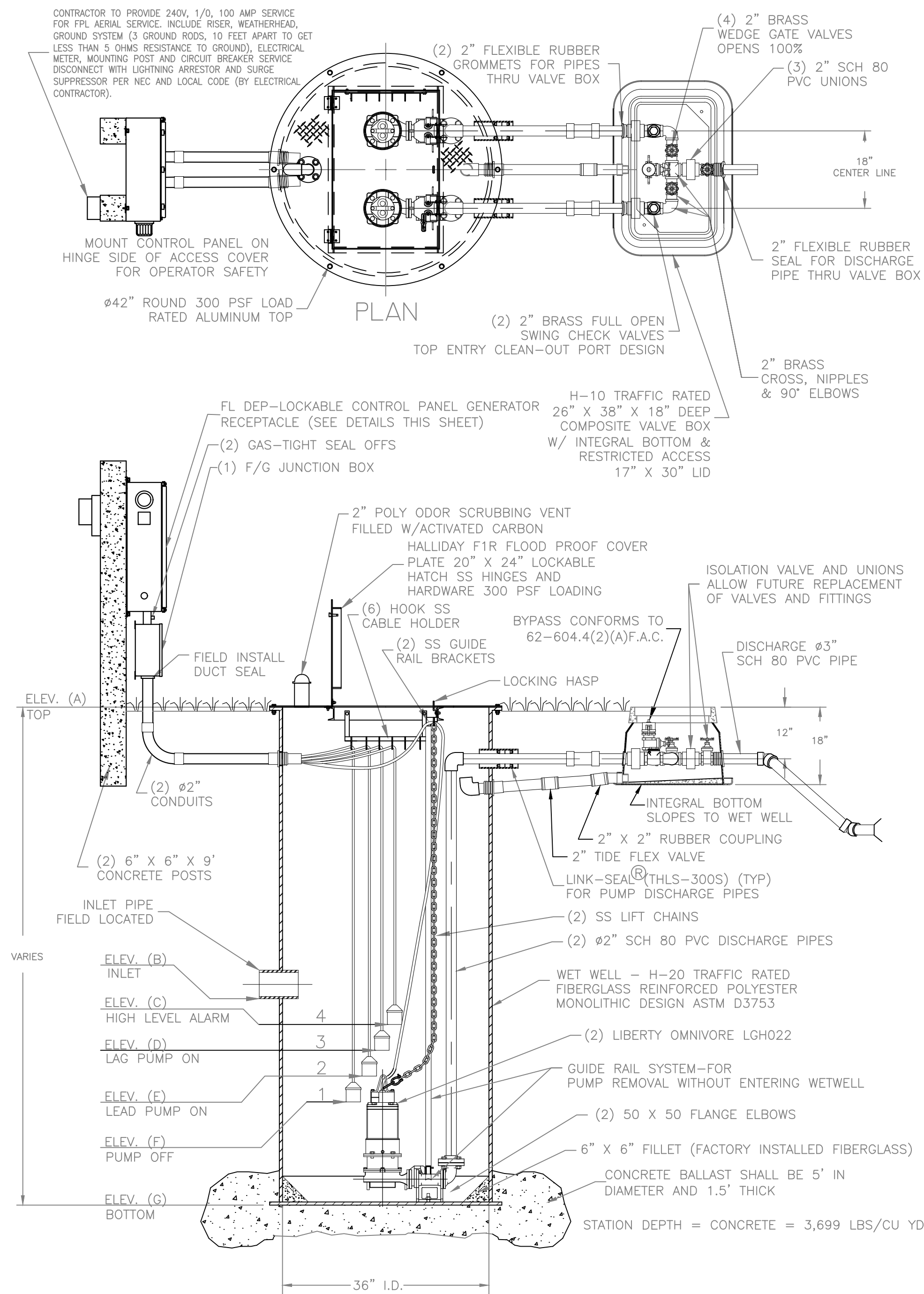
DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFFERENCE

DRAINAGE DETAILS

Stephen C. Fehhaber, PE
Florida P.E. No. 98609

PROJECT NO.:
301.2501366.000
DATE:
JANUARY 2026
SCALE:
NA
SHEET:
C7.2

PERMIT SET



1. CONCRETE BALLAST SHALL BE 5' IN DIAMETER AND 1.5' THICK
2. GROUT FILLET (1 TO 1 SLOPE TO "HOPPER" BOTTOM)

FIELD INSTALL BY CONTRACTOR

GENERAL NOTES

SEWAGE GRINDER PUMP: RATED FOR TWENTY (20) STARTS PER HOUR.

2. AIR FILLED MOTOR DESIGNED FOR SEWAGE APPLICATION WITH CLASS F INSULATION.

3. DUAL MECHANICAL SHAFT SEALS (SILICON CARBIDE / SILICON CARBIDE) LOCATED OUT OF THE PUMPAGE, IN A SEPARATE OIL FILLED CHAMBER.

4. HIGH TEMPERATURE BALL BEARINGS B-10 RATING OF 60,000 HOURS,
UPPER BEARING - SINGLE ROW AND LOWER BEARINGS - DOUBLE ROW TYPE.

5. PUMP SHAFT HORSEPOWER (BHP) SHALL NOT EXCEED MOTOR RATED HORSEPOWER THROUGHOUT THE ENTIRE OPERATING RANGE OF THE PUMP PERFORMANCE CURVE.

6. SINGLE PHASE MOTORS SHALL BE DUAL WOUND, CAPACITOR START-RUN AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (190 TO 260). THREE PHASE MOTORS SHALL BE DUAL WOUND AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (190 TO 260). OR OPERATE ON 460 VOLT BY CHANGING THE MOTOR LEADS INSIDE THE PUMP.

FIBERGLASS WET WELL SHALL BE A ONE PIECE UNIT WITH INTEGRAL BOTTOM, WALL AND UPPER FLANGE. THE ENTIRE FIBERGLASS WET WELL SHALL HAVE A DYNAMIC LOAD RATING OF 16,000 FT/LBS. EACH UNIT MUST BE SERIAL NUMBERED TO IDENTIFY THE TEST PROCEDURE. ASTM D 3753 & H-20 SPECIFICATIONS SHALL BE REQUIRED AS MINIMUM.

ALUMINUM HATCH: INSTALL HALLIDAY F1R BOLTED COVER PLATE WITH 20" x 24" LOCKABLE/WATERPROOF HATCH, REINFORCED FOR LOAD RATING OF 300 LBS/FT WITH HOLD OPEN SAFETY ARM, LOCKING DEVICE FOR HASP TYPE PADLOCK AND STAINLESS STEEL HARDWARE.

VALVE BOX: FIBERGLASS COMPOSITE (H-10 TRAFFIC RATED) WITH INTEGRAL BOTTOM.
(FOR 1 1/4" AND 2" DISCHARGE PIPING SXS HEADER SYSTEM)
SHALL BE 26" X 38" X 18" WITH 17" X 30" LIMITED ACCESS LID

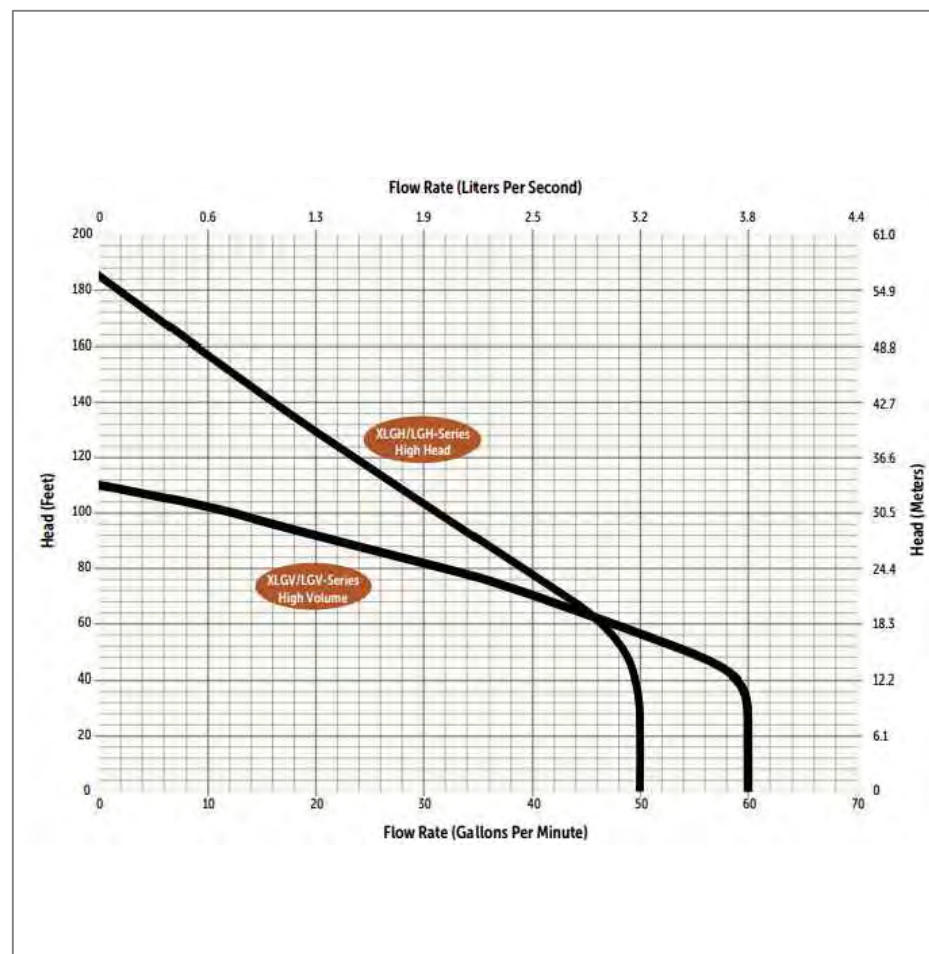
ACCESSORIES: #304 S/S – GUIDE RAILS, UPPER GUIDE RAIL BRACKETS, CABLE HOLDER, ANCHOR BOLTS AND PUMP LIFTING CHAINS.

VALVES : SHALL BE SEWAGE SERVICE DESIGN BRASS SWING CHECK VALVES WITH TOP ENTRY CLEAN-OUT PORT AND BRASS WEDGE GATE VALVES OPEN 100%.

PIPING: 3 SCHEDULE 80 PVC.

FLOAT SWITCHES: UL LISTED SJ ELECTRO MODEL (SJ 30 SWENO) OR EQUAL

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, CONTROL PANEL, JUNCTION BOX, FLOAT SWITCHES, FRP WET WELL, HATCH AND ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY.



