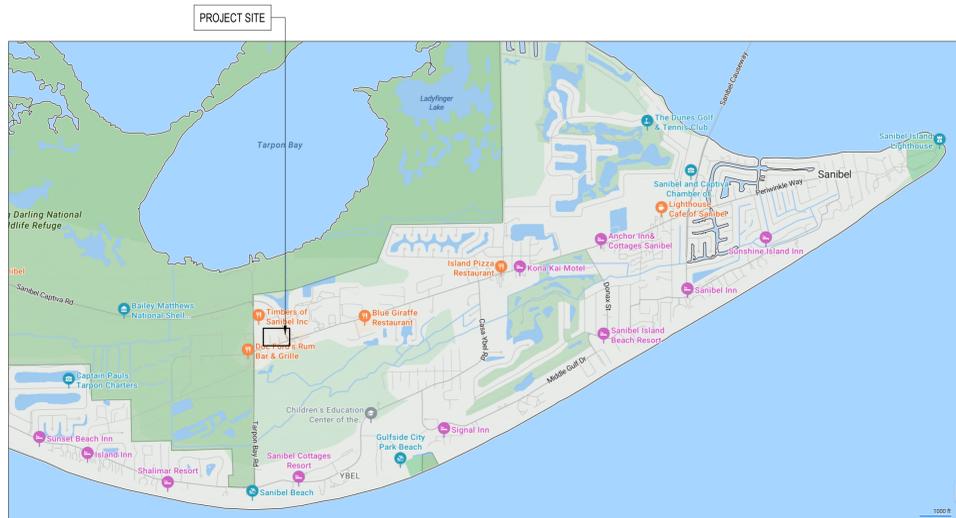




PALM RIDGE ROAD PERSPECTIVE
ARCHITECTURAL RENDERING FOR REFERENCE ONLY



SANIBEL FIRE AND RESCUE STATION 171 RENOVATION

2351 PALM RIDGE ROAD
SANIBEL, FLORIDA 33957

100% CONSTRUCTION DOCUMENTS

COMM. NO.: 2025806

11.11.2025

LANDSCAPE ARCHITECT

COSTAL VISTA DESIGN
2410 PALM RIDGE ROAD
SANIBEL, FLORIDA, 33957

PHONE: 239.558.4610
WWW.COASTALVISTADDESIGN.COM

PLUMBING ENGINEER

CMTA ENGINEERING
9728 COMMERCE CENTER COURT
FORT MYERS, FL, 33908

PHONE: 239.454.5117
WWW.CMTA.COM

ELECTRICAL ENGINEER

CMTA ENGINEERING
9728 COMMERCE CENTER COURT
FORT MYERS, FL, 33908

PHONE: 239.454.5117
WWW.CMTA.COM

MECHANICAL ENGINEER

CMTA ENGINEERING
9728 COMMERCE CENTER COURT
FORT MYERS, FL, 33908

PHONE: 239.454.5117
WWW.CMTA.COM

CIVIL ENGINEER

RESPEC COMPANY, LLC
1412 JACKSON STREET, SUITE #1
FORT MYERS, FLORIDA, 33901

PHONE: 239.418.0891
WWW.RESPEC.COM

STRUCTURAL ENGINEER

TRC WORLDWIDE ENGINEERING, INC.
11926 FAIRWAY LAKES DRIVE
FORT MYERS, FLORIDA, 33913

PHONE: 239.939.1414
WWW.TRCWW.COM

OWNER

SANIBEL FIRE AND RESCUE DISTRICT
2351 PALM RIDGE ROAD
SANIBEL, FLORIDA, 33957

PHONE: 239-472-5525
WWW.SANIBELFIRE.COM

ARCHITECT OF RECORD

SCHENKEL SCHULTZ ARCHITECTURE
9510 CORKSCREW PALMS CIRCLE
ESTERO, FL 33928

PHONE: 239.208.4846
WWW.SCHENKELSHULTZ.COM



SANIBEL FIRE & RESCUE DISTRICT
2351 PALM RIDGE ROAD, SANIBEL, FLORIDA 33957

**SANIBEL FIRE AND RESCUE
STATION 171 RENOVATION**

PROJECT LOCATION:

2351 PALM RIDGE ROAD
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G001

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SANIBEL FIRE & RESCUE DISTRICT
2351 PALM RIDGE ROAD, SANIBEL, FLORIDA 33957

SANIBEL FIRE AND RESCUE STATION 171 RENOVATION

PROJECT LOCATION:
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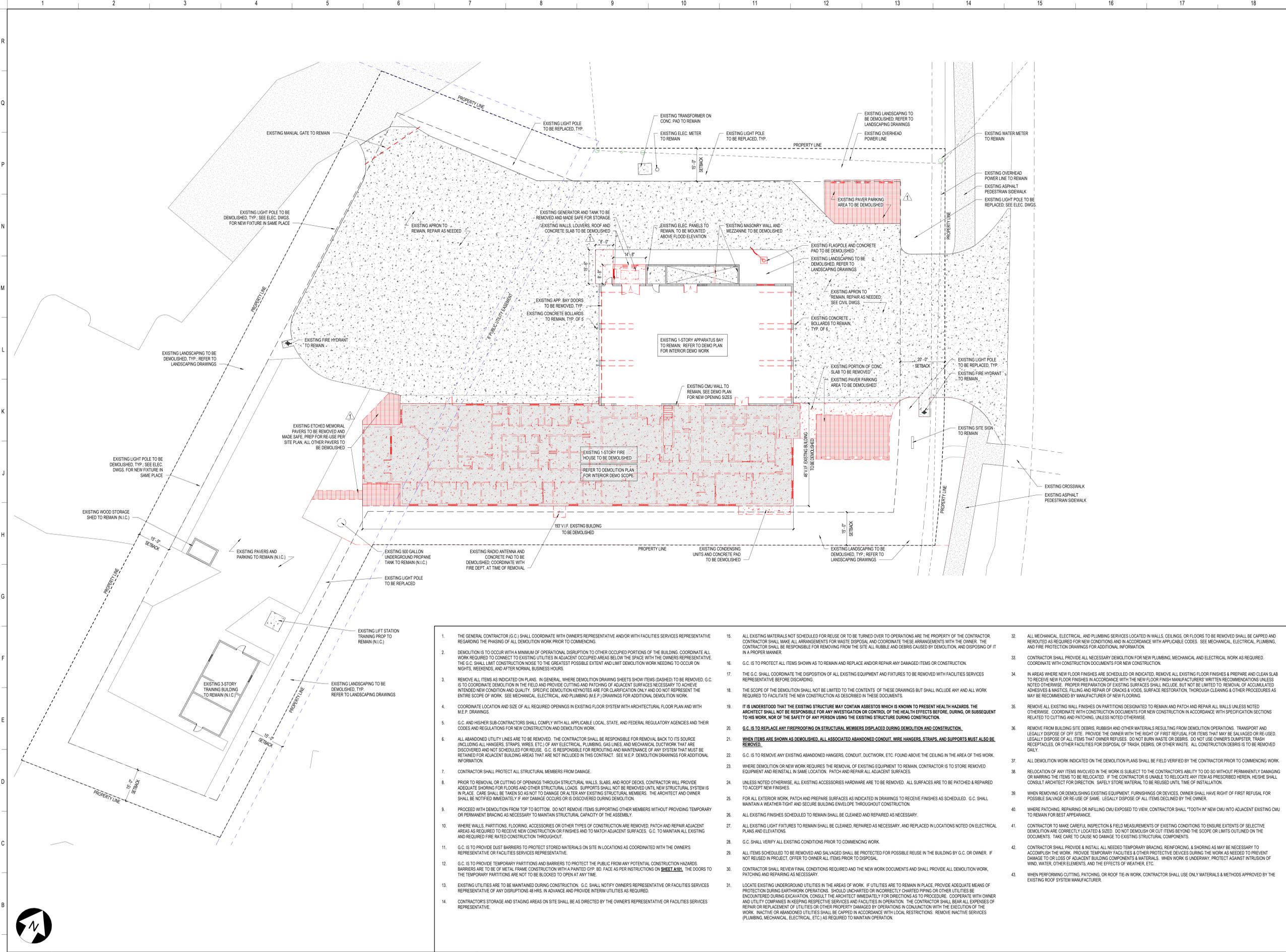
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DEMOLITION SITE PLAN

