



City of Sanibel

Planning Commission

PLANNING DEPARTMENT Staff Report

Planning Commission Meeting: April 26, 2022
Planning Commission Agenda Item: 7a.
Application Number: CUP-2022-33
Applicant: Gus Simmons, O'Halloran and Simmons
PLLC on behalf of Priscilla Murphy Center
Condo Association (re: Sanibel Captiva
Community Bank)

RE: Consideration of a request for **Conditional Use Permit**, filed pursuant to Land Development Code Section 82-204 – Application and hearing, and Section 126-90 – Drive-in and drive-through facilities, to allow for a drive-through ATM in conjunction with a change of use from office to bank, located at 1019 Periwinkle Way (Priscilla Murphy Center) – tax parcel No. 19-46-23-T3-00700.00CE. The application is submitted by Gus Simmons, O'Halloran and Simmons PLLC (the applicant), on behalf of Priscilla Murphy Center Condo Association (the property owner). **Application No. CUP-2022-33.**

ISSUES

Pursuant to Land Development Code Section 82-201 and Section 82-203, the subject application has been referred to the Planning Commission to address the following issues:

1. Does the proposed development comply with the conditional use general and specific requirements, respectively, that are cited under Land Development Code Sections 126-82 and 126-90?
2. If the Planning Commission approves the application, what additional conditions should be attached to this authorization?

ATTACHMENTS

There are eight attachments accompanying this Staff Report. The applicant's narrative statement and responses to general and specific requirements of Land Development Code Section 126-82 and 126-90, respectively, is provided as **Attachment A**. Additionally, the proposed site plan is provided as **Attachment B**, the proposed floor plan is provided as **Attachment C**, a traffic impact statement and parking demand analysis is provided as

Attachment D, and a commercial landscape buffer plan is provided as **Attachment E**. A memorandum from City of Sanibel Natural Resources Department dated April 20, 2022, is provided as **Attachment F**. A copy of Specific Amendment Ordinance 84-10 is provided as **Attachment G**. Public comment is provided as **Attachment H**.

BACKGROUND

The subject property, located at 1019 Periwinkle Way, is approximately 1.14 acres situated in the GC – General Commercial zoning district, as well as the F-Mid Island Ridge ecological zone. The property was developed as a multi-occupancy commercial center, known as Priscilla Murphy Center, prior to city incorporation in the late 1940s – early 1950s.

Notable permit history includes Specific Amendment 84-10, which amended development intensity to allow for the development of 7,000 square feet of commercial floor area (14.12%) on the subject parcel to provide six dwelling units on a parcel commonly owned to the south, which is now known as Beach Road Villas. The maximum allowed 14.12% is greater than the maximum commercial floor area that is otherwise permitted within the General Commercial district (10%).

The existing center includes four buildings: Norris Furniture of Sanibel, a 1,668 square-foot retail furniture store at 1025 Periwinkle Way; two integrally connected buildings at 1019 Periwinkle Way occupied by John R. Wood Properties – a real estate office – and Sanibel Captiva Community Bank at 5,097 square feet; and an accessory carport structure. The total commercial floor area of Priscilla Murphy Center is 6,765 square feet or 13.62% of the parcel size. The subject parcel provides an existing total of 31 off-street asphalt parking spaces, including four spaces within the carport.

Neighboring land uses, include the aforementioned Beach Road Villas, residential development, to the south; Sanibel Service Center (Chevron) to the east; and Sanibel Commons (Bait Box, Island Condo Maintenance, and a current location of Sanibel Captiva Community Bank). Periwinkle Way and the City's Shared Use Path abuts the subject property to the north, and across the street is Sanibel Fresh, a restaurant.

PROPOSAL

The applicant is seeking a conditional use permit to allow for construction of a drive-through automated teller machine (ATM), as accessory to the primary bank use of 1019 Periwinkle Way, units 2 and 3.

The applicant has also separately filed permit application BLDR-2021-1379 for remodel of a nonresidential structure (units 4 and 5) with exterior changes, which has been issued and is in progress, and plan application, HPN-2022-36, for nomination of the principal structure for placement on the local register of historic landmarks. A second permit application will be filed for staff review to remodel of units 2 and 3 with exterior changes.

ANALYSIS

The property is subject to Chapter 126 – Zoning, Article VIII. – Commercial Districts, Division 2. – GC General Commercial District standards, which provides that any drive-in or drive-through facility in conjunction with a permitted use (bank) is a conditional use. This division also provides required conditions of development addressing maximum floor area ratio, height, setbacks, coverage, developed area and vegetation removal. The environmental performance standards of the F-Mid Island Ridge ecological zone are also applicable, generally.