LOCATION	MODEL	HP	GPM	FT/TDH	VOLTAGE	PHASE	DISCHARGE	IMPELLER
L.S. 1	LGH-022	2.5	49	7.4	230	1	2"	OPEN

LOCATION	ELEV. (A)	ELEV. (B)	ELEV. (C)	ELEV. (D)	ELEV. (E)	ELEV. (F)	ELEV. (G)
L.S. 1	4.75	0.83	0.33	-0.17	-0.67	-1.67	-3.17

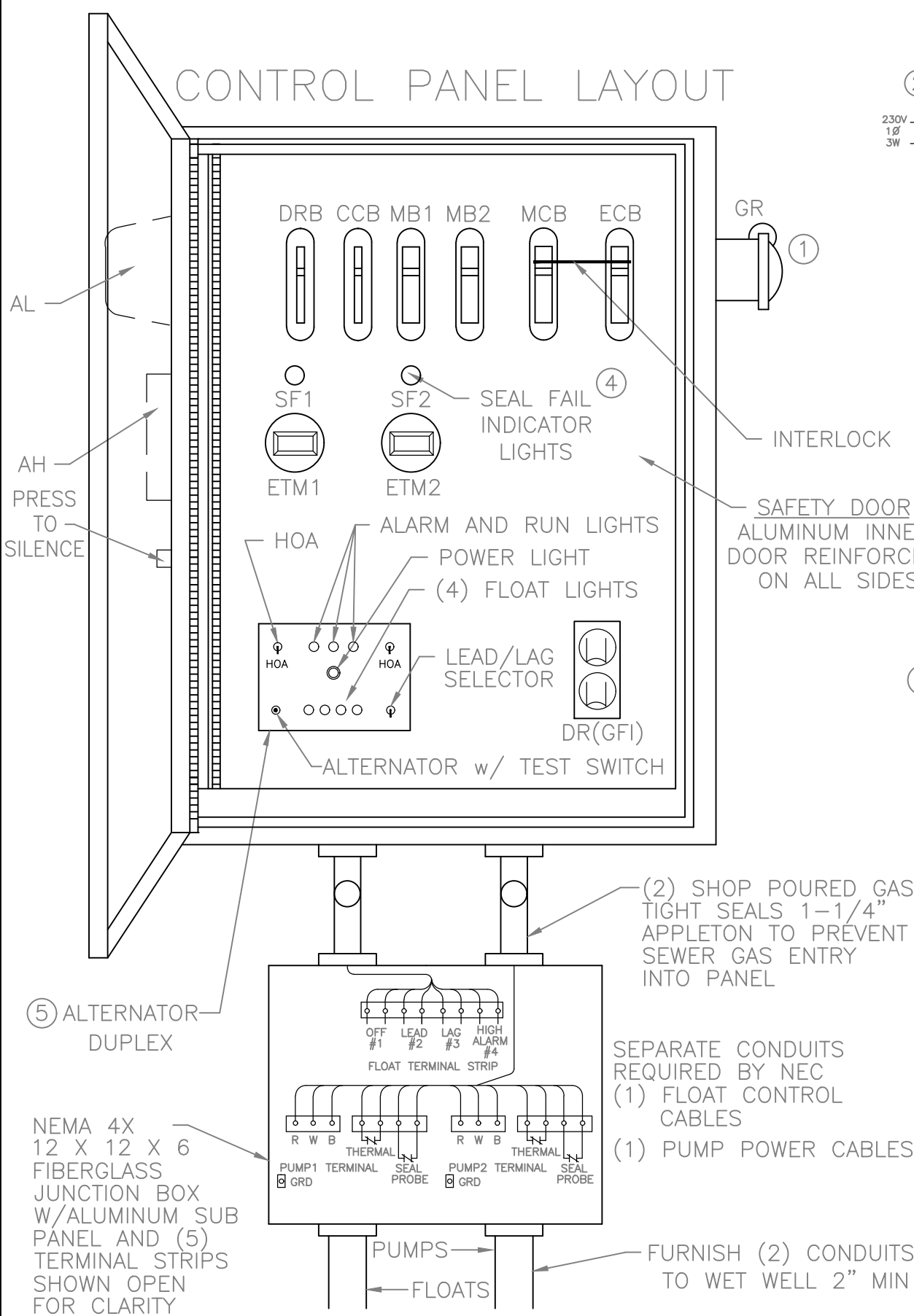
CONTROL PANEL -SHALL CONFORM TO FL DEP 62-604.42(A) CONTRACTOR TO VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT.

CONTROL PANEL SHALL BE IN NEMA 4X FIBERGLASS ENCLOSURE. THE PANEL SHALL MEET STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP), ENVIRONMENTAL PROTECTION COMMISSION (EPC) AND LOCAL CODE REQUIREMENTS GOVERNING PRIVATE LIFT STATIONS.

FLOAT SWITCHES AND CONTROL SYSTEM SHALL BE UL LISTED AND INTRINSICALLY SAFE. ALL COMPONENTS SHALL BE UL LISTED.

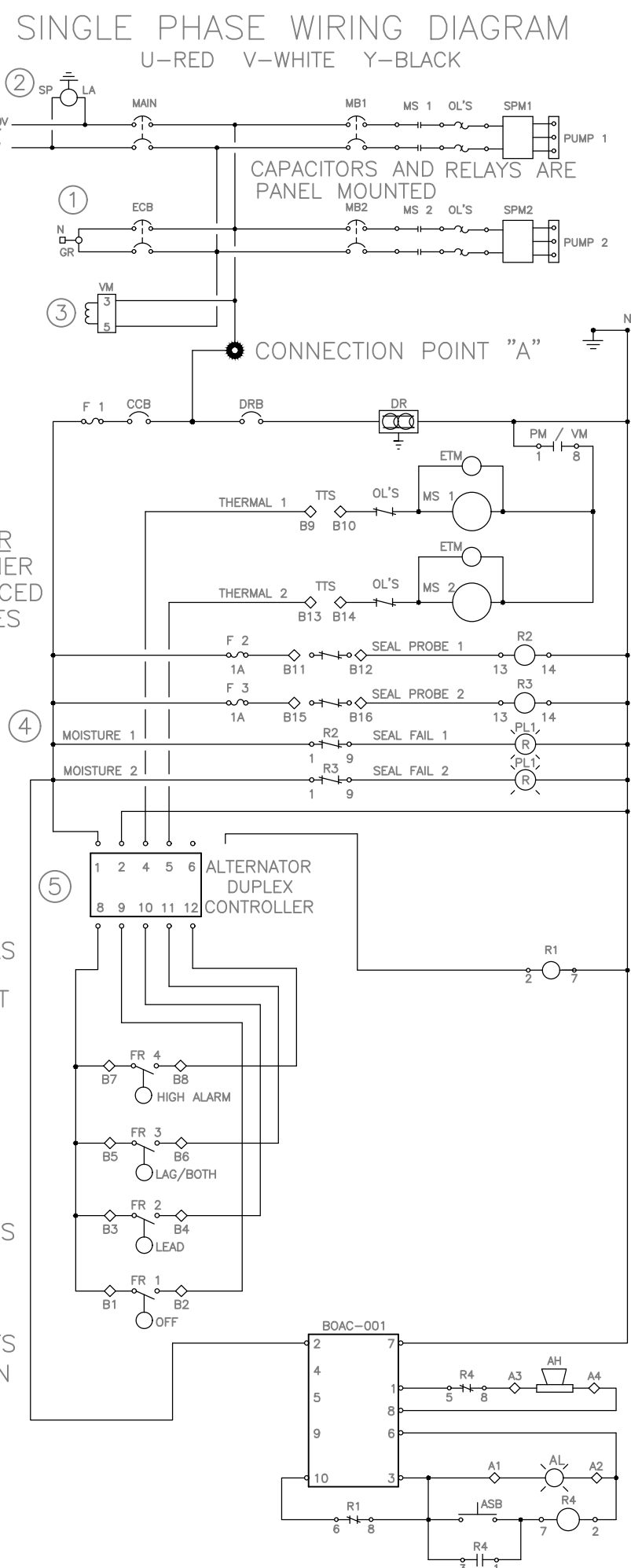
A JUNCTION BOX IS REQUIRED, WITH SHOP POURED SEALS BETWEEN BOX AND CONTROL PANEL TO PREVENT SEWER GAS ENTRY INTO CONTROL PANEL.

CONTRACTOR TO PROVIDE 240V, 1/0, 100 AMP SERVICE FOR FPL AERIAL SERVICE. INCLUDE RISER, WEATHERHEAD, GROUND SYSTEM (3 GROUND RODS, 10 FEET APART TO GET LESS THAN 5 OHMS RESISTANCE TO GROUND), ELECTRICAL METER, MOUNTING POST AND CIRCUIT BREAKER SERVICE DISCONNECT WITH LIGHTNING ARRESTOR AND SURGE SUPPRESSOR PER NEC AND LOCAL CODE (BY ELECTRICAL CONTRACTOR). CONTRACTOR TO SUBMIT TO ENGINEER AND OWNER THE FINAL LOCATIONS OF TRANSFORMER AND ELECTRICAL SERVICE CONDUIT. THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING.



LEGEND

AL	ALARM HORN
AL	ALARM LIGHT
ASB	ALARM SILENCE BUTTON
(5) AT	ALTERNATOR W/ TEST SWITCH
(6) BBU	BATTERY (BACK-UP UNIT)
CCU	CONTROL CIRCUIT BREAKER
DR	DUPLEX RECEPTACLE
DRB	DUPLEX RECEPTACLE BREAKER
ECC	EMERGENCY CIRCUIT BREAKER
ETM	ELAPSED TIME METER
	FUSE
FL	FLASHER
FS	FLOAT SWITCH (REGULATOR)
(1) GR	GENERATOR RECEPTACLE
GRD	GROUND
HOA	HAND-OFF-AUTOMATIC SELECTOR
LA	LIGHTNING ARRESTOR
MB	MOTOR BREAKER
MCB	MAIN CIRCUIT BREAKER
MS	MOTOR STARTER
N	NEUTRAL
OL'S	OVERLOAD HEATERS
(3) PM	PHASE MONITOR
PTS	PUMP TERMINAL STRIP
RC	RELAY
RC	RUN CAPACITOR
RL	DISCHARGE RESISTOR
RL	PUMP RUN INDICATORS
RTS	REGULATOR TERMINAL STRIP
SC	START CAPACITOR
(4) SF	SEAL FAIL (SHAFT)
SR	START RELAY
(2) ST	SURGE PROTECTOR
ITS	THERMAL TERMINAL STRIP



PANEL WIRING DIAGRAM

PANELS SHALL CONFORM TO FLORIDA DEP 62-604.400

- ① GENERATOR RECEPTACLE FOR EMERGENCY POWER CONNECTION WITH INTERLOCK
- ② SURGE PROTECTION AND LIGHTNING PROTECTION ON ALL INCOMING LEGS
- ③ PHASE PROTECTION SHALL BE PROVIDED
- ④ SHAFT SEAL FAIL DETECTION
- ⑤ ALTERNATOR w/ TEST SWITCH

PANEL MANUFACTURER SHALL BE A "UL" LISTED SHOP.