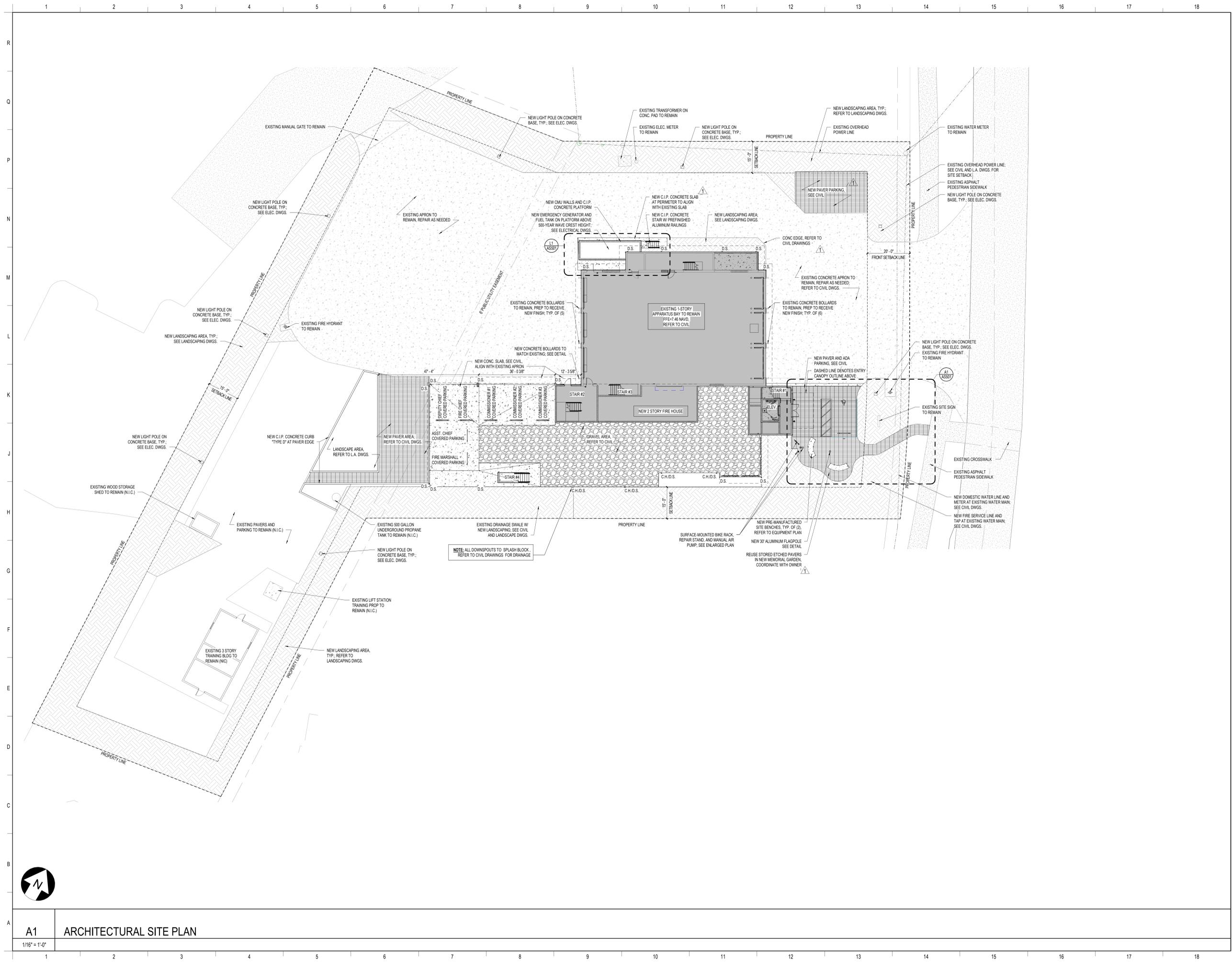
AS011
100% CONSTRUCTION DOCUMENTS



- THE GENERAL CONTRACTOR (G.C.) SHALL COORDINATE WITH OWNER'S REPRESENTATIVE AND/OR WITH FACILITIES SERVICES REPRESENTATIVE REGARDING THE PHASING OF ALL DEMOLITION WORK PRIOR TO COMMENCING.
- DEMOLITION IS TO OCCUR WITH A MINIMUM OF OPERATIONAL DISRUPTION TO OTHER OCCUPIED PORTIONS OF THE BUILDING. COORDINATE ALL WORK REQUIRED TO CONNECT TO EXISTING UTILITIES IN ADJACENT OCCUPIED AREAS BELOW THE SPACE WITH THE OWNER'S REPRESENTATIVE. THE G.C. SHALL LIMIT CONSTRUCTION NOISE TO THE GREATEST POSSIBLE EXTENT AND LIMIT DEMOLITION WORK NEEDING TO OCCUR ON NIGHTS, WEEKENDS, AND AFTER NORMAL BUSINESS HOURS.
- REMOVE ALL ITEMS AS INDICATED ON PLANS. IN GENERAL, WHERE DEMOLITION DRAWINGS SHEETS SHOW ITEMS (DASHED) TO BE REMOVED, G.C. IS TO COORDINATE DEMOLITION IN THE FIELD AND PROVIDE CUTTING AND PATCHING OF ADJACENT SURFACES NECESSARY TO ACHIEVE INTENDED NEW CONDITION AND QUALITY. SPECIFIC DEMOLITION KEYNOTES ARE FOR CLARIFICATION ONLY AND DO NOT REPRESENT THE ENTIRE SCOPE OF WORK. SEE MECHANICAL, ELECTRICAL, AND PLUMBING (M.E.P.) DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
- COORDINATE LOCATION AND SIZE OF ALL REQUIRED OPENINGS IN EXISTING FLOOR SYSTEM WITH ARCHITECTURAL FLOOR PLAN AND WITH M.E.P. DRAWINGS.
- G.C. AND HIS/HER SUB-CONTRACTORS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATORY AGENCIES AND THEIR CODES AND REGULATIONS FOR NEW CONSTRUCTION AND DEMOLITION WORK.
- ALL ABANDONED UTILITY LINES ARE TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL BACK TO ITS SOURCE (INCLUDING ALL HANGERS, STRAPS, ETC.) OF ANY ELECTRICAL, PLUMBING, GAS LINES, AND MECHANICAL DUCTWORK THAT ARE DISCOVERED AND NOT SCHEDULED FOR RE-USE. G.C. IS RESPONSIBLE FOR REROUTING AND MAINTENANCE OF ANY SYSTEM THAT MUST BE RETAINED FOR ADJACENT BUILDING AREAS THAT ARE NOT INCLUDED IN THIS CONTRACT. SEE M.E.P. DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL MEMBERS FROM DAMAGE.
- PRIOR TO REMOVAL OR CUTTING OF OPENINGS THROUGH STRUCTURAL WALLS, SLABS, AND ROOF DECKS, CONTRACTOR WILL PROVIDE ADEQUATE SHORING FOR FLOORS AND OTHER STRUCTURAL LOADS. SUPPORTS SHALL NOT BE REMOVED UNTIL NEW STRUCTURAL SYSTEM IS IN PLACE. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE OR ALTER ANY EXISTING STRUCTURAL MEMBERS. THE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY DAMAGE OCCURS OR IS DISCOVERED DURING DEMOLITION.
- PROCEED WITH DEMOLITION FROM TOP TO BOTTOM. DO NOT REMOVE ITEMS SUPPORTING OTHER MEMBERS WITHOUT PROVIDING TEMPORARY OR PERMANENT BRACING AS NECESSARY TO MAINTAIN STRUCTURAL CAPACITY OF THE ASSEMBLY.
- WHERE WALLS, PARTITIONS, FLOORING, ACCESSORIES OR OTHER TYPES OF CONSTRUCTION ARE REMOVED, PATCH AND REPAIR ADJACENT AREAS AS REQUIRED TO RECEIVE NEW CONSTRUCTION OR FINISHES AND TO MATCH ADJACENT SURFACES. G.C. TO MAINTAIN ALL EXISTING AND REQUIRED FIRE RATED CONSTRUCTION THROUGHOUT.
- G.C. IS TO PROVIDE DUST BARRIERS TO PROTECT STORED MATERIALS ON SITE IN LOCATIONS AS COORDINATED WITH THE OWNER'S REPRESENTATIVE OR FACILITIES SERVICES REPRESENTATIVE.
- G.C. IS TO PROVIDE TEMPORARY PARTITIONS AND BARRIERS TO PROTECT THE PUBLIC FROM ANY POTENTIAL CONSTRUCTION HAZARDS. AREAS AS REQUIRED TO RECEIVE NEW CONSTRUCTION OR FINISHES AND TO MATCH ADJACENT SURFACES. G.C. TO MAINTAIN ALL EXISTING AND REQUIRED FIRE RATED CONSTRUCTION THROUGHOUT.
- EXISTING UTILITIES ARE TO BE MAINTAINED DURING CONSTRUCTION. G.C. SHALL NOTIFY OWNER'S REPRESENTATIVE OR FACILITIES SERVICES REPRESENTATIVE OF ANY DISRUPTIONS 48 HRS. IN ADVANCE AND PROVIDE INTERIM UTILITIES AS REQUIRED.
- CONTRACTOR STORAGE AND STAGING AREAS ON SITE SHALL BE AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR FACILITIES SERVICES REPRESENTATIVE.
- ALL EXISTING MATERIALS NOT SCHEDULED FOR REUSE OR TO BE TURNED OVER TO OPERATIONS ARE THE PROPERTY OF THE CONTRACTOR. CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR WASTE DISPOSAL AND COORDINATE THESE ARRANGEMENTS WITH THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL RUBBLE AND DEBRIS CAUSED BY DEMOLITION, AND DISPOSING OF IT IN A PROPER MANNER.
- G.C. IS TO PROTECT ALL ITEMS SHOWN AS TO REMAIN AND REPLACE AND/OR REPAIR ANY DAMAGED ITEMS OR CONSTRUCTION.
- THE G.C. SHALL COORDINATE THE DISPOSITION OF ALL EXISTING EQUIPMENT AND FIXTURES TO BE REMOVED WITH FACILITIES SERVICES REPRESENTATIVE BEFORE DISCARDING.
- THE SCOPE OF THE DEMOLITION SHALL NOT BE LIMITED TO THE CONTENTS OF THESE DRAWINGS BUT SHALL INCLUDE ANY AND ALL WORK REQUIRED TO FACILITATE THE NEW CONSTRUCTION AS DESCRIBED IN THESE DOCUMENTS.
- IT IS UNDERSTOOD THAT THE EXISTING STRUCTURE MAY CONTAIN ASBESTOS WHICH IS KNOWN TO PRESENT HEALTH HAZARDS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INVESTIGATION OR CONTROL OF THE HEALTH EFFECTS BEFORE, DURING, OR SUBSEQUENT TO HIS WORK, NOR OF ANY PERSON USING THE EXISTING STRUCTURE DURING CONSTRUCTION.
- G.C. IS TO REPLACE ANY FIREPROOFING ON STRUCTURAL MEMBERS DISPLACED DURING DEMOLITION AND CONSTRUCTION.
- WHEN ITEMS ARE SHOWN AS DEMOLISHED, ALL ASSOCIATED ABANDONED CONDUIT, WIRE HANGERS, STRAPS, AND SUPPORTS MUST ALSO BE REMOVED.
- G.C. IS TO REMOVE ANY EXISTING ABANDONED HANGERS, CONDUIT, DUCTWORK, ETC. FOUND ABOVE THE CEILING IN THE AREA OF THIS WORK.
- WHERE DEMOLITION OR NEW WORK REQUIRES THE REMOVAL OF EXISTING EQUIPMENT TO REMAIN, CONTRACTOR IS TO STORE REMOVED EQUIPMENT AND REINSTALL IN SAME LOCATION. PATCH AND REPAIR ALL ADJACENT SURFACES.
- UNLESS NOTED OTHERWISE, ALL EXISTING ACCESSORIES HARDWARE ARE TO BE REMOVED. ALL SURFACES ARE TO BE PATCHED & REPAIRED TO ACCEPT NEW FINISHES.
- FOR ALL EXTERIOR WORK, PATCH AND PREPARE SURFACES AS INDICATED IN DRAWINGS TO RECEIVE FINISHES AS SCHEDULED. G.C. SHALL MAINTAIN A WEATHER-TIGHT AND SECURE BUILDING ENVELOPE THROUGHOUT CONSTRUCTION.
- ALL EXISTING FINISHES SCHEDULED TO REMAIN SHALL BE CLEANED AND REPAIRED AS NECESSARY.
- ALL EXISTING LIGHT FIXTURES TO REMAIN SHALL BE CLEANED, REPAIRED AS NECESSARY, AND REPLACED IN LOCATIONS NOTED ON ELECTRICAL PLANS AND ELEVATIONS.
- G.C. SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- ALL ITEMS SCHEDULED TO BE REMOVED AND SALVAGED SHALL BE PROTECTED FOR POSSIBLE REUSE IN THE BUILDING BY G.C. OR OWNER. IF NOT REUSED IN PROJECT, OFFER TO OWNER ALL ITEMS PRIOR TO DISPOSAL.
- CONTRACTOR SHALL REVIEW FINAL CONDITIONS REQUIRED AND THE NEW WORK DOCUMENTS AND SHALL PROVIDE ALL DEMOLITION WORK, PATCHING AND REPAIRING AS NECESSARY.
- LOCATE EXISTING UNDERGROUND UTILITIES IN THE AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF PROTECTION DURING EARTHWORK OPERATIONS. SHOULD UNCHARTERED OR INCORRECTLY CHARTERED PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT THE ARCHITECT IMMEDIATELY FOR DIRECTIONS AS TO PROCEDURE. COOPERATE WITH OWNER AND UTILITY COMPANIES IN KEEPING RESPECTIVE SERVICES AND FACILITIES IN OPERATION. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK. INACTIVE OR ABANDONED UTILITIES SHALL BE CAPPED IN ACCORDANCE WITH LOCAL RESTRICTIONS. REMOVE INACTIVE SERVICES (PLUMBING, MECHANICAL, ELECTRICAL, ETC.) AS REQUIRED TO MAINTAIN OPERATION.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SERVICES LOCATED IN WALLS, CEILINGS, OR FLOORS TO BE REMOVED SHALL BE CAPPED AND REROUTED AS REQUIRED FOR NEW CONDITIONS AND IN ACCORDANCE WITH APPLICABLE CODES. SEE MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY DEMOLITION FOR NEW PLUMBING, MECHANICAL AND ELECTRICAL WORK AS REQUIRED. COORDINATE WITH CONSTRUCTION DOCUMENTS FOR NEW CONSTRUCTION.
- IN AREAS WHERE NEW FLOOR FINISHES ARE SCHEDULED OR INDICATED, REMOVE ALL EXISTING FLOOR FINISHES & PREPARE AND CLEAN SLAB TO RECEIVE NEW FLOOR FINISHES IN ACCORDANCE WITH THE NEW FLOOR FINISH MANUFACTURERS' WRITTEN RECOMMENDATIONS UNLESS NOTED OTHERWISE. PROPER PREPARATION OF EXISTING SURFACES SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF ACCUMULATED ADHESIVES & MASTICS, FILLING AND REPAIR OF CRACKS & VOIDS, SURFACE RESTORATION, THOROUGH CLEANING & OTHER PROCEDURES AS MAY BE RECOMMENDED BY MANUFACTURER OF NEW FLOORING.
- REMOVE ALL EXISTING WALL FINISHES ON PARTITIONS DESIGNATED TO REMAIN AND PATCH AND REPAIR ALL WALLS UNLESS NOTED OTHERWISE. COORDINATE WITH CONSTRUCTION DOCUMENTS FOR NEW CONSTRUCTION IN ACCORDANCE WITH SPECIFICATION SECTIONS RELATED TO CUTTING AND PATCHING, UNLESS NOTED OTHERWISE.
- REMOVE FROM BUILDING SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OF OFF SITE. PROVIDE THE OWNER WITH THE RIGHT OF FIRST REFUSAL FOR ITEMS THAT MAY BE SALVAGED OR RE-USED. LEGALLY DISPOSE OF ALL ITEMS THAT OWNER REFUSES. DO NOT BURN WASTE OR DEBRIS. DO NOT USE OWNER'S DUMPSTER, TRASH RECEPTACLES, OR OTHER FACILITIES FOR DISPOSAL OF TRASH, DEBRIS, OR OTHER WASTE. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED DAILY.
- ALL DEMOLITION WORK INDICATED ON THE DEMOLITION PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK.
- RELOCATION OF ANY ITEMS INVOLVED IN THE WORK IS SUBJECT TO THE CONTRACTOR'S ABILITY TO DO SO WITHOUT PERMANENTLY DAMAGING OR MARRING THE ITEMS TO BE RELOCATED. IF THE CONTRACTOR IS UNABLE TO RELOCATE ANY ITEM AS PRESCRIBED HEREIN, HE/SHE SHALL CONSULT ARCHITECT FOR DIRECTION. SAFELY STORE MATERIAL TO BE REUSED UNTIL TIME OF INSTALLATION.
- WHEN REMOVING OR DEMOLISHING EXISTING EQUIPMENT, FURNISHINGS OR DEVICES, OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR POSSIBLE SALVAGE OR RE-USE OF SAME. LEGALLY DISPOSE OF ALL ITEMS DECLINED BY THE OWNER.
- WHERE PATCHING, REPAIRING OR INFILLING CMU EXPOSED TO VIEW, CONTRACTOR SHALL "TOOTH IN" NEW CMU INTO ADJACENT EXISTING CMU TO REMAIN FOR BEST APPEARANCE.
- CONTRACTOR TO MAKE CAREFUL INSPECTION & FIELD MEASUREMENTS OF EXISTING CONDITIONS TO ENSURE EXTENTS OF SELECTIVE DEMOLITION ARE CORRECTLY LOCATED & SIZED. DO NOT DEMOLISH OR CUT ITEMS BEYOND THE SCOPE OR LIMITS OUTLINED ON THE DOCUMENTS. TAKE CARE TO CAUSE NO DAMAGE TO EXISTING STRUCTURAL COMPONENTS.
- CONTRACTOR SHALL PROVIDE & INSTALL ALL NEEDED TEMPORARY BRACING, REINFORCING, & SHORING AS MAY BE NECESSARY TO ACCOMPLISH THE WORK. PROVIDE TEMPORARY COMPONENTS & MATERIALS. WHEN WORK IS UNDERWAY, PROTECT AGAINST INTRUSION OF WIND, WATER, OTHER ELEMENTS, AND THE EFFECTS OF WEATHER, ETC.
- WHEN PERFORMING CUTTING, PATCHING, OR ROOF TIE-IN WORK, CONTRACTOR SHALL USE ONLY MATERIALS & METHODS APPROVED BY THE EXISTING ROOF SYSTEM MANUFACTURER.