Staff has concluded that the proposed improvements associated with this application will maintain compliance with developed area and vegetation removal, as well as maximum floor area ratio, which will increase by 162 square feet for a total of 6,927 square feet or 13.94% of the subject parcel. There is no proposed change to the height of structures, therefore compliance is maintained. The scope of work will not affect the degree to which existing buildings, lawfully, do not comply with setback requirements.

Compliance with commercial parking setback requirements is achieved within the front setback, where three nonconforming parking spaces are to be removed and re-vegetated pursuant to Land Development Code Section 122-48 – types, varieties and numbers of plants required, as demonstrated by the commercial landscape buffer plan provided by the applicant (**Attachment E**). The site plan also eliminates an existing nonconformity and achieves compliance with limitations of coverage (impermeable) by proposing to replace the impervious asphalt parking lot with permeable pavers (50% permeable).

Planning has reviewed the applicant's narrative response (**Attachment A**) and supporting documentation alongside the general requirements of a conditional use in Land Development Code Section 126-82, and makes the following findings:

Sec. 126-82. - General requirements.

The planning commission shall authorize conditional uses in the zones in which they are permitted, after public hearing, only upon the following requirements being met:

- (1) The proposed development shall not adversely affect compatibility with other uses, either on, adjacent to, or nearby the parcel; shall not adversely affect the traffic flow to a significantly greater extent than permitted uses; shall not adversely affect the health, safety and welfare of the community or its goals and objectives; and shall be inherently beneficial to the community or reasonably necessary to its convenience.
- (2) A request for conditional use approval shall be accompanied by a site development plan prepared in accordance with the requirements of subsection 82-382(13).
- (3) In reviewing requests for conditional uses, the planning commission may impose, as necessary, conditions to protect adjacent or nearby parcels and in furtherance of the public interests, with regard to location, design, intensity of use, architectural treatment, siting, landscaping, maintenance and operation of the uses.

- (4) The developer must demonstrate that the proposed use is coordinated, to the greatest extent possible, with adjoining developments. Where applicable, this coordination shall include examination of all opportunities to share or combine drives and entry points, parking areas, sewage treatment facilities, pedestrian walkways and other service facilities.
- (5) The planning commission shall consider the nature of the site, its size and its configuration to determine whether the parcel is adequate to:
- a. Accommodate the placement and arrangement of structures so as to promote the best possible vehicular and pedestrian access and internal circulation;
 - b. Maximize energy efficiency and compatibility with adjoining uses on and off the site; and
 - c. Minimize the need for additional off-site transportation improvements.
- (6) In considering a proposed conditional use for approval, the planning commission shall evaluate the proposal in consideration of the following factors:
- a. Conformance with Sanibel Plan. No conditional use may be approved unless it is in accord with the Sanibel Plan.
 - b. Internal compatibility. Any proposed conditional use must be compatible with other existing or proposed uses on the same site; that is, no use may have any undue adverse impact on any neighboring use. An evaluation of the internal compatibility of a conditional use should be based on the following factors:
 - 1) The streetscape;
 - 2) The existence or absence of, and the location of, open spaces, plazas, recreational areas and common areas;
 - 3) The use of existing and proposed landscaping;
 - 4) The treatment of pedestrian ways;
 - 5) Focal points and vistas;
 - 6) The use of the topography, physical environment and other natural features;
 - 7) Traffic and pedestrian circulation pattern;
 - 8) The use and variety of building setback lines, separations and buffering;
 - 9) The use and variety of building groupings;
 - 10) The use and variety of building sizes and architectural styles;
 - 11) The use and variety of materials;
 - 12) The separation and buffering of parking areas and sections of parking areas;
 - 13) The variety and design of dwelling types;
 - 14) The particular land uses proposed and the conditions and limitations thereon;
 - 15) The form of ownership proposed for various uses; and
 - 16) Any other factor deemed relevant to the privacy, safety, preservation, protection or welfare of any existing or proposed use on the site.
 - c. External compatibility. All proposed conditional uses must be compatible with existing and planned uses of surrounding properties; that is, no internal use may have any avoidable or undue adverse impact on any existing or

planned surrounding use. An evaluation of the external compatibility of a proposed conditional use should be based on the following factors:

- 1) All of those factors listed in subsection (6)b of this section;
- 2) The particular uses proposed and the conditions and limitations thereon;
- 3) The type, number and location of surrounding external uses;
- 4) The Sanibel Plan designation and zoning on surrounding lands; and
- 5) Any other factor deemed relevant to the privacy, safety, preservation, protection or welfare of lands surrounding the proposed conditional use and any existing or planned use of such lands.