REVISIONS			DESIGNED BY	SCF
			DRAWN BY	SCF
			CHECKED BY	SCF
			APPROVED BY	SCF
	NO.	REVISIONS	DATE	

OWNER / DEVELOPER:

COMMUNITY HOUSING AND
RESOURCES, INC.
2340 PERIWINKLE WAY, SUITE K-2
SANIBEL, FL 33957



1715 Monroe Street, Suite 500 - Fort Myers, Florida 33901
Phone:239.206.5093 WWW.DRMP.COM

CONSTRUCTION PLAN FOR

**RIVERVIEW II AT
1523 PERIWINKLE WAY**

CITY OF SANIBEL, LEE COUNTY, FLORIDA

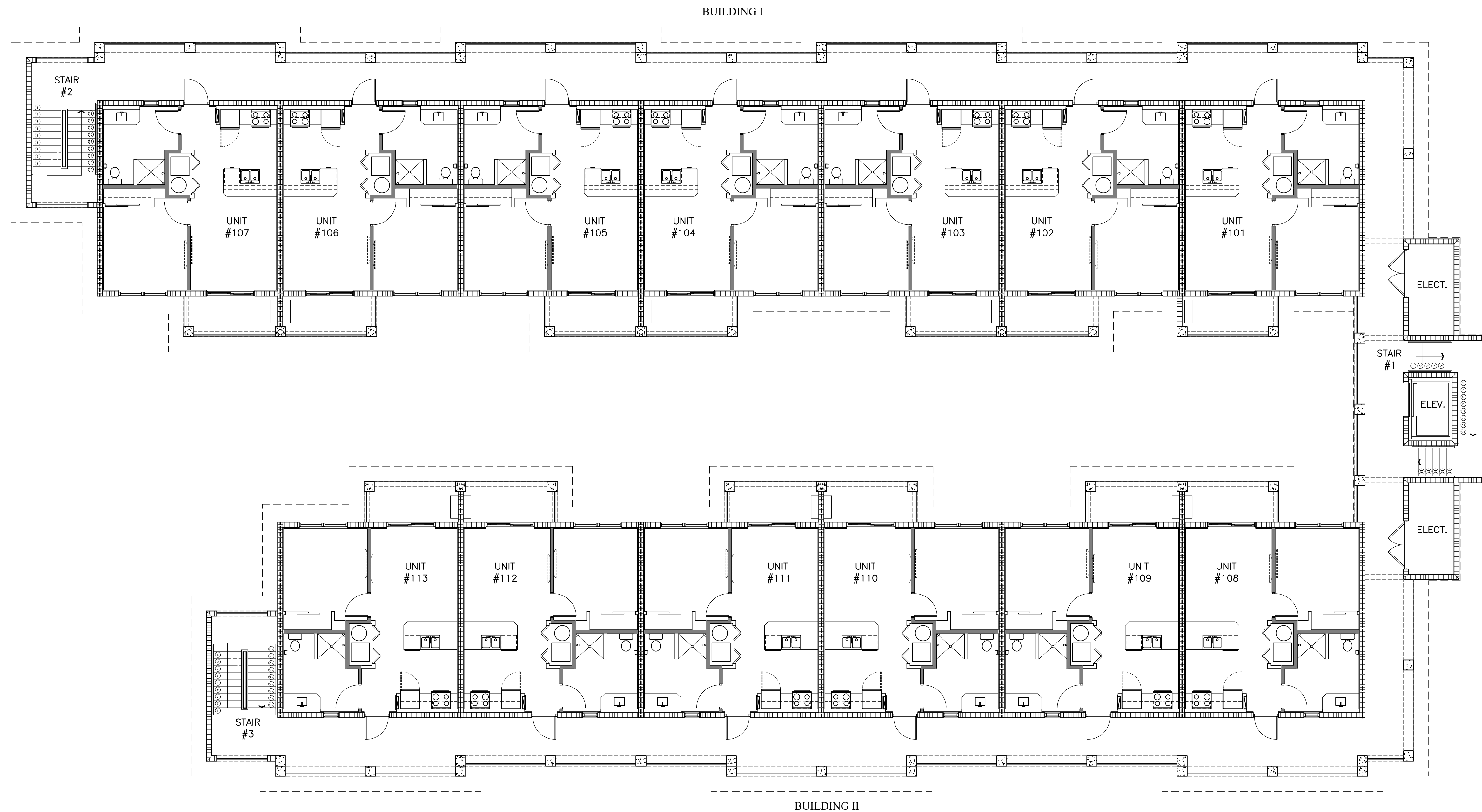
DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE

LIFT STATION DETAILS

PROJECT NO.:	301.2501366.000
DATE:	JANUARY 2026
SCALE:	NA
SHEET:	C7.3

Stephen C. Fehlhaber, PE
Elroida P.E. No. 98609

\\projects\25\301\2500788\000 Riverview II Housing and Urban Development\06-CAD\Plans\C70 DETAIL S.dwg Plotted: Jan 13, 2026 = 12:01am by stefliha



1 **FIRST FLOOR NOTED PLAN (SECOND & THIRD FLOORS SIMILAR)**
SCALE: 1/8" = 1'-0"



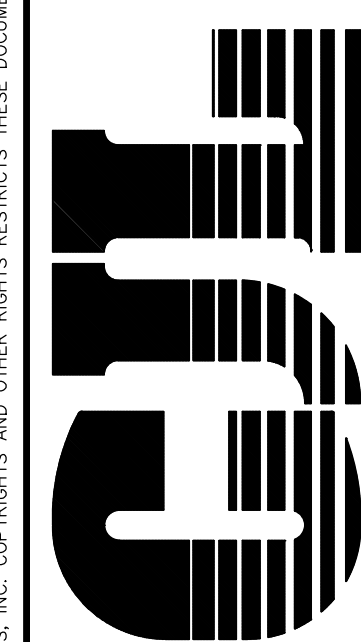
INITIAL CONCEPT : January 26 , 2026

Architect's Seal

Riverview Apartments
1523 Periwinkle Way
Sanibel, Florida 33957

THE DESIGN PROFESSIONAL MAKES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED, WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CHRISTOPHER J. LEE ARCHITECTS, INC.
13180 North Cleveland Avenue, Suite 112
North Fort Myers, Florida 33903
(239) 482-4272 #AA0002585



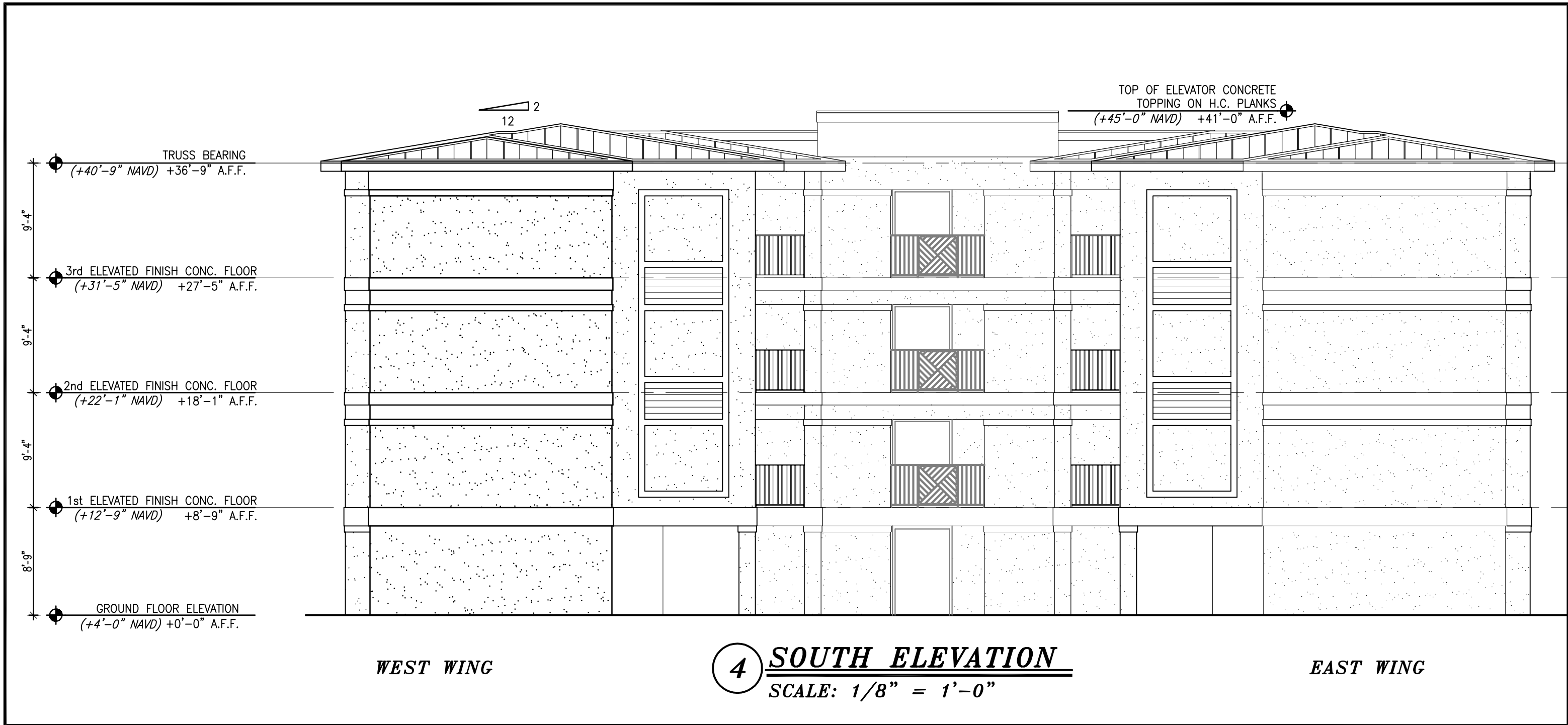
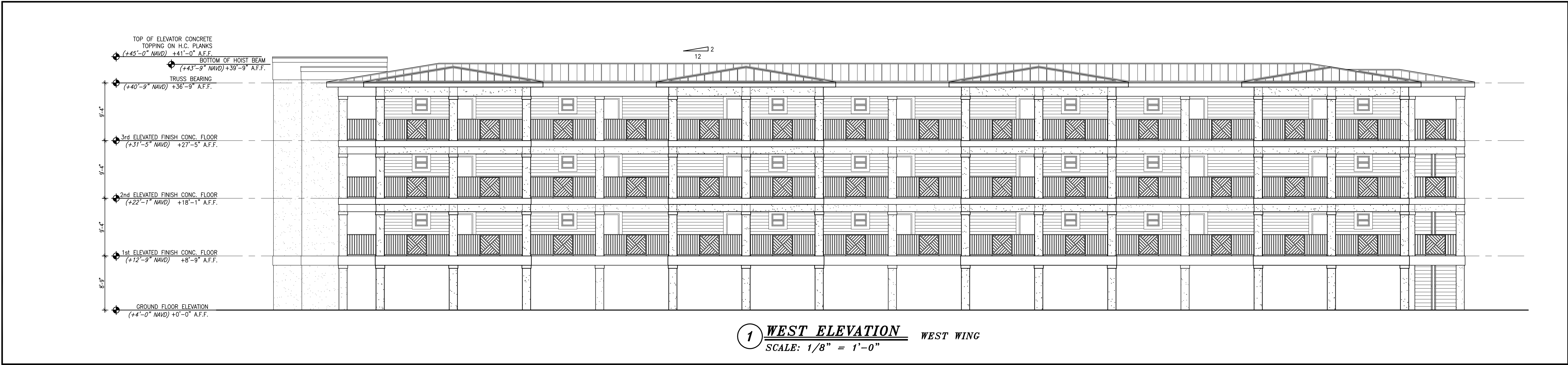
Revisions