A1 DEMOLITION SITE PLAN
1/16" = 1'-0"

GENERAL NOTES - DEMOLITION



SANIBEL FIRE & RESCUE DISTRICT
2351 PALM RIDGE ROAD, SANIBEL, FLORIDA 33957

SANIBEL FIRE AND RESCUE STATION 171 RENOVATION

PROJECT LOCATION:
2351 PALM RIDGE ROAD
SANIBEL, FLORIDA 33957



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ARCHITECTURAL SITE PLAN

A1 ARCHITECTURAL SITE PLAN

1/16" = 1'-0"

AS012

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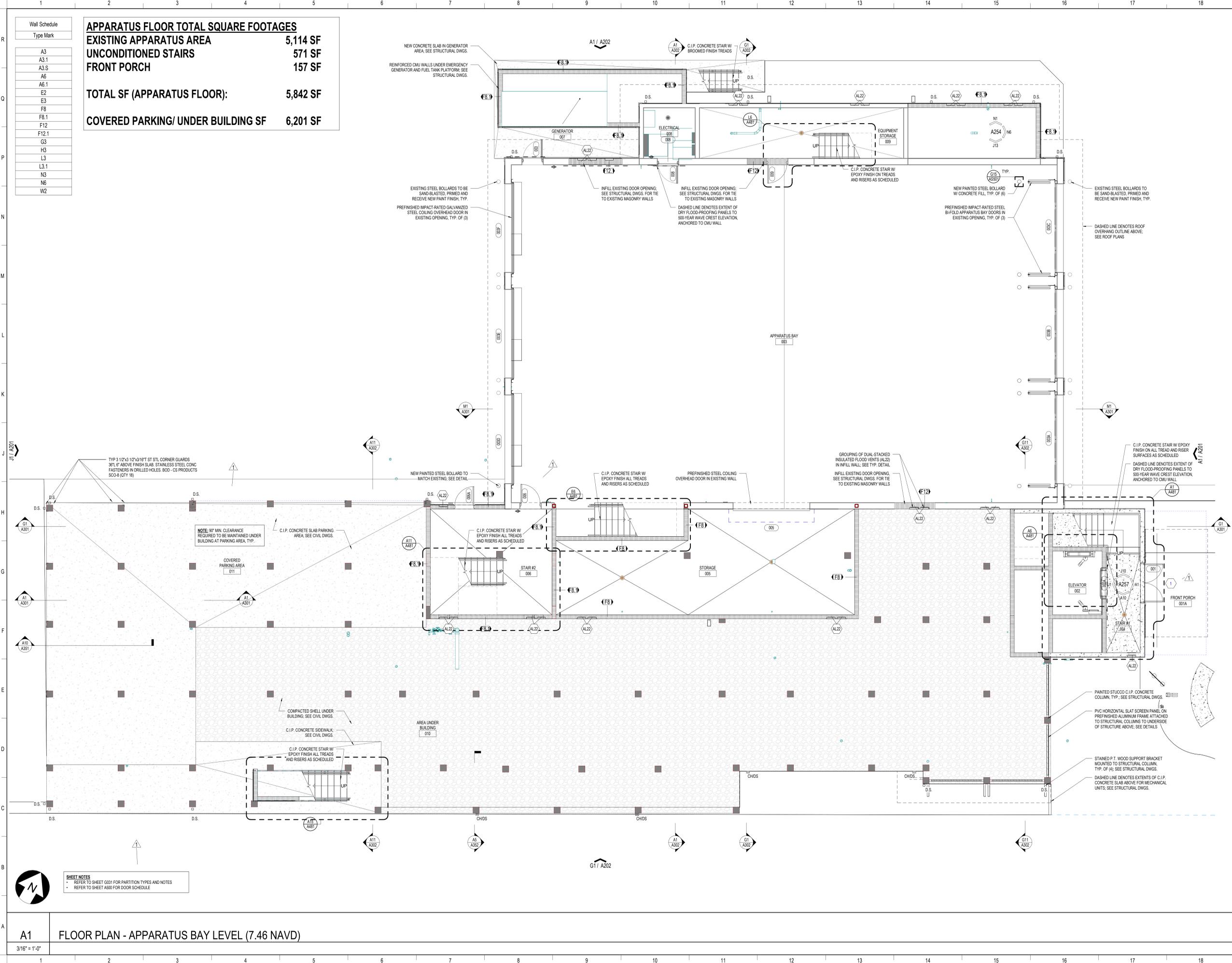
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**ARCHITECTURAL PLAN -
APPARATUS BAY**

A101
100% CONSTRUCTION DOCUMENTS

Wall Schedule	Type Mark
A3	
A3.1	
A3.S	
A6	
A6.1	
E2	
E3	
F8	
F8.1	
F12	
F12.1	
G3	
H3	
L3	
L3.1	
N3	
N6	
W2	

APPARATUS FLOOR TOTAL SQUARE FOOTAGES	
EXISTING APPARATUS AREA	5,114 SF
UNCONDITIONED STAIRS	571 SF
FRONT PORCH	157 SF
TOTAL SF (APPARATUS FLOOR):	5,842 SF
COVERED PARKING/ UNDER BUILDING SF	6,201 SF



SHEET NOTES
 • REFER TO SHEET 0001 FOR PARTITION TYPES AND NOTES
 • REFER TO SHEET A500 FOR DOOR SCHEDULE

A1 FLOOR PLAN - APPARATUS BAY LEVEL (7.46 NAVD)
3/16" = 1'-0"

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SANIBEL FIRE & RESCUE DISTRICT
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**SANIBEL FIRE AND RESCUE
STATION 171 RENOVATION**

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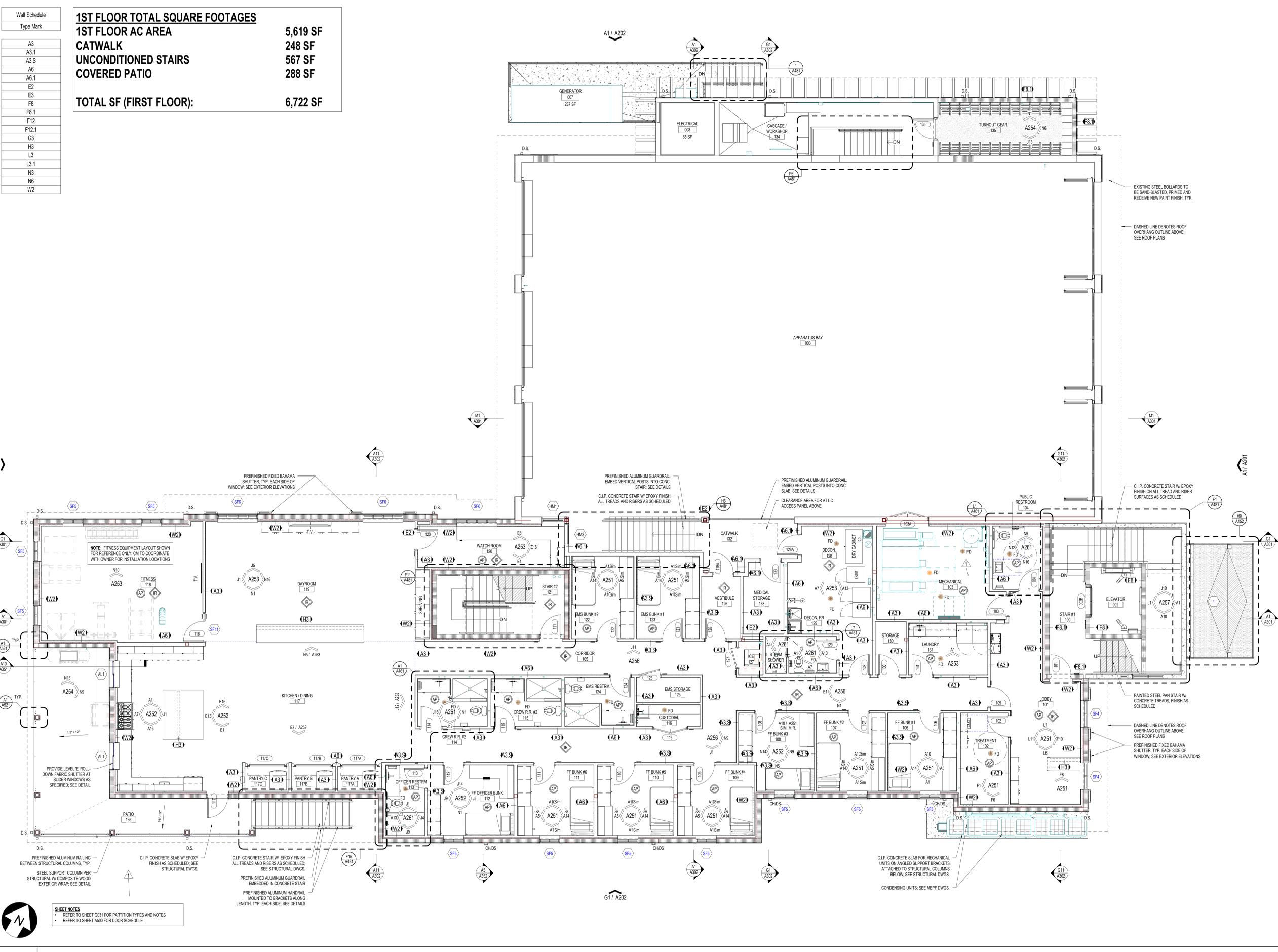
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**ARCHITECTURAL PLAN -
FIRST FLOOR**

A102
100% CONSTRUCTION DOCUMENTS



1ST FLOOR TOTAL SQUARE FOOTAGES

1ST FLOOR AC AREA	5,619 SF
CATWALK	248 SF
UNCONDITIONED STAIRS	567 SF
COVERED PATIO	288 SF
TOTAL SF (FIRST FLOOR):	6,722 SF

Wall Schedule

Type Mark	Description
A3	
A3.1	
A3.S	
A6	
A6.1	
E2	
E3	
F8	
F8.1	
F12	
F12.1	
G3	
H3	
L3	
L3.1	
N3	
N6	
W2	

SHEET NOTES

- REFER TO SHEET G01 FOR PARTITION TYPES AND NOTES
- REFER TO SHEET A300 FOR DOOR SCHEDULE

A1 FLOOR PLAN - FIRST FLOOR (16.00 NAVD)
3/16" = 1'-0"