Preliminary
1 - 26 - 2026

Job No. 22505-1

A1.0

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Architect's Seal

Riverview Apartments
1523 Periwinkle Way
Sanibel, Florida 33957

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY FOR PROBLEMS WHICH ARISE FROM THE DESIGN PROFESSIONAL'S NEGLIGENCE OR FROM THE NEGLIGENCE OF ANY OTHER PERSONS OR FIRMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES OR CONFLICTS WHICH ARE ALLEGED.

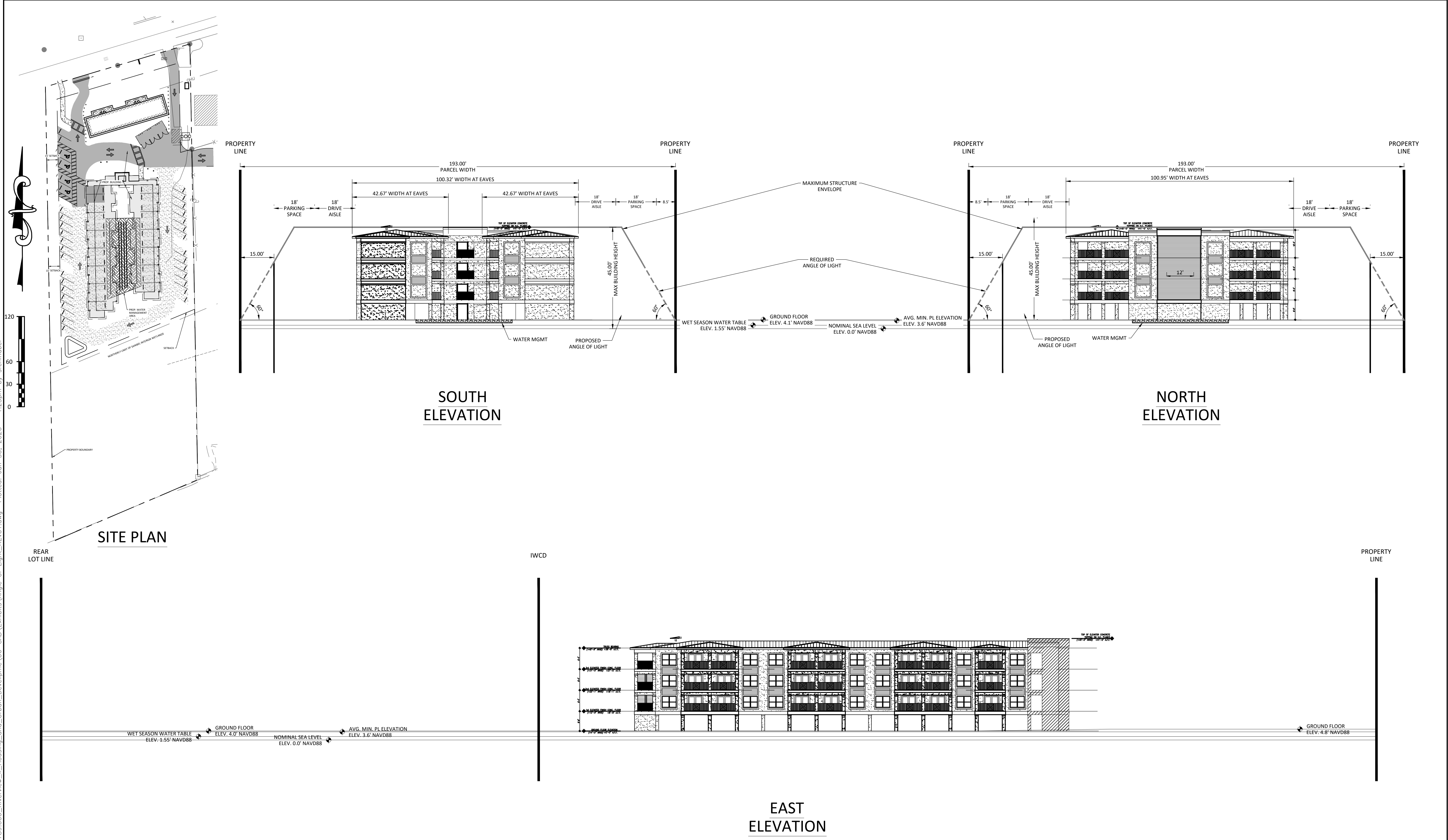
CHRISTOPHER J. LEE ARCHITECTS, INC.
13180 North Cleveland Avenue, Suite 112
North Fort Myers, Florida 33903
(239) 482-4272 #AA0002585

Revisions

Preliminary
1 - 26 - 2026

Job No. 22505

A6.0



			DESIGNED BY	SCF	OWNER / DEVELOPER: COMMUNITY HOUSING AND RESOURCES, INC. 2340 PERIWINKLE WAY, SUITE K-2 SANIBEL, FL 33957	 DRMP ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS 1715 Monroe Street, Suite 500 • Fort Myers, Florida 33901 Phone: 239.206.5093 WWW.DRMP.COM	CONSTRUCTION PLAN FOR RIVERVIEW II AT 1523 PERIWINKLE WAY CITY OF SANIBEL, LEE COUNTY, FLORIDA DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE	ANGLE OF LIGHT EXHIBIT	Stephen C. Fehlhaber, PE Florida P.E. No. 98609	PROJECT NO.: 301.2501366.000
			DRAWN BY	SCF						DATE: JANUARY 2026
			CHECKED BY	SCF						SCALE: 1" = 20'
			APPROVED BY	SCF						SHEET: AOL-1
NO.	REVISIONS	DATE								

PERMIT SET

CITY OF SANIBEL
CHECKLIST OF CONFORMANCE TO SEC. 86-43
APPEARANCE OF STRUCTURES, SIZE & MASS OF STRUCTURES

PARCEL ADDRESS 1523/31 Periwinkle Way EXISTING NEIGHBORHOOD Gen Comm District

Two of the following items shall be submitted so that the Planning Department can better review the project's conformance to Sec. 86-43 of the Sanibel Code:

- ☐ **Statement of conformance.** Describe the proposed architectural style and how the proposed development is compatible with the existing neighborhood aesthetics.
- ☒ **Landscaping planting plan.** Show location and label all plant species by common names. Indicate how the proposed landscaping complies with the City's vegetation requirements.
- ☐ **Color photographs** of typical development within the existing neighborhood.
- ☒ **Building elevations depicting angle-of-light with adjacent properties.** Show the proposed development in context and to scale with other improvements in the general vicinity. At a minimum, the drawing must show the full height, scale, and articulation of each structure immediately adjacent to the property.
- ☐ **Building materials and components list.** Complete Page 2 of this form.

Only If Requested

- ☐ **Landscape elevation drawings at time of planting.** Superimpose landscape materials on the proposed building elevations showing how the plants will look at time of installation.
- ☐ **Landscape elevation drawings at two-year growth.** Superimpose landscape materials on the proposed building elevations showing how the plants will look two years after installation.

CERTIFICATION

I hereby certify that the information contained in this application and the attachments hereto are true and correct to the best of my knowledge and belief.

Rachel L Bielert

Digitally signed by Rachel L Bielert
Date: 2026.01.09 12:37:24 -05'00'

1.9.26

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE

DATE

NOTE TO OWNER/APPLICANT: The proposed development may be subject to private deed restrictions or covenants. It is the applicant's responsibility to verify with the appropriate property owners association whether the proposed development complies with the applicable deed restrictions or covenants. The City does not enforce deed restrictions or act as an arbitrator between the applicant and the association.

BUILDING COMPONENTS AND MATERIALS LIST

FOUNDATION

(indicate materials)

- ☒ Pier
 - ☐ Continuous
 - ☐ Slab on grade
 - ☐ Other: _____
-

EXTERIOR WALL MATERIAL

(indicate type & size)

- ☐ Wood siding
 - ☐ Brick
 - ☐ Stucco
 - ☐ Shingles
 - ☒ Other: stucco to look like siding
-

TRIM

(indicate type, size, & material)

Will be designed to mimic siding like Riverview I with
stucco for better resiliency

WINDOWS

(indicate type and size)

- ☐ Casement
 - ☐ Double-hung
 - ☒ Fixed-pane
 - ☒ Glazing (describe)
 - ☐ Shutters
 - ☐ Awnings (indicate materials)
- Hurricane compliant windows, side rollers and sliders
and fixed at bathrooms
-

ROOF

(indicate type and material)

- ☐ Tile
 - ☐ Shingle
 - ☒ Metal
 - ☐ Built-up roof
 - ☐ Soffit
 - ☒ Other: stucco to look like siding
-

ISO

LANDSCAPE ELEMENTS

(indicate materials)

- ☐ Planters
 - ☐ Fences
 - ☐ Retaining walls
 - ☐ Other: stucco to look like siding
-

GARAGE DOORS

(indicate type)

DOORS

(indicate type and size)

- ☒ Panel
- ☐ French
- ☐ Screen
- ☒ Sliding

EXTERIOR PAINTING

(submit color sample)

MECHANICAL EQUIPMENT

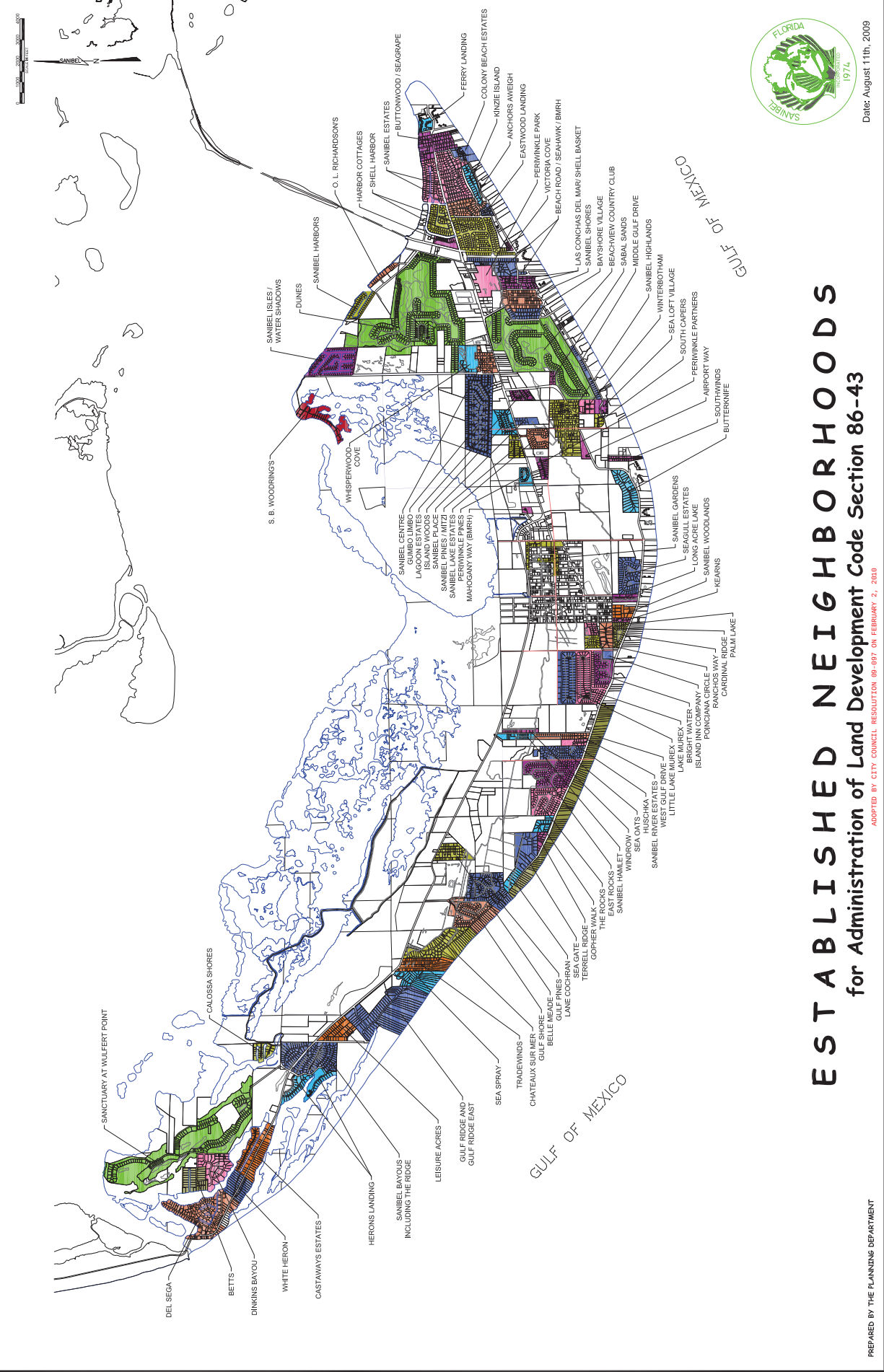
(indicate how screened)

- ☒ A/C on lanais like Riverview I
- ☐ Pool _____
- ☐ Generator _____

PORCH

(indicate materials)

- ☐ Columns/supports
 - ☒ Railings
 - ☐ Ceilings
 - ☐ Ornamentation
 - ☒ Other: stucco to look like siding
Alum screen enclosures
-



ESTABLISHED NEIGHBORHOODS

for Administration of Land Development Code Section 86-43



Date: August 11th, 2009

PREPARED BY THE PLANNING DEPARTMENT

ADOPTED BY CITY COUNCIL RESOLUTION 86-897 ON FEBRUARY 2, 2018

Due to the surrounding properties being commercial, the scale is relative to the site's use. The proximity in the main commercial corridor supports ease of access for optimizing positive impacts to both BMRH residents and businesses. Below are examples of other buildings within the corridor with below-structure parking directly along Periwinkle to show continuity of structure and design.

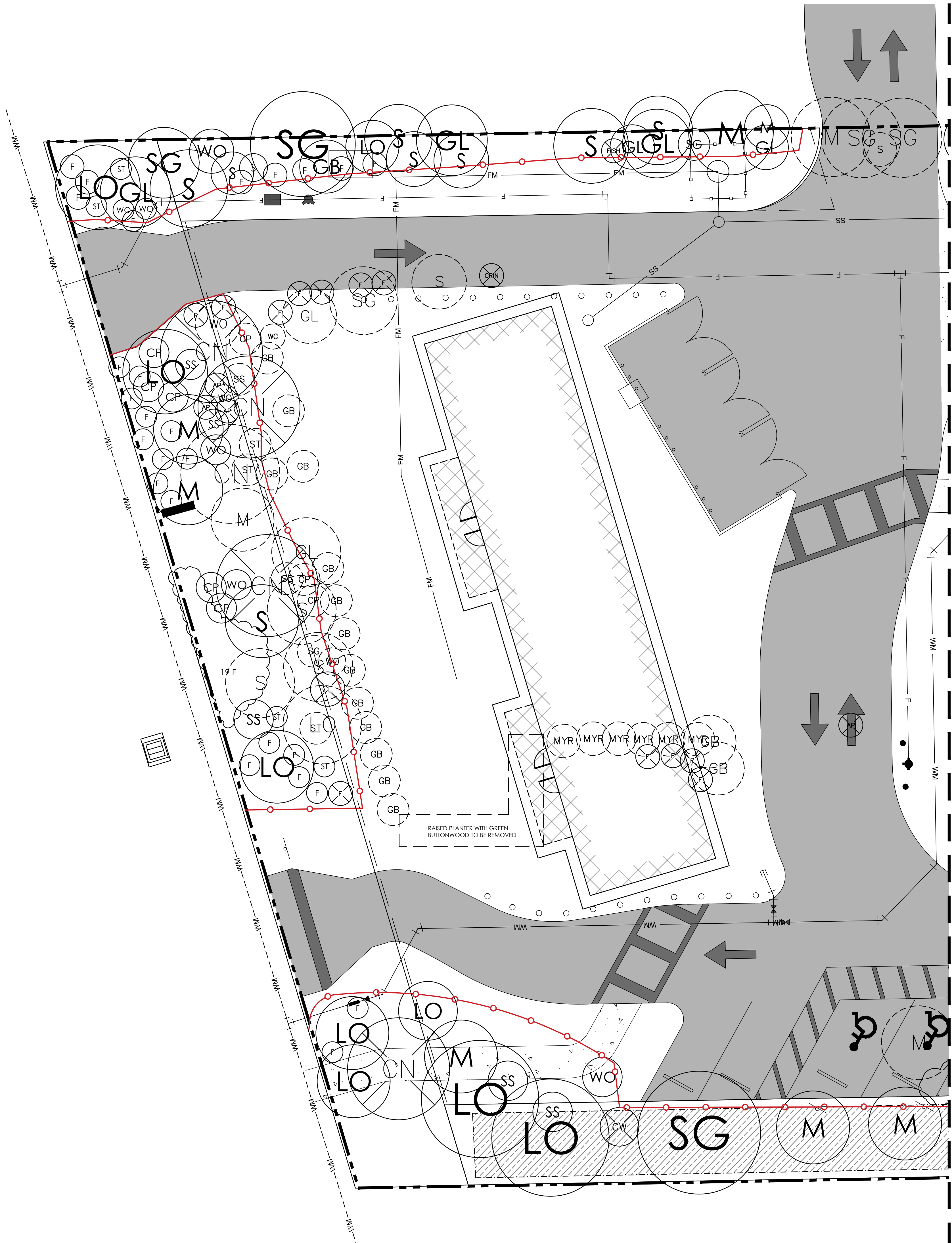




You'll note that the distance that the new Riverview II residential building will be from Periwinkle, with adequate landscaping buffering as is intended in the design, ensures consistency with other similar structures throughout the corridor.

The photo below of the former Fish House Restaurant can give some perspective if one notes that the distance to the power pole behind the restaurant building is less than half the distance to where the proposed residential structure is designed to be located, reducing the impact of the size from the road much like that of Trader's.





EXISTING VEGETATION NOTES

- ALL EXISTING SPECIMENS OF PROTECTED SPECIES WILL REMAIN IN PLACE OR BE RELOCATED ON SITE IN DESIGNATED RECEPTOR AREAS AND RELOCATED TO BUFFERS.
- RECEPTOR AREA SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCING.
- TEMPORARY IRRIGATION SHALL BE PROVIDED FOR ALL RELOCATED VEGETATION. SPECIMENS OF PROTECTED SPECIMENS TO BE RELOCATED SHALL BE FLAGGED PRIOR TO RELOCATION AND REMAIN TAGGED UNTIL FINAL SITE INSPECTION.
- ALL CITY REQUIRED INVASIVE EXOTIC VEGETATION WILL BE REMOVED FROM SITE. SITE TO BE KEPT CLEAR OF CITY REQUIRED EXOTICS IN PERPETUITY.
- LARGE INACCESSIBLE INVASIVE EXOTICS MAY BE TREATED WITH CITY APPROVED HERBICIDE AND KILLED IN PLACE.
- ALL INVASIVE EXOTICS TO BE REMOVED PER CITY CODE. INVASIVE EXOTICS PER CITY OF SANIBEL INCLUDE: BRAZILIAN PEPPER (SCHINUS TERBINTHIFOLIUS), MOTHER IN LAW TOUNGUE, INKBERRY (SCEVOLA TACCADEA), MELALEUCA (MELALEUCA QUINQUENERVIA), JAVA PLUM (SYNZYGIUM CUMINI), LEAD TREE (LEUCAENA LEUCOCEPHALA), AIR POTATO (DIOSCOREA BULBIFERA), EARLEAF ACACIA (ACACIA AURICULIFORMIS).
- FINAL VEGETATION COUNTS TO BE DETERMINED FOLLOWING EXOTIC REMOVAL. FINAL PLAN SHALL BE MINIMUM 75% NATIVE/25% NON-INVASIVE EXOTIC.
- NO NATIVE VEGETATION TO BE DISTURBED BEYOND CCSL LINE. TRIMMING SEAWARD OF THE CCSL SHALL NOT REDUCE THE OVERALL HEIGHT OF THE PLANT TO LESS THEN 4 FEET ABOVE THE SUBSTRATE. ALSO TRIMMING SHALL NOT REMOVE MORE THAN 25% OF THE LEAF SURFACE OF ANY INDIVIDUAL PLANT IN ANY ONE YEAR.
- TRIMMING FOR HEIGHT REDUCTION OF THE FOLLOWING SPECIES IS NOT PERMITTED: JOEWOOD, SEA OATS, BAY CEDAR, CABBAGE PALM.
- ALL VEGETATION SHALL BE INSTALLED IN A SOUND WORKMANLIKE MANNER AND ACCORDING TO GOOD PLANTING PROCEDURES, WITH THE QUALITY OF PLANT MATERIALS AS DESCRIBED IN THE CITY OF SANIBEL NOTES.