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SANIBEL FIRE & RESCUE DISTRICT
2351 PALM RIDGE ROAD, SANIBEL, FLORIDA 33957

**SANIBEL FIRE AND RESCUE
STATION 171 RENOVATION**

PROJECT LOCATION:
2351 PALM RIDGE ROAD
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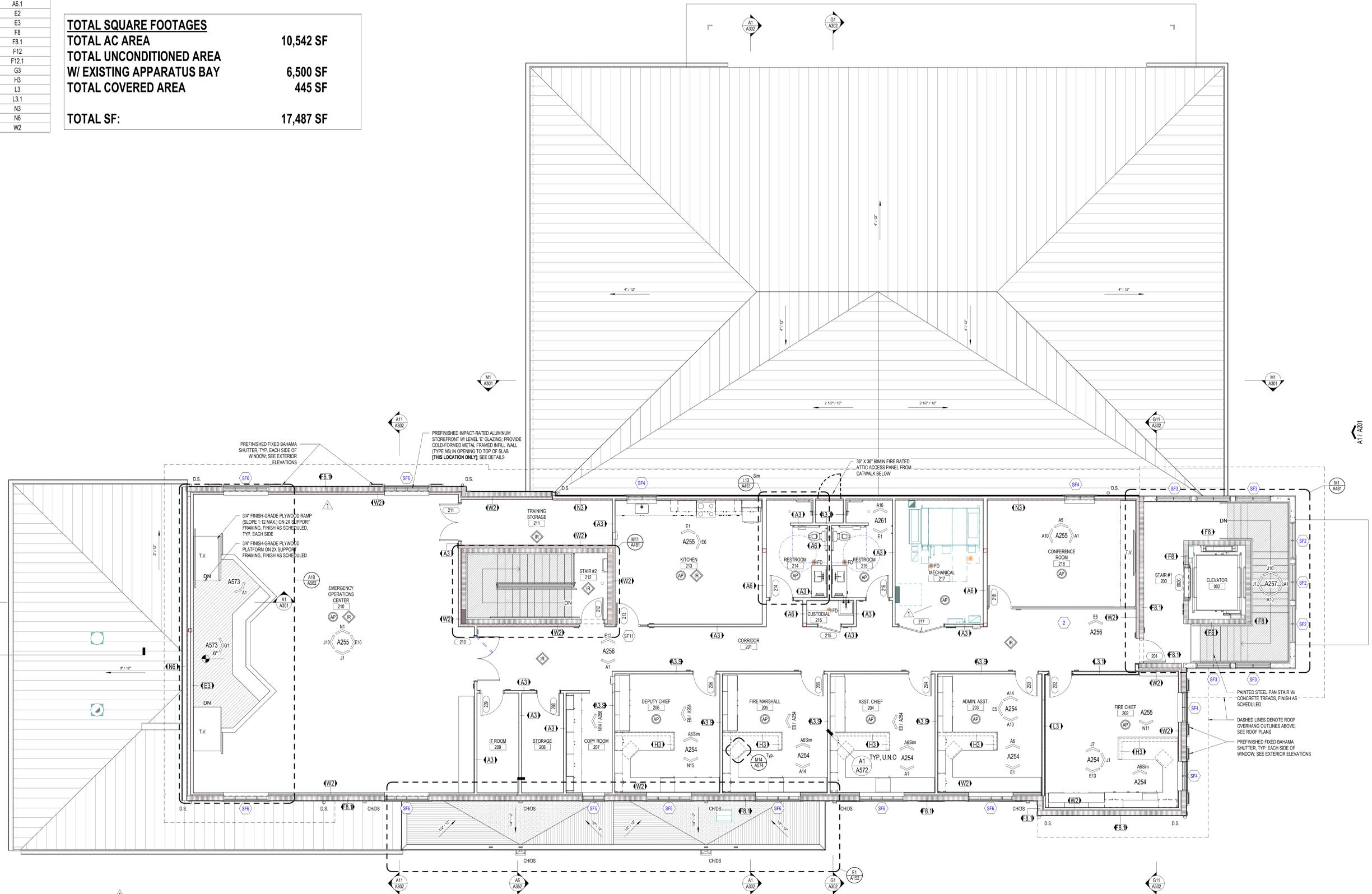
**ARCHITECTURAL PLAN -
SECOND FLOOR**

A103
100% CONSTRUCTION DOCUMENTS

Wall Schedule	Type Mark
A3	
A3.1	
A3.S	
A6	
A6.1	
E2	
E3	
F8	
F8.1	
F12	
F12.1	
G3	
H3	
L3	
L3.1	
N3	
N6	
W2	

2ND FLOOR TOTAL SQUARE FOOTAGES
2ND FLOOR AC AREA 4,923 SF
TOTAL SF (FIRST FLOOR): 4,923 SF

TOTAL SQUARE FOOTAGES
TOTAL AC AREA 10,542 SF
TOTAL UNCONDITIONED AREA
W/ EXISTING APPARATUS BAY 6,500 SF
TOTAL COVERED AREA 445 SF
TOTAL SF: 17,487 SF



SHEET NOTES
• REFER TO SHEET G301 FOR PARTITION TYPES AND NOTES
• REFER TO SHEET A300 FOR DOOR SCHEDULE

A1 FLOOR PLAN - SECOND FLOOR
3/16" = 1'-0"

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SANIBEL FIRE & RESCUE DISTRICT
2351 PALM RIDGE ROAD, SANIBEL, FLORIDA 33957

**SANIBEL FIRE AND RESCUE
STATION 171 RENOVATION**

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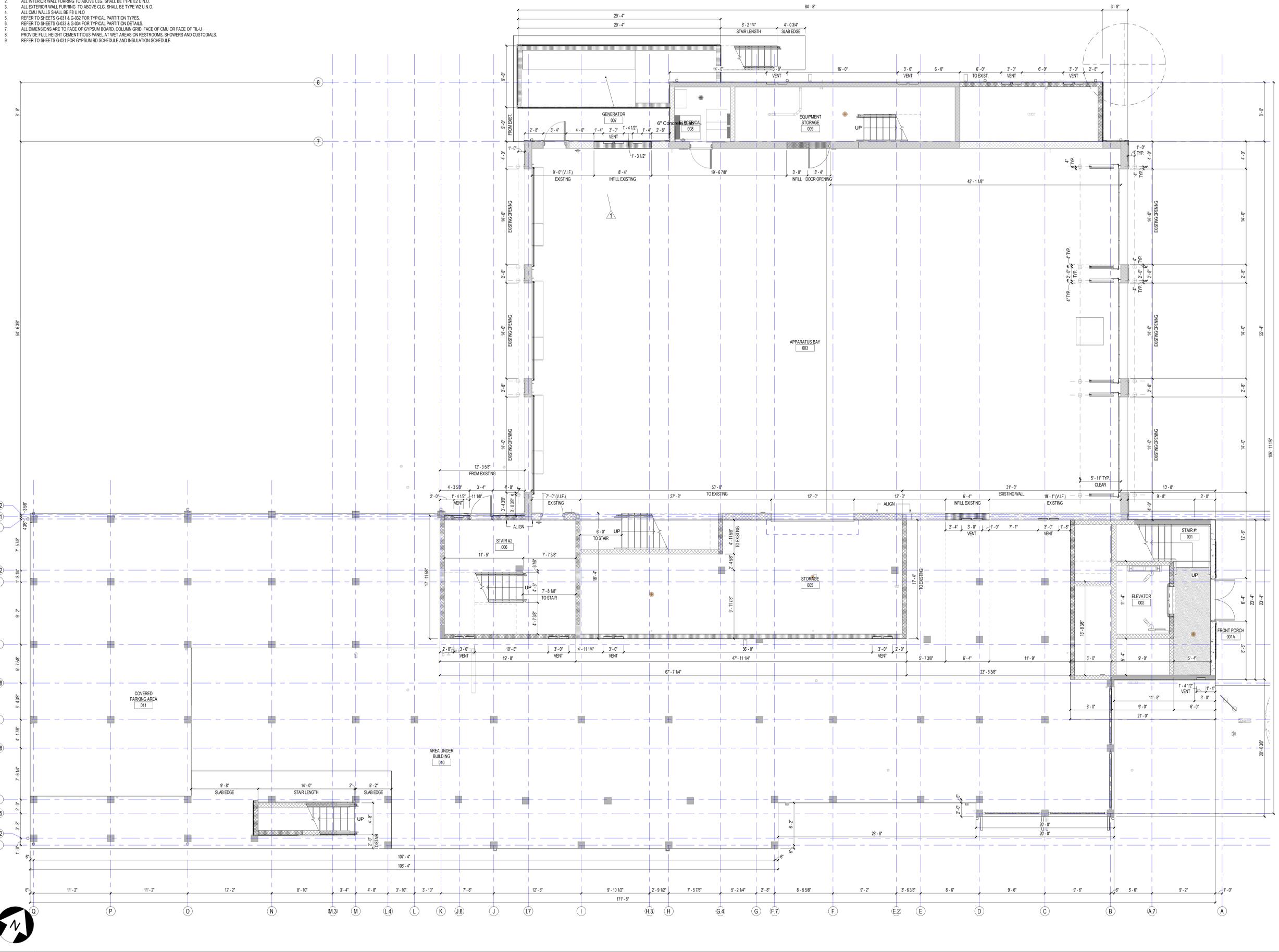


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**DIMENSION PLAN -
APPARATUS BAY**

DIMENSION PLAN NOTES

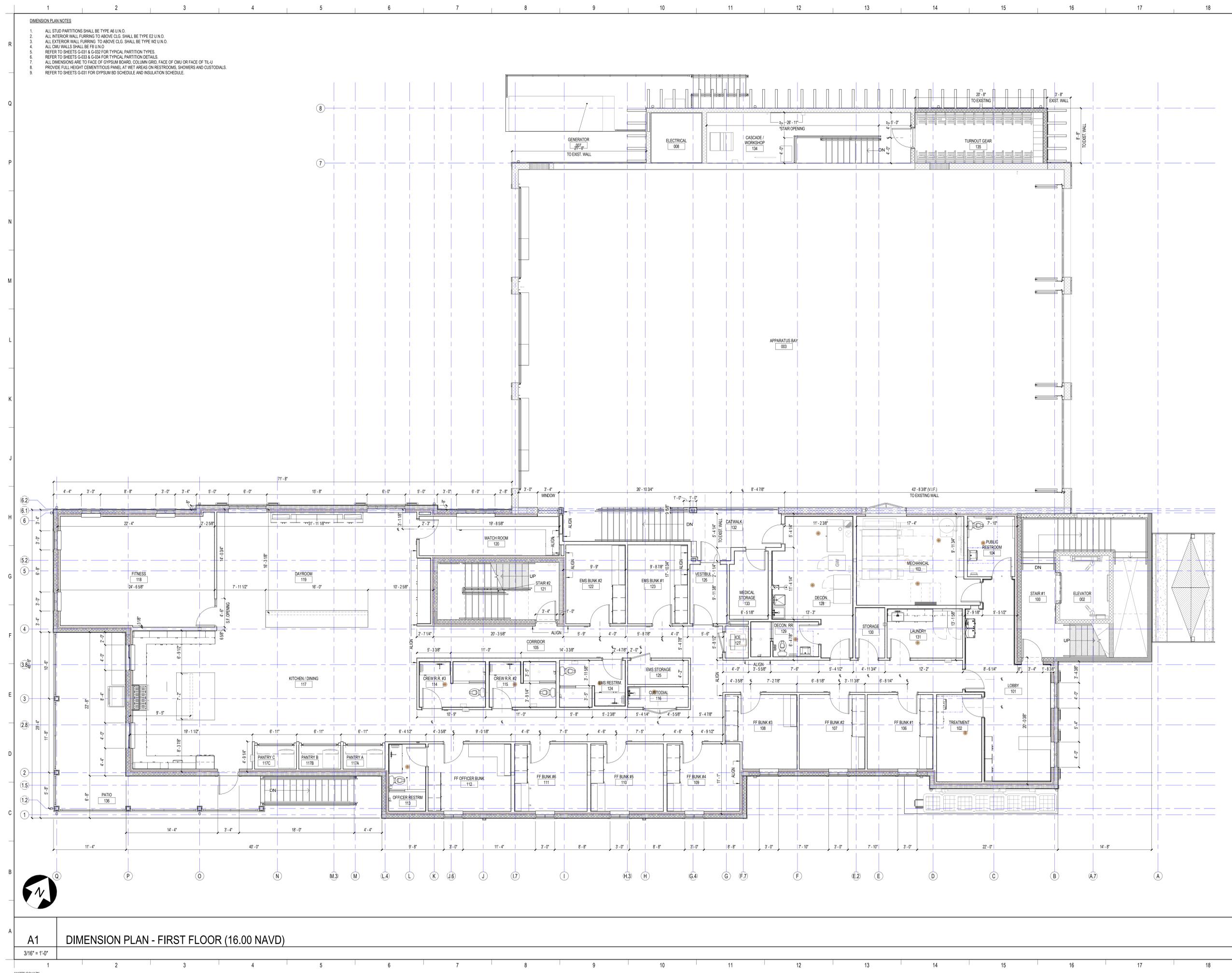
1. ALL STUD PARTITIONS SHALL BE TYPE A6 U.N.O.
2. ALL INTERIOR WALL FURRING TO ABOVE CLG. SHALL BE TYPE E2 U.N.O.
3. ALL EXTERIOR WALL FURRING TO ABOVE CLG. SHALL BE TYPE W2 U.N.O.
4. ALL CMU WALLS SHALL BE F8 U.N.O.
5. REFER TO SHEETS G-031 & G-032 FOR TYPICAL PARTITION TYPES.
6. REFER TO SHEETS G-033 & G-034 FOR TYPICAL PARTITION DETAILS.
7. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, COLUMN GRID, FACE OF CMU OR FACE OF TILU.
8. PROVIDE FULL HEIGHT CEMENTITIOUS PANEL AT WET AREAS ON RESTROOMS, SHOWERS AND CUSTODIALS.
9. REFER TO SHEETS G-031 FOR GYPSUM BD SCHEDULE AND INSULATION SCHEDULE.