EXISTING NATIVE VEGETATION COUNTS

SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL	REMAIN	REMOVE	RELOCATE
S	SABAL PALM	SABAL PALMETTO	51	16	0	35
F	FAKAHATCHEE GRASS	TRIPSACUM DACTYLOIDES	57	45	12	0
SG	GUMBO LIMBO	BURSERA SIMARUBA	8	4	0	4
SC	SEAGRAPH	COCCO LIVIERA	21	15	0	6
ST	STRANGLER FIG	FICUS AUREA	8	3	1	4
WC	WILD COFFEE	PSYCHOTRIA NERVOZA	1	0	0	1
WO	WILD OLIVE	FORESTIERA SEGREGATA	16	8	0	8
M	MAHOGANY	SWIETENIA MAHOGONI	16	12	0	4
GB	GREEN BUTTOWOOD	CONOCARPUS ERECTUS	29	23	0	6
ST	SIMPSON STOPPER	MYRCIANTHES FRAGRANS	13	10	0	3
CP	COCOPALM	CHRYSOBALANUS ICACO	9	6	0	3
SS	SILVER SAW PALMETTO	SERENOJA REPENS SILVER	6	5	0	1
LO	LIVE OAK	QUERCUS VIRGINIANA	11	10	0	1
SD	SEADKYE DAISY	BORRICHIA FRUTESCENS	30	0	30	0
MYR	MYRSINE	MYRSINE GUANENSIS	6	0	0	6

EXISTING EXOTIC VEGETATION COUNTS

SYMBOL	COMMON NAME	TOTAL	REMAIN	REMOVE	RELOCATE
MAH	MAHOG	1	0	1	0
AP	AUSTRALIAN PINE	21	0	21	0
CL	CLUSIA GUTTERBA	2	0	2	0
CRN	CRINUM LILY	1	0	1	0
J	ARECA PALM	3	0	3	0
JAT	JATROPIA	1	0	1	0
PAND	PANDANUS PALM	1	0	0	1
FSH	FSHAIL PALM	1	0	1	0
CW	CARROTWOOD	1	0	1	0
CN	COCONUT PALM	8	0	8	0

LEGEND

NOTE: GROUND COVERS TO BE REPLACED 1:1 BASIS AS NECESSARY FOR NEW DEVELOPMENT

XX

TREE/PALM/SHRUB TO REMAIN

XX

TREE/PALM/SHRUB TO BE RELOCATED

XX

TREE/PALM/SHRUB TO BE REMOVED

VEGETATION PROTECTION FENCE

RELOCATION AREA



RS WALSH
LANDSCAPING, INC.
8050 PENZANCE BLVD. FORT MYERS
FLORIDA 33912
TEL: 239-768-5655
WWW.RSWALSH.COM

RIVERVIEW PROPERTY

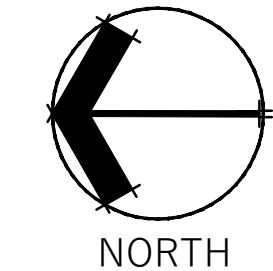
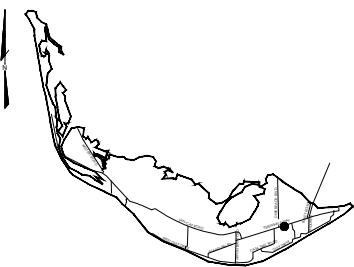
1523 & 1531 PERIWINKLE WAY,
SANIBEL, FLORIDA

EXISTING VEGETATION PLAN PAGE 1

DEP DRAWINGS SCHEDULE

- EXISTING VEGETATION PLAN PAGE 1
- EXISTING VEGETATION PLAN PAGE 2
- BUFFER CALCULATIONS
- BUFFER LANDSCAPE PLAN
- INTERIOR LANDSCAPE PLAN
- PLANTING DETAILS

VICINITY MAP



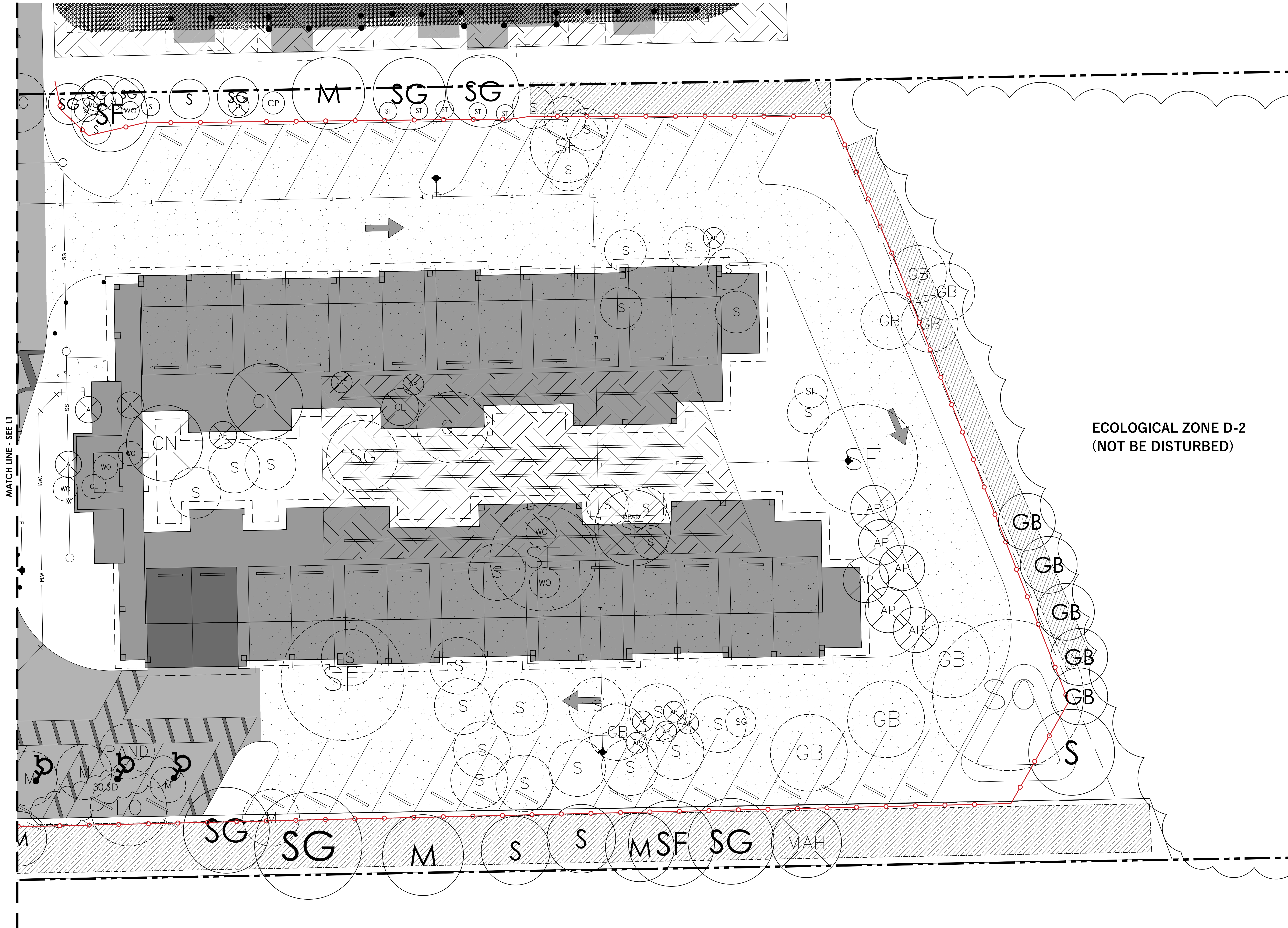
DESIGNED BY: RSW

DATE: 01/27/2026

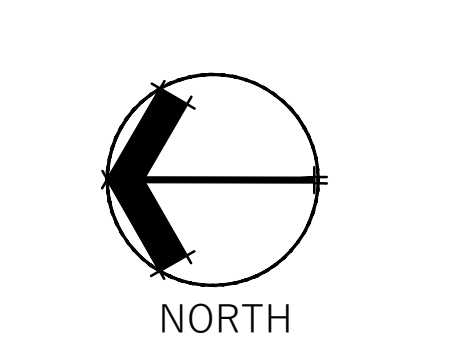
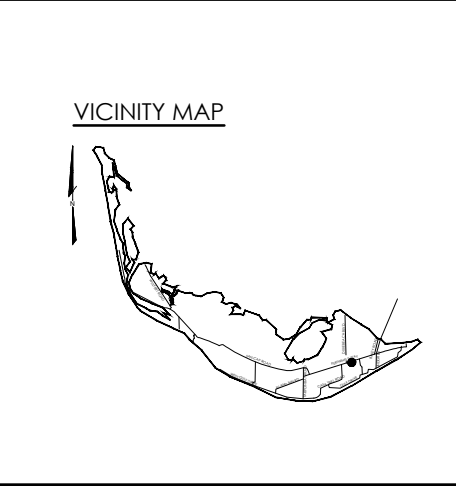
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DEP DRAWINGS SCHEDULE	
L1	EXISTING VEGETATION PLAN PAGE 1
L2	EXISTING VEGETATION PLAN PAGE 2
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L4	BUFFER LANDSCAPE PLAN
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REV 7.	XX-XX-XX	
REV 8.	XX-XX-XX	

WESTERN BUFFER: 5399sf

1 LARGE TREE OR MEDIUM TREE PER 75 SQ.FT. OF THE REQUIRED BUFFER AREA, WITH A MINIMUM OF SIX (6) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. MINIMUM OF 75% OF TREES SHALL BE NATIVE SPECIES

5399 SF/75=72
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=61 REQUIRED LARGE OR MEDIUM TREES

EXISTING LARGE/MEDIUM TREES (12):
1 LIVE OAK
4 SEAGRAPE
4 MAHOGANY
2 SABAL PALMS
1 STRANGLER FIG

NEW LARGE OR MEDIUM TREES (49):
(6) RELOCATED GREEN BUTTONWOOD
(4) RELOCATED STRANGLER FIG
(6) RELOCATED SEA GRAPE
(4) RELOCATED GUMBO LIMBO
(28) RELOCATED SABAL PALMS
(4) RELOCATED MAHOGANY

TOTAL LARGE & MEDIUM TREES: 61 (100% NATIVE)

1 SMALL TREE OR MEDIUM SHRUB PER 30 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF FIVE (5) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. 25% OF REQUIRED PLANTS SHALL BE SMALL TREES.