A1 DIMENSION PLAN - APPARATUS BAY FLOOR (7.46 NAVD)

3/16" = 1'-0"

- DIMENSION PLAN NOTES**
1. ALL STUD PARTITIONS SHALL BE TYPE A6 U.N.O.
 2. ALL INTERIOR WALL FURRING TO ABOVE CLG. SHALL BE TYPE E2 U.N.O.
 3. ALL EXTERIOR WALL FURRING TO ABOVE CLG. SHALL BE TYPE W2 U.N.O.
 4. ALL CMU WALLS SHALL BE F8 U.N.O.
 5. REFER TO SHEETS G-031 & G-032 FOR TYPICAL PARTITION TYPES.
 6. REFER TO SHEETS G-033 & G-034 FOR TYPICAL PARTITION DETAILS.
 7. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, COLUMN GRID, FACE OF CMU OR FACE OF TILU.
 8. PROVIDE FULL HEIGHT CEMENTITIOUS PANEL AT WET AREAS ON RESTROOMS, SHOWERS AND CUSTODIALS.
 9. REFER TO SHEETS G-031 FOR GYPSUM BD SCHEDULE AND INSULATION SCHEDULE.



SANIBEL FIRE & RESCUE DISTRICT
2351 PALM RIDGE ROAD, SANIBEL, FLORIDA 33957

**SANIBEL FIRE AND RESCUE
STATION 171 RENOVATION**

PROJECT LOCATION:
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SANIBEL, FLORIDA 33957



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**DIMENSION PLAN - FIRST
FLOOR**

A1 DIMENSION PLAN - FIRST FLOOR (16.00 NAVD)

3/16" = 1'-0"

A122

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- DIMENSION PLAN NOTES**
1. ALL STUD PARTITIONS SHALL BE TYPE A6 U.N.O.
 2. ALL INTERIOR WALL FURRING TO ABOVE CLG. SHALL BE TYPE E2 U.N.O.
 3. ALL EXTERIOR WALL FURRING TO ABOVE CLG. SHALL BE TYPE W2 U.N.O.
 4. ALL CMU WALLS SHALL BE F8 U.N.O.
 5. REFER TO SHEETS G-031 & G-032 FOR TYPICAL PARTITION TYPES.
 6. REFER TO SHEETS G-033 & G-034 FOR TYPICAL PARTITION DETAILS.
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**SANIBEL FIRE AND RESCUE
STATION 171 RENOVATION**

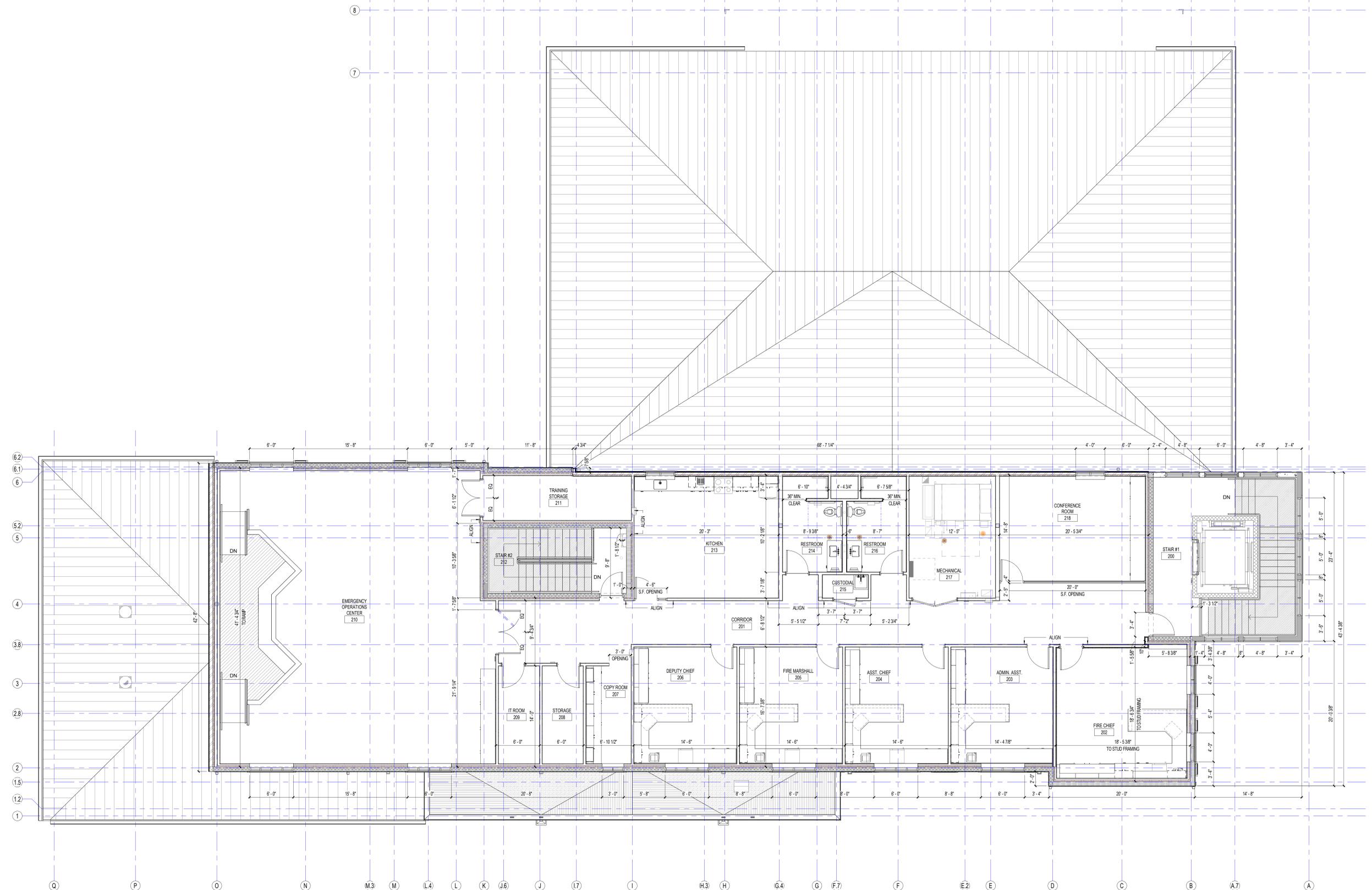
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A1 DIMENSION PLAN - SECOND FLOOR
3/16" = 1'-0"

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**DIMENSION PLAN - SECOND
FLOOR**





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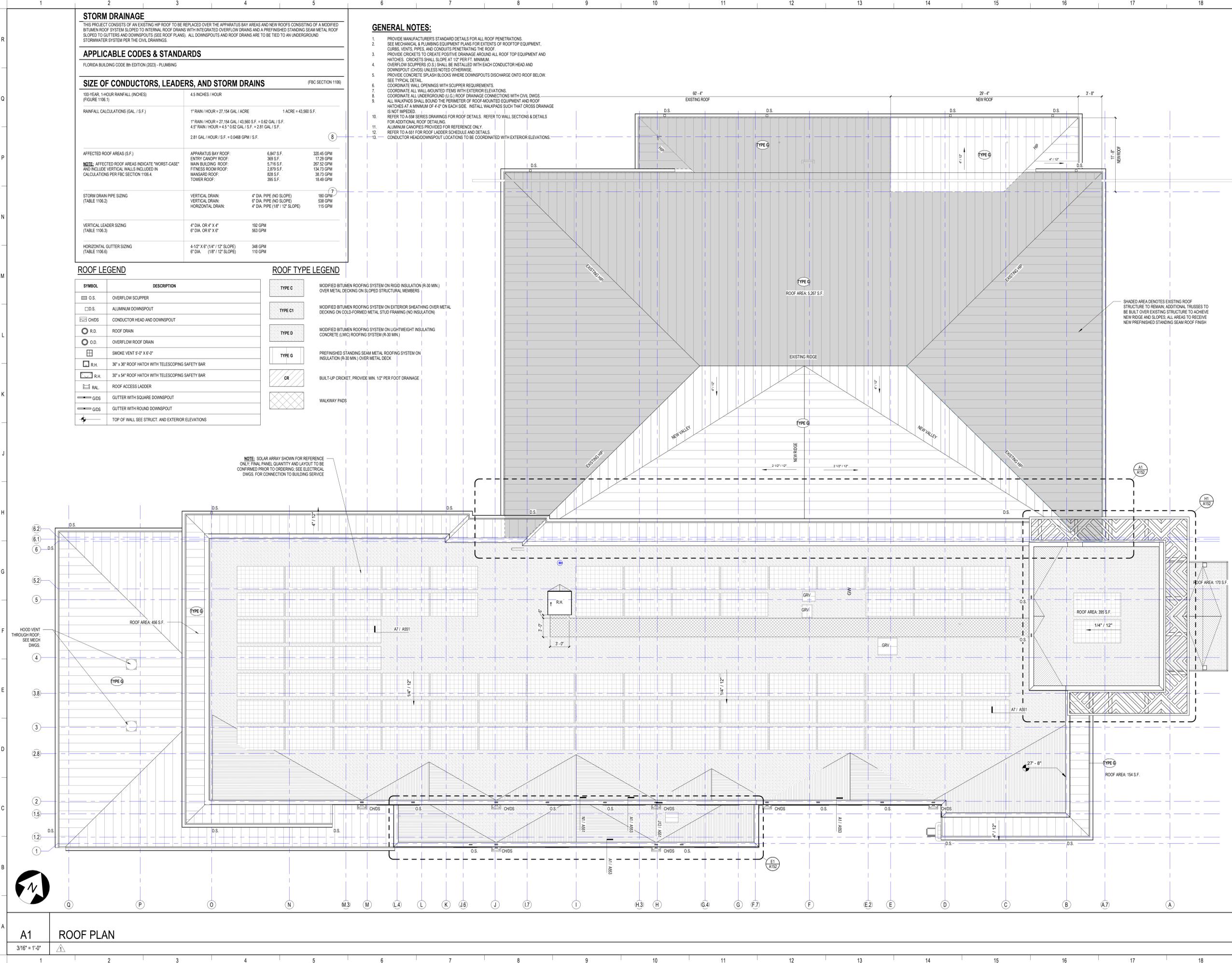


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ROOF PLAN

A151

100% CONSTRUCTION DOCUMENTS



STORM DRAINAGE

THIS PROJECT CONSISTS OF AN EXISTING HIP ROOF TO BE REPLACED OVER THE APPARATUS BAY AREAS AND NEW ROOFS CONSISTING OF A MODIFIED BITUMEN ROOF SYSTEM SLOPED TO INTERNAL ROOF DRAINS WITH INTEGRATED OVERFLOW DRAINS AND A PREFINISHED STANDING SEAM METAL ROOF SLOPED TO GUTTERS AND DOWNSPOUTS (SEE ROOF PLANS). ALL DOWNSPOUTS AND ROOF DRAINS ARE TO BE TIED TO AN UNDERGROUND STORMWATER SYSTEM PER THE CIVIL DRAWINGS.

APPLICABLE CODES & STANDARDS

FLORIDA BUILDING CODE 8th EDITION (2023) - PLUMBING

SIZE OF CONDUCTORS, LEADERS, AND STORM DRAINS

(FBC SECTION 1106)

100-YEAR, 1-HOUR RAINFALL (INCHES) (FIGURE 1106.1)	4.5 INCHES / HOUR	1 ACRE = 43,560 S.F.
RAINFALL CALCULATIONS (GAL / S.F.)	1" RAIN / HOUR = 27,154 GAL / ACRE	
	1" RAIN / HOUR = 27,154 GAL / ACRE = 0.62 GAL / S.F.	
	4.5" RAIN / HOUR = 4.5 * 0.62 GAL / S.F. = 2.81 GAL / S.F.	
	2.81 GAL / HOUR / S.F. = 0.0468 GPM / S.F.	
AFFECTED ROOF AREAS (S.F.)	APPARATUS BAY ROOF: ENTRY CANOPY ROOF: MAIN BUILDING ROOF: FITNESS ROOM ROOF: MANSHED ROOF: TOWER ROOF:	6,847 S.F. 369 S.F. 5,716 S.F. 2,879 S.F. 328 S.F. 365 S.F.
		320.45 GPM 17.29 GPM 267.52 GPM 134.73 GPM 38.73 GPM 18.49 GPM
NOTE: AFFECTED ROOF AREAS INDICATE "WORST-CASE" AND INCLUDE VERTICAL WALLS INDICATED IN CALCULATIONS PER FBC SECTION 1106.4.		
STORM DRAIN PIPE SIZING (TABLE 1106.2)	VERTICAL DRAIN: VERTICAL DRAIN: HORIZONTAL DRAIN:	4" DIA. PIPE (NO SLOPE) 6" DIA. PIPE (NO SLOPE) 4" DIA. PIPE (1/8" / 12" SLOPE)
		180 GPM 538 GPM 115 GPM
VERTICAL LEADER SIZING (TABLE 1106.3)	4" DIA. OR 4" X 4" 6" DIA. OR 6" X 6"	192 GPM 563 GPM
HORIZONTAL GUTTER SIZING (TABLE 1106.6)	4-1/2" X 6" (1/4" / 12" SLOPE) 6" DIA. (1/8" / 12" SLOPE)	348 GPM 110 GPM

GENERAL NOTES:

1. PROVIDE MANUFACTURER'S STANDARD DETAILS FOR ALL ROOF PENETRATIONS.
2. SEE MECHANICAL & PLUMBING EQUIPMENT PLANS FOR EXTENTS OF ROOFTOP EQUIPMENT, CURBS, VENTS, PIPES, AND CONDUITS PENETRATING THE ROOF.
3. PROVIDE CRICKETS TO CREATE POSITIVE DRAINAGE AROUND ALL ROOF TOP EQUIPMENT AND HATCHES. CRICKETS SHALL SLOPE AT 1" PER FT. MINIMUM.
4. OVERFLOW SCUPPERS (O.S.) SHALL BE INSTALLED WITH EACH CONDUCTOR HEAD AND DOWNSPOUT (CHDS) UNLESS NOTED OTHERWISE.
5. PROVIDE CONCRETE SPLASH BLOCKS WHERE DOWNSPOUTS DISCHARGE ONTO ROOF BELOW. SEE TYPICAL DETAIL.
6. COORDINATE WALL OPENINGS WITH SCUPPER REQUIREMENTS.
7. COORDINATE ALL WALL-MOUNTED ITEMS WITH EXTERIOR ELEVATIONS.
8. COORDINATE ALL UNDERGROUND (U.G.) ROOF DRAINAGE CONNECTIONS WITH CIVIL DWGS.
9. ALL WALKPADS SHALL BOUND THE PERIMETER OF ROOF-MOUNTED EQUIPMENT AND ROOF HATCHES AT A MINIMUM OF 4'-0" ON EACH SIDE. INSTALL WALKPADS SUCH THAT CROSS DRAINAGE IS NOT IMPEDED.
10. REFER TO A-558 SERIES DRAWINGS FOR ROOF DETAILS. REFER TO WALL SECTIONS & DETAILS FOR ADDITIONAL ROOF DETAILING.
11. ALUMINUM CANOPIES PROVIDED FOR REFERENCE ONLY.
12. REFER TO A-551 FOR ROOF LADDER SCHEDULE AND DETAILS.
13. CONDUCTOR HEAD/DOWNSPOUT LOCATIONS TO BE COORDINATED WITH EXTERIOR ELEVATIONS.

ROOF LEGEND

SYMBOL	DESCRIPTION
[Symbol]	OVERFLOW SCUPPER
[Symbol]	ALUMINUM DOWNSPOUT
[Symbol]	CONDUCTOR HEAD AND DOWNSPOUT
[Symbol]	ROOF DRAIN
[Symbol]	OVERFLOW ROOF DRAIN
[Symbol]	SMOKE VENT 5'-0" X 6'-0"
[Symbol]	36" X 36" ROOF HATCH WITH TELESCOPING SAFETY BAR
[Symbol]	30" X 34" ROOF HATCH WITH TELESCOPING SAFETY BAR
[Symbol]	ROOF ACCESS LADDER
[Symbol]	GUTTER WITH SQUARE DOWNSPOUT
[Symbol]	GUTTER WITH ROUND DOWNSPOUT
[Symbol]	TOP OF WALL, SEE STRUCT. AND EXTERIOR ELEVATIONS

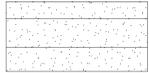
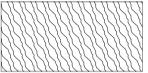
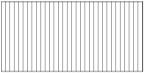
ROOF TYPE LEGEND

[Symbol]	TYPE C	MODIFIED BITUMEN ROOFING SYSTEM ON RIGID INSULATION (R-30 MIN.) OVER METAL DECKING ON SLOPED STRUCTURAL MEMBERS
[Symbol]	TYPE C1	MODIFIED BITUMEN ROOFING SYSTEM ON EXTERIOR SHEATHING OVER METAL DECKING ON COLD-FORMED METAL STUD FRAMING (NO INSULATION)
[Symbol]	TYPE D	MODIFIED BITUMEN ROOFING SYSTEM ON LIGHTWEIGHT INSULATING CONCRETE (LWIC) ROOFING SYSTEM (R-30 MIN.)
[Symbol]	TYPE G	PREFINISHED STANDING SEAM METAL ROOFING SYSTEM ON INSULATION (R-30 MIN.) OVER METAL DECK
[Symbol]	CR	BUILT-UP CRICKET, PROVIDE MIN. 1/2" PER FOOT DRAINAGE
[Symbol]		WALKWAY PADS

NOTE: SOLAR ARRAY SHOWN FOR REFERENCE ONLY. FINAL PANEL QUANTITY AND LAYOUT TO BE CONFIRMED PRIOR TO ORDERING. SEE ELECTRICAL DWGS. FOR CONNECTION TO BUILDING SERVICE.

A1 ROOF PLAN

3/16" = 1'-0"

EXTERIOR FINISH LEGEND	
 EXT-1 PAINTED PORTLAND CEMENT STUCCO W/ LAP SIDING BEAD COLOR: SW7666 FLEUR DE SEL	 EXT-2 TRIM AROUND WINDOWS AND DOORS, COLOR SW7005 PURE WHITE
 EXT-7 HIGH-GLOSS PAINTED PVC COLUMN/BEAM WRAP W/ WOODGRAIN TEXTURE COLOR: SW6101 SANDS OF TIME	 EXT-8 DAL TILE OPAL TRAVERTINE SLAB
 EXT-9 PAINTED PORTLAND CEMENT STUCCO COLOR: SW6101 SANDS OF TIME	 CW-1 RESYSTA LUSSO QUIK-TRIM WOOD COMPOSITE PANEL FINISH: C08, BURMA
 STANDING SEAM METAL ROOF PANEL FINISH: SILVER	

EXTERIOR CODE SCHEDULE

FINISH CODE	MANUFACTURER	COLOR NO./COLLECTION	COLOR OR IMAGE	FINISH/SHEEN	SIZE/TYPE	FLAME SPREAD RATING	REMARKS
CW-1	RESYSTA	LUSSO	C08 BURMA		6"	CLASS A	
EXT-1	SHERWIN WILLIAMS	SW7666	FLEUR DE SEL	SEMI-GLOSS	EXTERIOR LATEX		REFER TO EXT. ELEV.
EXT-2	SHERWIN WILLIAMS	SW7005	PURE WHITE	SEMI-GLOSS	EXTERIOR LATEX		TYP. TRIM AROUND WINDOWS AND DOORS
EXT-3	SHERWIN WILLIAMS	SW6793	BLUEBELL	SEMI-GLOSS	EXTERIOR LATEX		REFER TO EXT. ELEV.
EXT-7	SHERWIN WILLIAMS	SW6101	SANDS OF TIME	SEMI-GLOSS	EXTERIOR LATEX		REFER TO EXT. ELEV.
EXT-8	DAL TILE	ELEMENTAL SELECTION	OPAL TRAVERTINE		63" X 126"		REFER TO EXT. ELEV.
EXT-9	SHERWIN WILLIAMS	SW7624	SLATE TILE	SEMI-GLOSS	EXTERIOR LATEX		REFER TO EXT. ELEV.



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EXTERIOR FINISH LEGEND



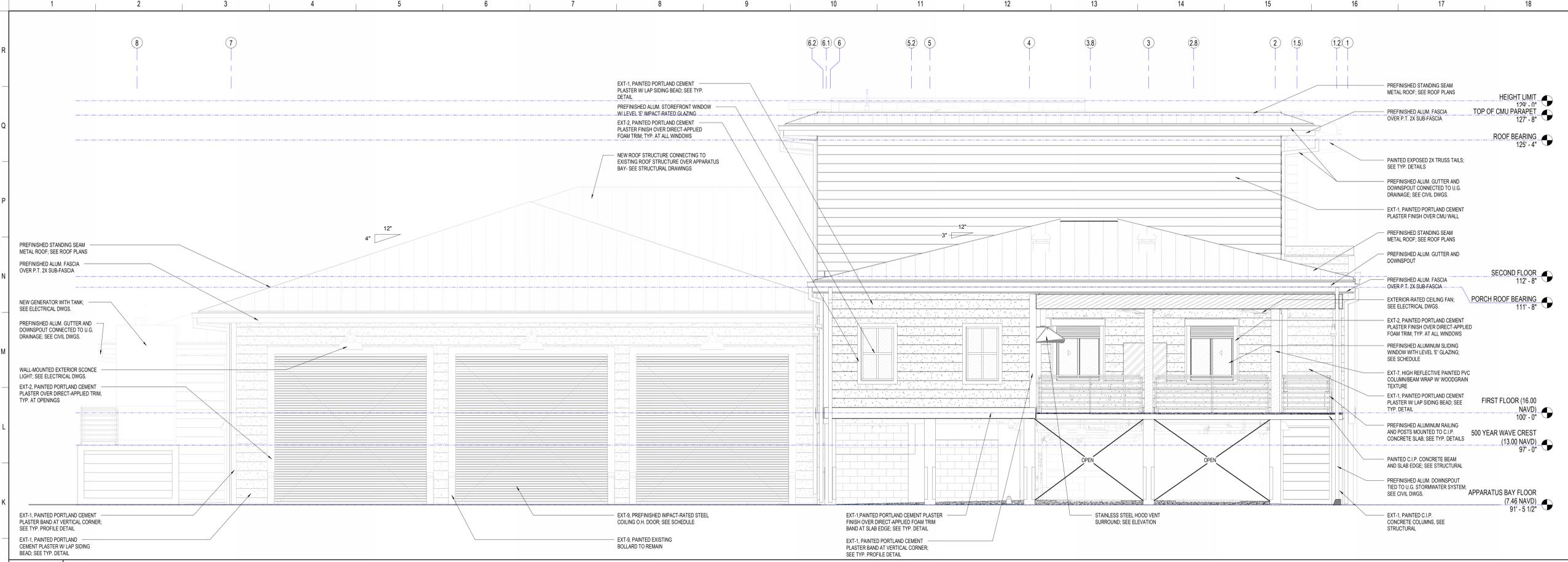
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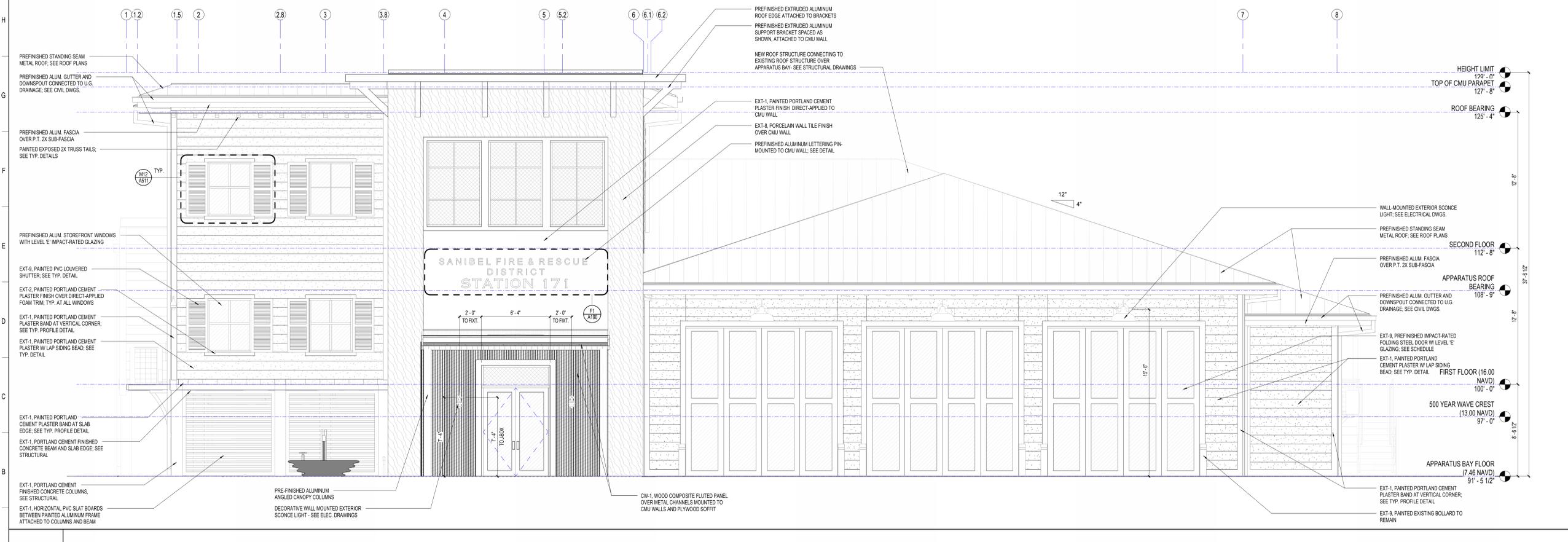
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J1 WEST ELEVATION