5399 SF/30=180
25% SMALL TREES=45 SMALL TREES /135 MEDIUM SHRUBS
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=38 SMALL TREES/ 115 MEDIUM SHRUBS REQUIRED

EXISTING SMALL TREES (0):
NONE

EXISTING MEDIUM SHRUBS (1):
1 SILVER SAW PALMETTO

NEW SMALL TREES (38):
(8) RELOCATED WILD OLIVE
(6) RELOCATED MYRSINE
(3) RELOCATED SIMPSON STOPPER
(7) SILVER BUTTONWOOD 5-6'H
(4) SWEET ACACIA 5-6'H
(10) SPANISH STOPPER 5-6'H

NEW MEDIUM SHRUBS (115):
(1) RELOCATED SILVER SAW PALMETTO
(3) RELOCATED COCOPLUM
(34) GREEN SAW PALMETTO 3GAL
(39) JAMAICAN CAPER 3GAL
(37) COCOPLUM 3GAL

TOTAL SMALL TREES: 38 (100% NATIVE)
TOTAL MEDIUM SHRUBS: 115 (100% NATIVE)

1 SMALL SHRUB OR GROUNDCOVER PER 25 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF THREE (3) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED.

5399 SF/25=216
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=184 SMALL SHRUBS/GROUNDCOVERS REQUIRED

EXISTING SMALL SHRUB/GROUNDCOVER (0):
NONE

NEW SMALL SHRUBS/GROUNDCOVERS(184):
(63) GOLDEN CREEPER 1GAL
(60) MUHLY GRASS 1GAL
(60) SPIDER LILY 1GAL
1 RELOCATED WILD COFFEE

TOTAL SMALL SHRUBS/GROUNDCOVERS: 184 (100% NATIVE)

EASTERN BUFFER: 1752sf

1 LARGE TREE OR MEDIUM TREE PER 75 SQ.FT. OF THE REQUIRED BUFFER AREA, WITH A MINIMUM OF SIX (6) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. MINIMUM OF 75% OF TREES SHALL BE NATIVE SPECIES

1752 SF/75=23
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=20 REQUIRED LARGE OR MEDIUM TREES

EXISTING LARGE/MEDIUM TREES (19):
2 LIVE OAK
4 GUMBO LIMBO
2 SEAGRAPE
2 MAHOGANY
8 SABAL PALMS
1 GREEN BUTTONWOOD

NEW LARGE OR MEDIUM TREES (1):
1 RELOCATED SABAL PALM

TOTAL LARGE & MEDIUM TREES: 20 (100% NATIVE)

1 SMALL TREE OR MEDIUM SHRUB PER 30 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF FIVE (5) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. 25% OF REQUIRED PLANTS SHALL BE SMALL TREES.

1752 SF/30=58
25% SMALL TREES=15 SMALL TREES /43 MEDIUM SHRUBS
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=13 SMALL TREES/ 37 MEDIUM SHRUBS REQUIRED

EXISTING SMALL TREES (5):
2 SIMPSON STOPPER
3 WILD OLIVE

EXISTING MEDIUM SHRUBS (0):
NONE

NEW SMALL TREES (8):
(4) MARLBERRY 5-6'H
(4) MYRSINE 5-6'H

NEW MEDIUM SHRUBS (37):
(13) GREEN SAW PALMETTO 3GAL
(10) JAMAICAN CAPER 3GAL
(14) COCOPLUM 3GAL

TOTAL SMALL TREES: 13 (100% NATIVE)
TOTAL MEDIUM SHRUBS: 37 (100% NATIVE)

1 SMALL SHRUB OR GROUNDCOVER PER 25 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF THREE (3) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED.

1752 SF/25=70
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=60 SMALL SHRUBS/GROUNDCOVERS REQUIRED

EXISTING SMALL SHRUB/GROUNDCOVER (9):
9 FAKAHATCHEE GRASS

NEW SMALL SHRUBS/GROUNDCOVERS(51):
(17) WILD COFFEE 3GAL
(17) FAKAHATCHEE GRASS 1GAL
(17) SPIDER LILY 1GAL

TOTAL SMALL SHRUBS/GROUNDCOVERS: 60 (100% NATIVE)

NORTHERN (PERIWINKLE) BUFFER: 3288sf

1 LARGE TREE OR MEDIUM TREE PER 75 SQ.FT. OF THE REQUIRED BUFFER AREA, WITH A MINIMUM OF SIX (6) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. MINIMUM OF 75% OF TREES SHALL BE NATIVE SPECIES

3288 SF/75=44
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=37 REQUIRED LARGE OR MEDIUM TREES

EXISTING LARGE/MEDIUM TREES (19):
7 LIVE OAK
2 GUMBO LIMBO
3 SEAGRAPE
3 MAHOGANY
4 SABAL PALMS

NEW LARGE OR MEDIUM TREES (18):
(3) PIGEON PLUM 10-12'H
(5) GREEN BUTTONWOOD 10-12'H
(5)GUMBO LIMBO 10-12'H
(5) RELOCATED SABAL PALMS

TOTAL LARGE & MEDIUM TREES: 37 (100% NATIVE)

1 SMALL TREE OR MEDIUM SHRUB PER 30 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF FIVE (5) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED. 25% OF REQUIRED PLANTS SHALL BE SMALL TREES.

3288 SF/30=110
25% SMALL TREES=28 SMALL TREES /82 MEDIUM SHRUBS
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=24 SMALL TREES/ 70 MEDIUM SHRUBS REQUIRED

EXISTING SMALL TREES (11):
6 SIMPSON STOPPER
5 WILD OLIVE

EXISTING MEDIUM SHRUBS (11):
8 COCOPLUM
3 SILVER SAW PALMETTO

NEW SMALL TREES (13):
(6) SILVER BUTTONWOOD 5-6'H
(7) SWEET ACACIA 5-6'H

NEW MEDIUM SHRUBS (59):
(40) GREEN SAW PALMETTO 3GAL
(19) NECKLACE POD 3GAL

TOTAL SMALL TREES: 24 (100% NATIVE)
TOTAL MEDIUM SHRUBS: 70 (100% NATIVE)

1 SMALL SHRUB OR GROUNDCOVER PER 25 SQ.FT. OF THE REQUIRED BUFFER AREA. MINIMUM OF 75% OF PLANTS SHALL BE NATIVE SPECIES WITH A MINIMUM OF THREE (3) DIFFERENT SPECIES OF NATIVE PLANTS INCLUDED.

3288 SF/25=132
100% NATIVE= CAN USE 15% LESS TOTAL PLANTINGS ACCORDING TO SANIBEL MUNICODE
=112 SMALL SHRUBS/GROUNDCOVERS REQUIRED

EXISTING SMALL SHRUB/GROUNDCOVER (42):
42 FAKAHATCHEE GRASS

NEW SMALL SHRUBS/GROUNDCOVERS(70):
(30) GOLDEN CREEPER 1GAL
(20) MUHLY GRASS 1GAL
(20) SPIDER LILY 1GAL

TOTAL SMALL SHRUBS/GROUNDCOVERS: 112 (100% NATIVE)



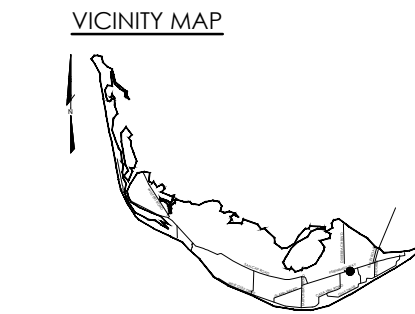
RS WALSH
LANDSCAPING, INC.
8050 PENZANCE BLVD. FORT MYERS
FLORIDA 33912
TEL: 239-768-5655
WWW.RSWALSH.COM

RIVERVIEW PROPERTY

1523 & 1531 PERIWINKLE WAY,
SANIBEL, FLORIDA

BUFFER CALCULATIONS

DEP DRAWINGS SCHEDULE					
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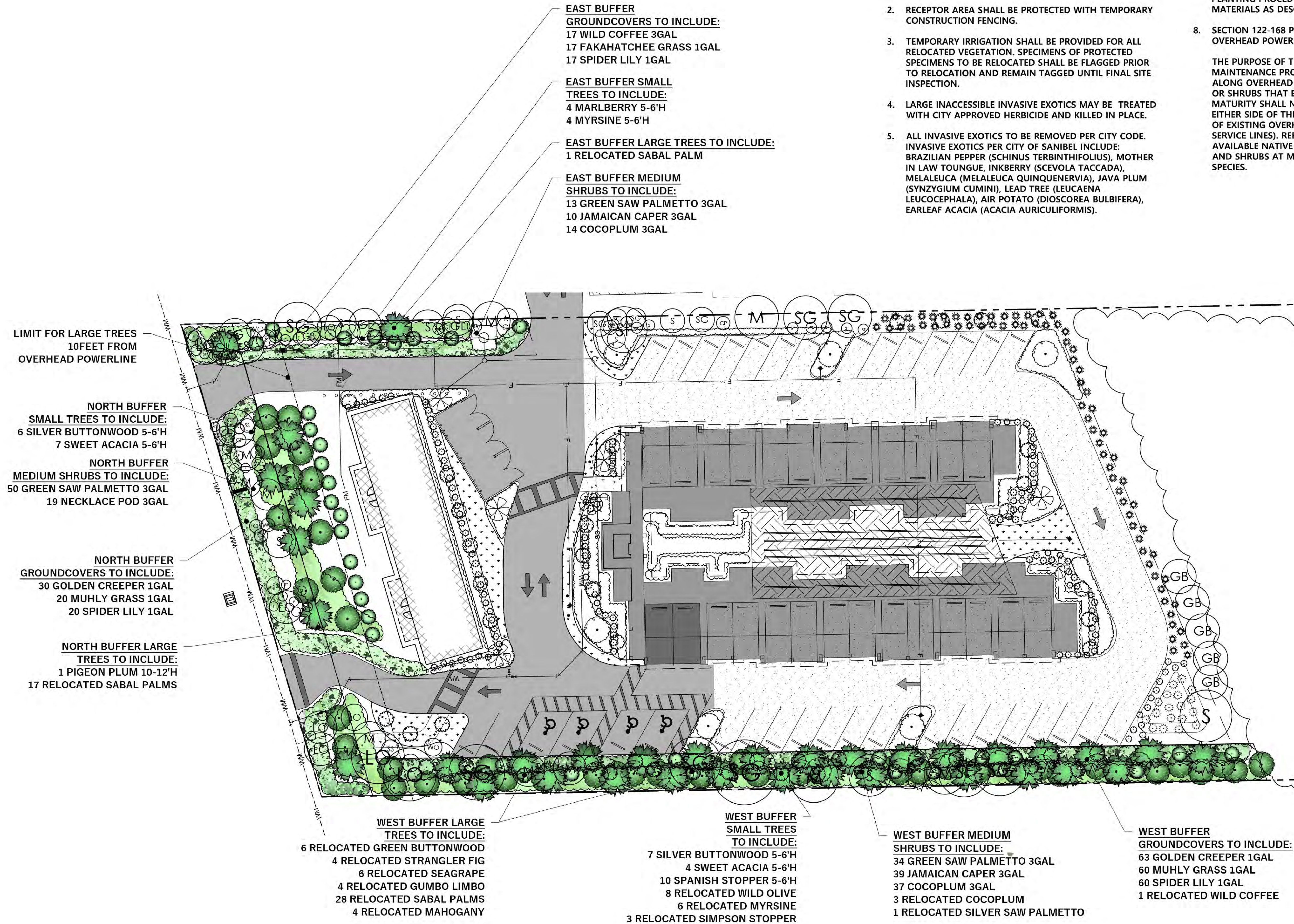
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SCALE: NO SCALE