1/4" = 1'-0"

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A1 EAST ELEVATION

1/4" = 1'-0"



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EXTERIOR ELEVATIONS

A201

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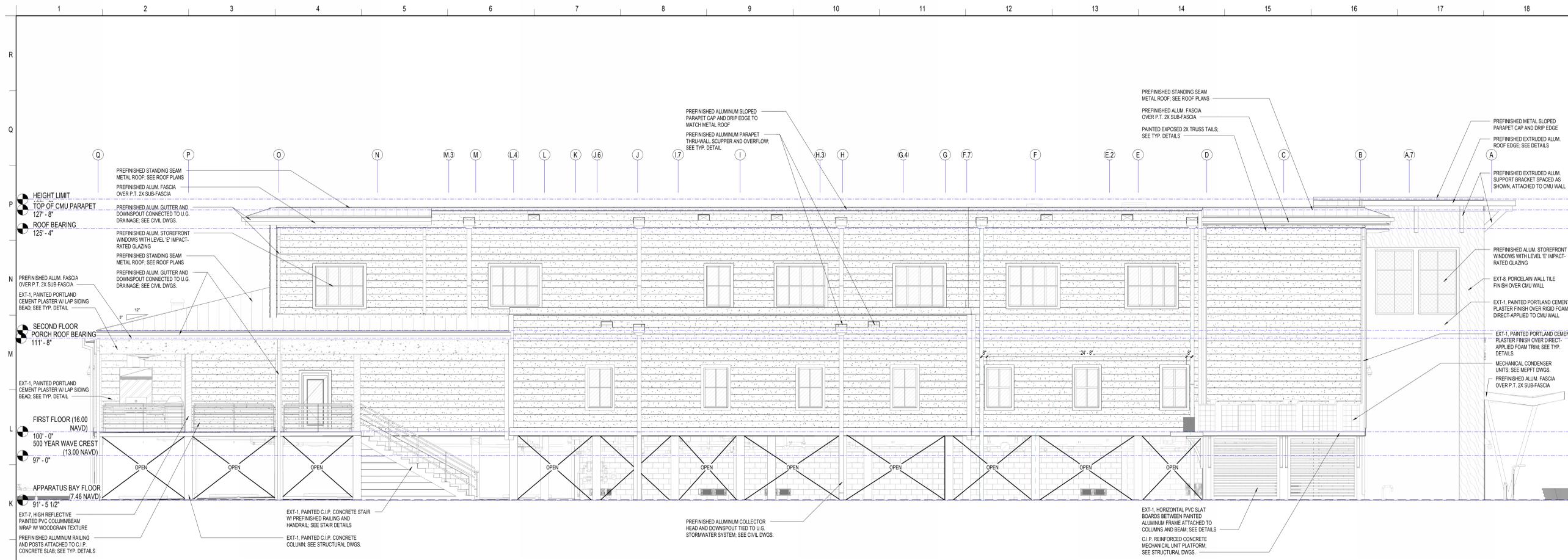
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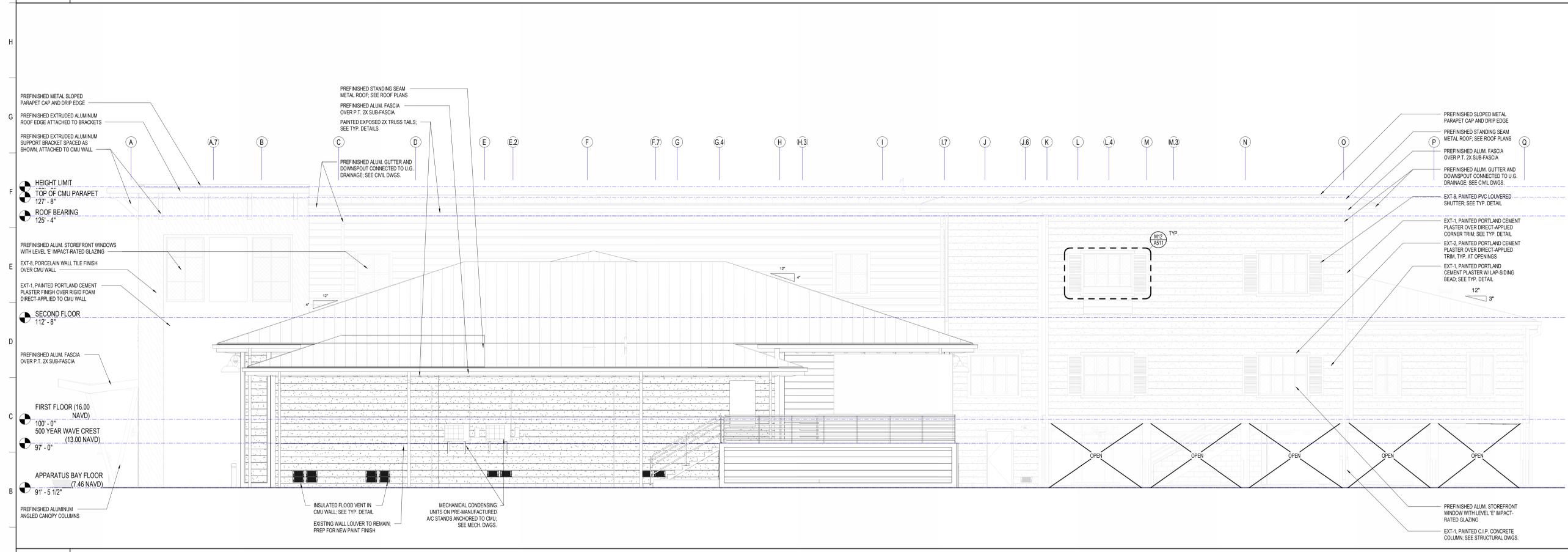


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G1 SOUTH ELEVATION
3/16" = 1'-0"

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A1 NORTH ELEVATION
3/16" = 1'-0"



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EXTERIOR ELEVATIONS

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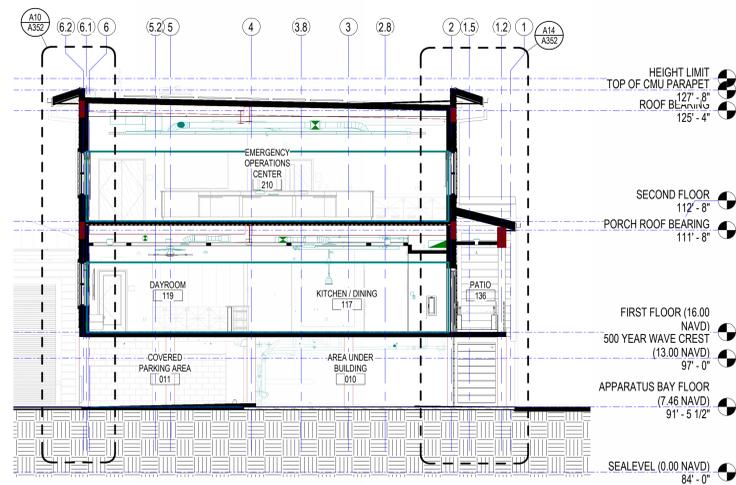
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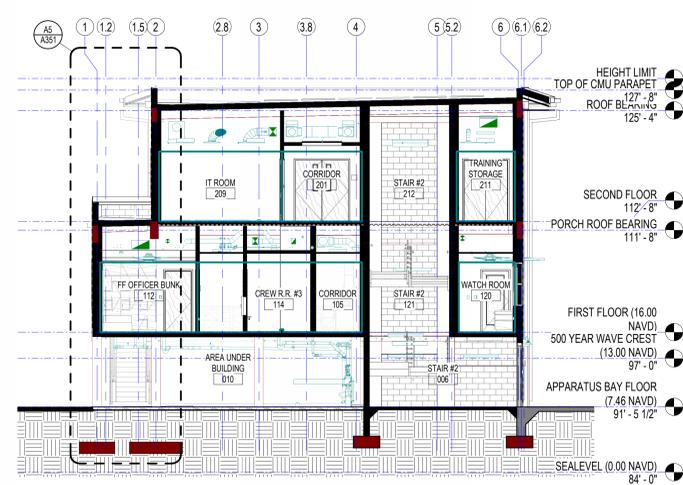


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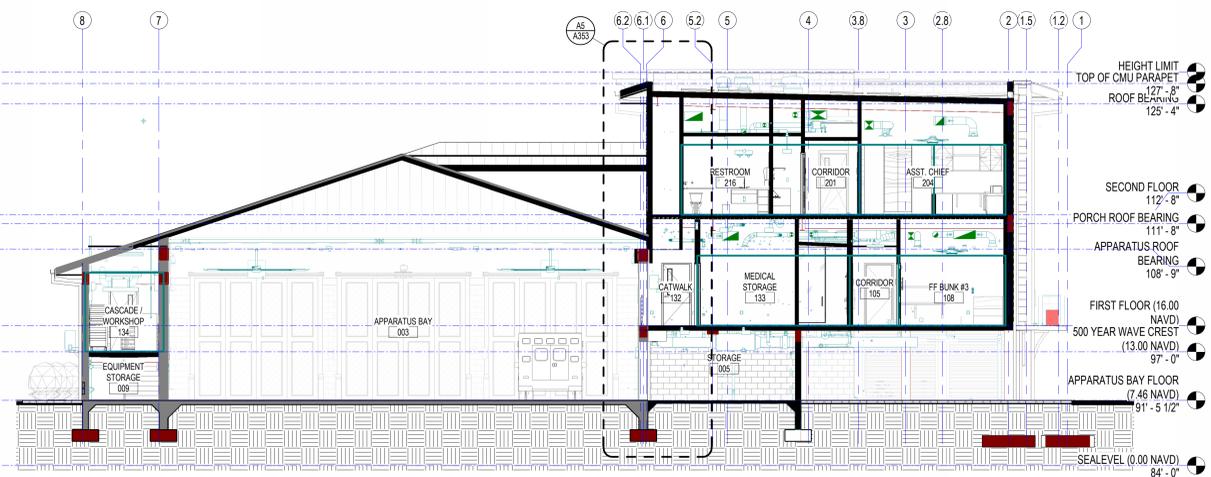
M1 BUILDING SECTION THROUGH COMMUNITY ROOM

1/8" = 1'-0"



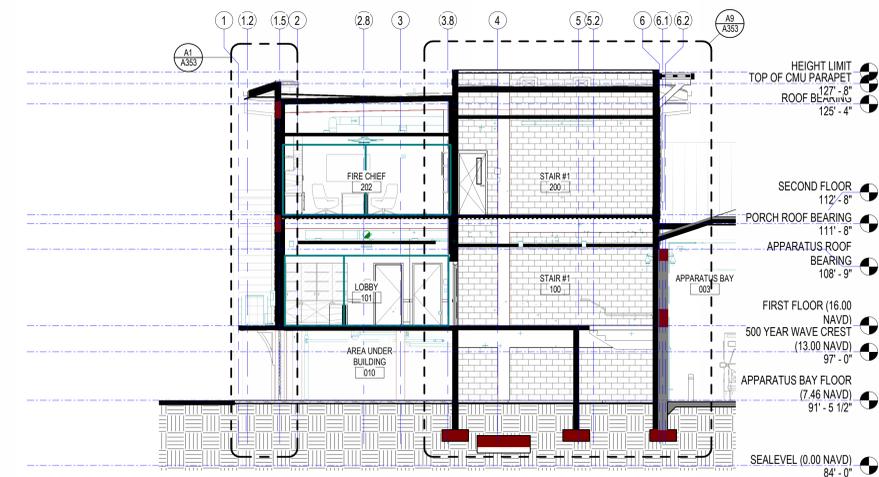
M10 BUILDING SECTION THROUGH WATCH ROOM

1/8" = 1'-0"



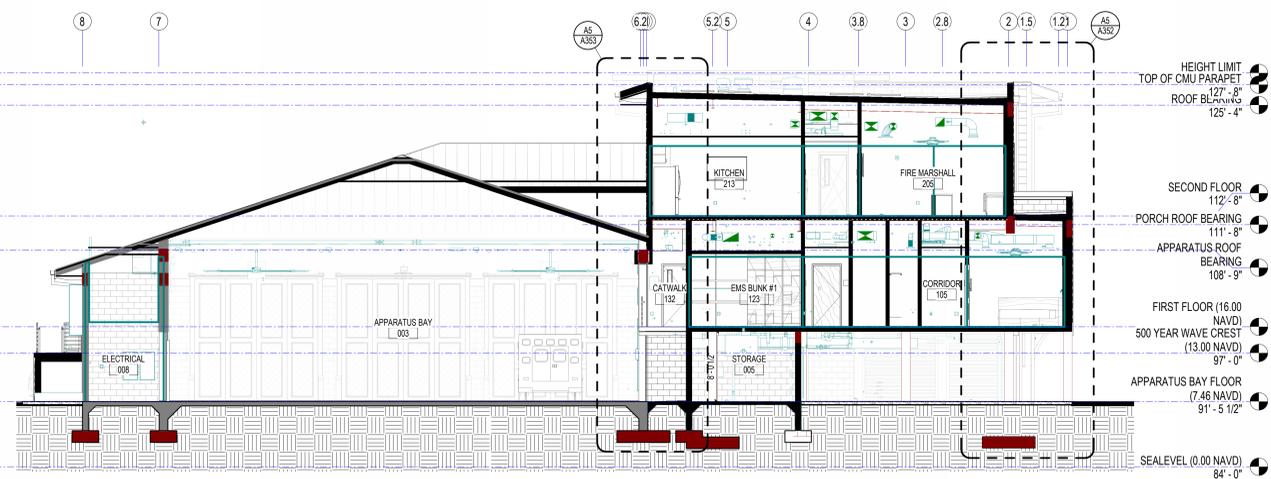
G1 BUILDING SECTION THROUGH BUNK ROOM

1/8" = 1'-0"



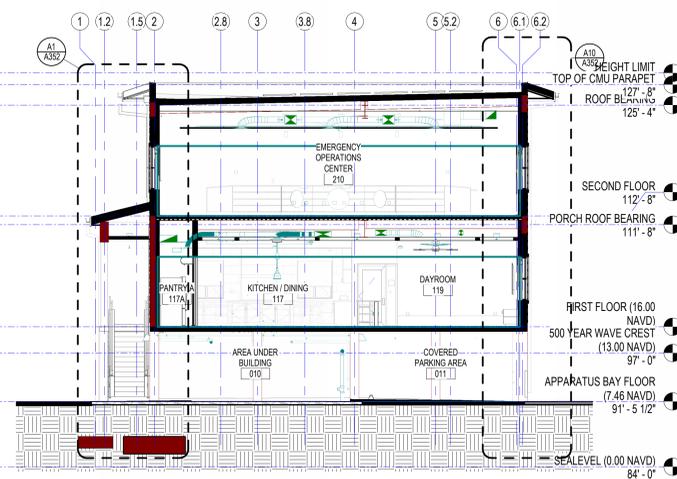
G11 BUILDING SECTION THROUGH LOBBY

1/8" = 1'-0"



A1 TRANSVERSE BUILDING SECTION

1/8" = 1'-0"



A11 BUILDING SECTION THROUGH DAY ROOM

1/8" = 1'-0"

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BUILDING SECTIONS

A302

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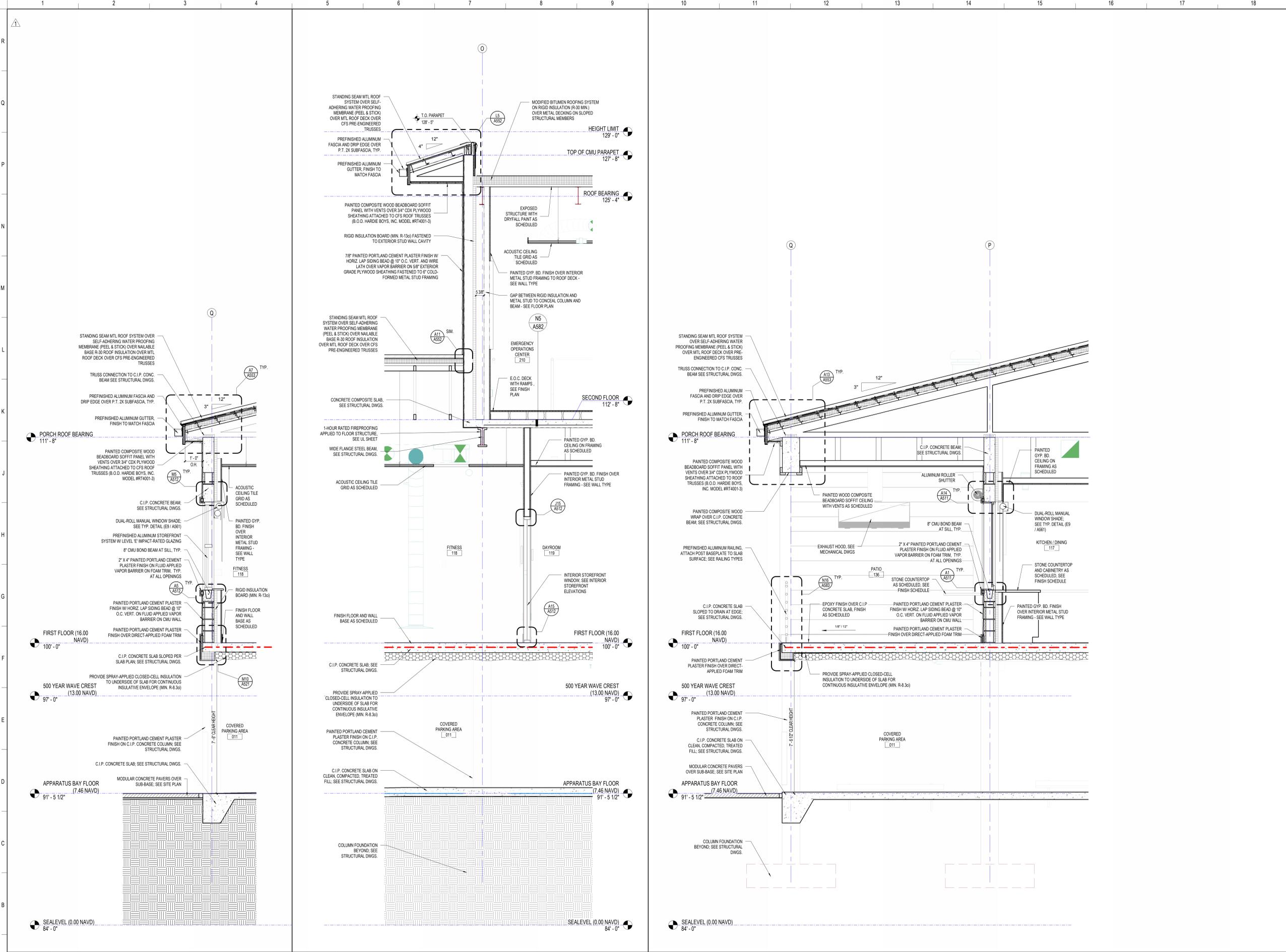


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WALL SECTIONS

A351

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A1	TYP. WALL SECTION AT EAVE OVERHANG	A5	WALL SECTION AT MANSARD ROOF EAVE	A10	WALL SECTION THROUGH PATIO
1/2" = 1'-0"		1/2" = 1'-0"		1/2" = 1'-0"	

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RENDERINGS



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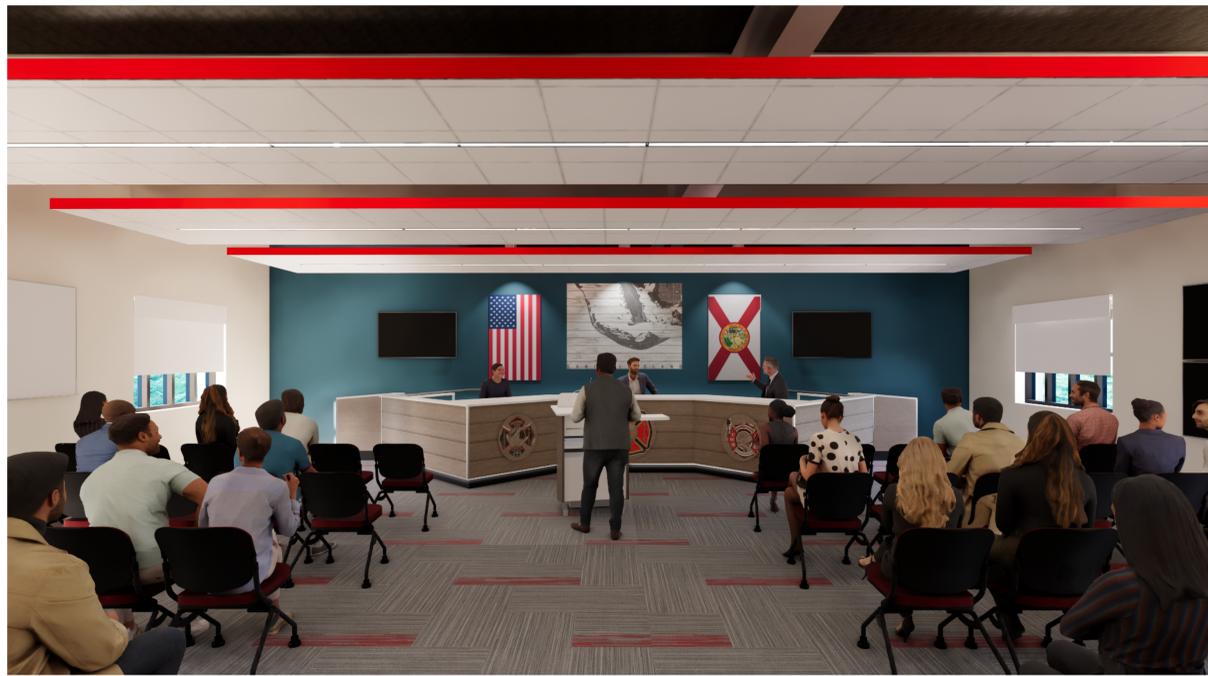
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