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SITE PLAN NOTES:

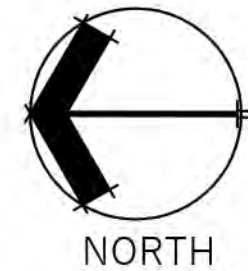
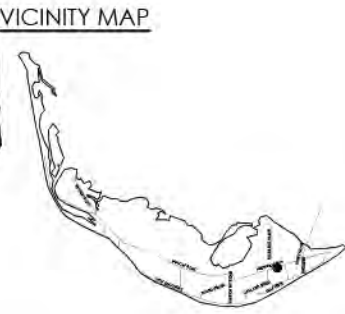
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8. SECTION 122-168 PLANTING LIMITATIONS UNDER OVERHEAD POWER LINES.

THE PURPOSE OF THIS SECTION IS TO REDUCE MAINTENANCE PROBLEMS DUE TO VEGETATIVE GROWTH ALONG OVERHEAD POWER LINES WITHIN THE CITY. TREES OR SHRUBS THAT EXCEED 20 FEET IN HEIGHT AT MATURITY SHALL NOT BE PLANTED WITHIN TEN FEET EITHER SIDE OF THE VERTICAL PLANE OF THE CENTERLINE OF EXISTING OVERHEAD POWER LINES(NOT INCLUDING SERVICE LINES). REFER TO THE CITY'S HORTICULTURALLY AVAILABLE NATIVE PLANT LIST FOR HEIGHTS OF TREES AND SHRUBS AT MATURITY TO DETERMINE SUITABLE SPECIES.

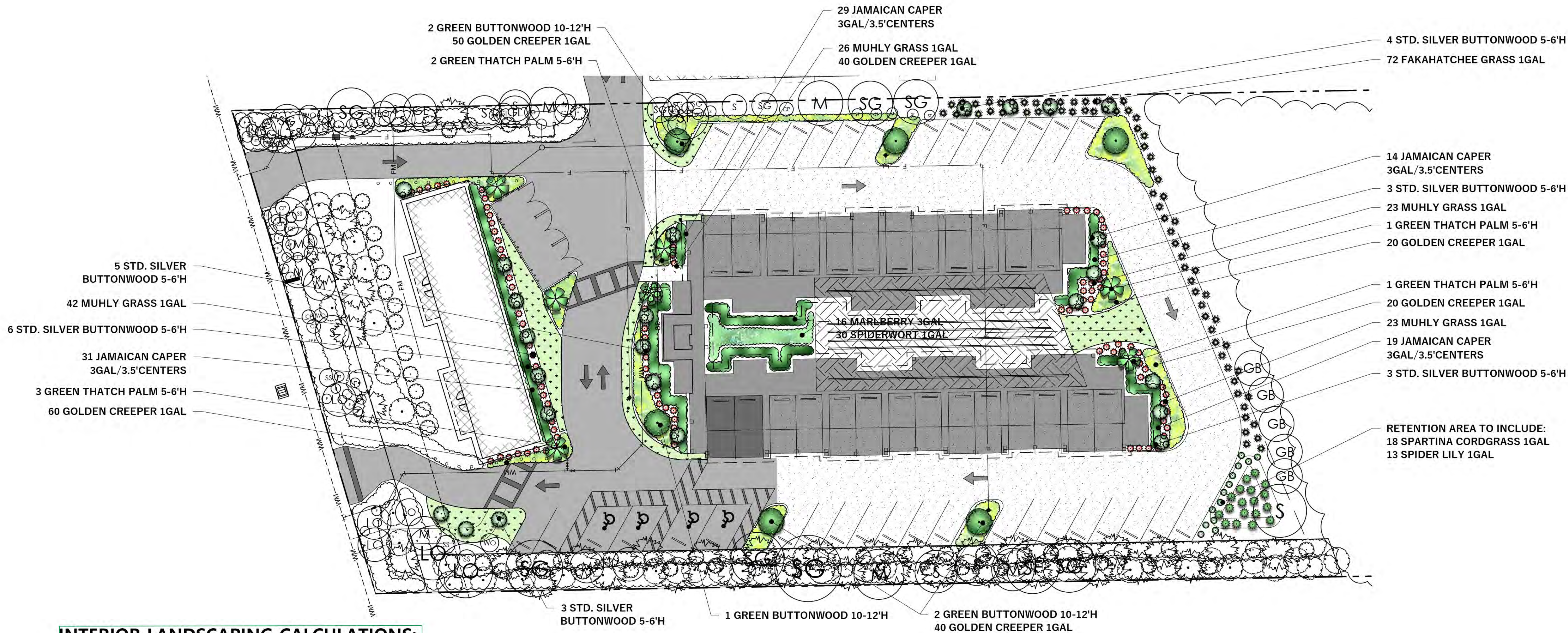
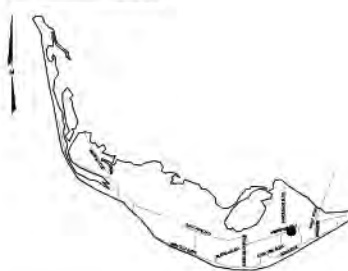
DEP DRAWINGS SCHEDULE

- | | |
|----|---------------------------------|
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REV 7.	XX-XX-XX	
REV 8.	XX-XX-XX	



INTERIOR LANDSCAPING CALCULATIONS:

OFF STREET PARKING AREAS SHALL HAVE AT LEAST 20SF
OF INTERIOR LANDSCAPING FOR EACH PARKING SPACE

PARKING SPACES=61
61 (PARKING SPACE) X 20SF = 1220 SF OF INTERIOR LANDSCAPING NEEDED

EACH 200SF OF LANDSCAPED AREA SHALL HAVE AT LEAST ONE
TALL OR MEDIUM TREE, FIVE SMALL TREES AND EIGHT SMALL SHRUBS
OR GROUNDCOVER PLANTS AT LEAST 75 PERCENT OF WHICH ARE NATIVE
PLANTS LOW GRASSES SUCH AS ST.AUGUSTINE, BAHIA, BERMUDA,
AND ZOYSIA GRASSES AND OTHER EXOTIC GRASSES AND VINES
SHALL NOT BE USED (SANIBEL MUNI-CODE, SECTION 126-1405)

TALL OR MEDIUM TREE REQUIREMENTS:(100% NATIVE PROPOSED)
NEEDED: 6 TALL OR MEDIUM TREES
6 STD. GREEN BUTTONWOOD 10-12'H
6 TALL OR MEDIUM TREES PROVIDED

SMALL TREE REQUIREMENTS: (100% NATIVE PROPOSED)
NEEDED: 31 SMALL TREES
24 STD. SILVER BUTTONWOOD 5-6'H
7 GREEN THATCH PALM 5-6'H
31 SMALL TREES PROVIDED

SMALL SHRUBS OR GROUNDCOVERS: (100% NATIVE PROPOSED)
NEEDED: 49 SMALL SHRUBS OR GROUNDCOVERS
180 GOLDEN CREEPER 1GAL
88 MUHLY GRASS 1GAL
93 JAMAICAN CAPER 3GAL
13 SPIDER LILY 1GAL
18 SPARTINA CORDGRASS 1GAL
16 MARLBERRY 3GAL
30 SPIDERWORT 1GAL
438 SMALL SHRUBS OR GROUNDCOVERS PROVIDED

SITE PLAN NOTES:

- ALL EXISTING SPECIMENS OF PROTECTED SPECIES WILL
REMAIN IN PLACE OR BE RELOCATED ON SITE IN
DESIGNATED RECEPTOR AREAS AND RELOCATED TO
BUFFERS.
- RECEPTOR AREA SHALL BE PROTECTED WITH TEMPORARY
CONSTRUCTION FENCING.
- TEMPORARY IRRIGATION SHALL BE PROVIDED FOR ALL
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OVERHEAD POWER LINES.

THE PURPOSE OF THIS SECTION IS TO REDUCE
MAINTENANCE PROBLEMS DUE TO VEGETATIVE GROWTH
ALONG OVERHEAD POWER LINES WITHIN THE CITY. TREES
OR SHRUBS THAT EXCEED 20 FEET IN HEIGHT AT
MATURITY SHALL NOT BE PLANTED WITHIN TEN FEET
EITHER SIDE OF THE VERTICAL PLANE OF THE CENTERLINE
OF EXISTING OVERHEAD POWER LINES(NOT INCLUDING
SERVICE LINES). REFER TO THE CITY'S HORTICULTURALLY
AVAILABLE NATIVE PLANT LIST FOR HEIGHTS OF TREES
AND SHRUBS AT MATURITY TO DETERMINE SUITABLE
SPECIES.

SOD CALCULATIONS:

TOTAL LOT SQUARE FOOTAGE ACCORDING TO LEEPA: 112,546sf
TOTAL SOD ALLOWED: 4,000SF
TOTAL SOD PROPOSED: 1,497SF