d. Intensity of development. The residential density and intensity of commercial use of a conditional use shall be compatible with (that is, shall have no undue adverse impact upon) the physical and environmental characteristics of the site and surrounding lands. Within the maximum limitation of the Sanibel Plan and this Land Development Code, the permitted residential density and intensity of commercial use in a proposed conditional use may be adjusted in consideration of the following factors:

- 1) The locations of various proposed uses within the site and the degree of compatibility of such uses with each other and with surrounding uses;
- 2) The amount and type of protection provided for the safety, habitability, and privacy of land uses both internal and external to the site;
- 3) The existing residential density and intensity of commercial use of surrounding lands;
- 4) The availability and location of utilities, services and public facilities and services;
- 5) The amount and size of open spaces, plazas, common areas and recreation areas;
- 6) The use of energy-saving techniques and devices, including sun and wind orientation;
- 7) The existence and treatment of any environmental hazards to the site or surrounding lands;
- 8) The access to and suitability of transportation routes proposed within the site and existing external transportation systems and routes; and
- 9) Any other factor deemed relevant to the limitation of the intensity of development for the benefit of the public health, welfare and safety.

e. Environmental constraints. The site of the proposed conditional use shall be suitable for use in the manner proposed without hazards to persons, vegetation, or wildlife, either on or off the site from the likelihood of increased flooding, erosion, or other dangers, annoyances, or inconveniences. Condition of soil, water level, drainage, and topography shall all be appropriate to the pattern and intensity of development intended.

- f. Off-street parking. Sufficient off-street parking, for bicycles and other vehicles as well as cars, shall be provided. The specific requirements of this Land Development Code shall be used as a guide only. Parking areas shall be constructed in accordance with such standards as are approved by the planning commission to ensure that they are safe and maintainable and that they allow for sufficient privacy for adjoining uses.

Staff finds the application is generally consistent with the Sanibel Plan and, by extension, the general requirements of this section, specifically in regard to intensity of development, internal and external compatibility of this conditional use.

The applicant's site plan (**Attachment B**), Traffic Impact Statement and Parking Demand Analysis (**Attachment D**) and Landscape Buffer Plan (**Attachment E**) further supports the applicant's proposed development and use as generally compatible with its surroundings. Furthermore, staff notes the elimination of several nonconforming features of the existing development, and that the site plan achieves compliance with standards that relate to Sanibel Plan goals of scenic preservation and stormwater management.

Staff finds the total number of parking spaces proposed (28) to sufficiently meet the parking demand of the center, acknowledging that the proposed drive-through ATM will effectively reduce the demand for parking associated with walk-in customer service. Furthermore, staff recommends that conditions to require facilities for bike parking at each commercial building to accommodate transportation alternatives to vehicles, and to provide an inter-connectivity path from the Sanibel Captiva Community Bank building to the Shared Use Path to encourage safe access for bicycles and pedestrians by reducing conflicts with vehicular traffic at driveways.

Due to the location of structures at adjacent commercial properties and the internal circulation of traffic on the subject parcel, staff finds there are no opportunities for coordinating shared access, parking or other facilities, as suggested by substandard (4).

Overall, staff does not anticipate the proposed conditional use to have any adverse impacts on the health, safety and welfare of the Sanibel community.

Planning has also reviewed the applicant's narrative response (**Attachment A**) alongside the specific requirements of a drive-through facility in conjunction with a permitted use, in Land Development Code Section 126-90, and makes the following findings:

Sec. 126-90. - Drive-in and drive-through facilities.

Drive-in and drive-through facilities in conjunction with a permitted use shall be permitted as a conditional use subject to the following conditions set forth in this section:

- (1) No access driveway to any parcel on which such use is located shall be any closer than 200 feet to the intersection of Periwinkle Way with Causeway Road, Beach Road, Donax Street, Dixie Beach Boulevard, Casa Ybel Road, Palm Ridge Road, or Tarpon Bay Road, or the intersection of Tarpon Bay Road with Palm Ridge Road, as measured from the closest outermost edge of the intersecting access driveway, not including the turning radius, as extended to the centerline of the intersected

street to the closest outermost edge of the intersecting street, not including the turning radius, as extended to the centerline of the intersected street.

- (2) All drive-in or drive-through service areas shall be designed to stack a minimum of four cars per lane, without interfering with on-site or off-site traffic circulation.
- (3) All drive-in or drive-through service areas shall be counted toward the maximum permitted commercial floor area for the parcel.
- (4) Nothing in this article or any other provision of this Land Development Code shall be construed to allow drive-up, drive-through or drive-in lanes with carry-out service windows in or at any restaurant, food service operation or beverage or liquor store, and drive-up, drive-through or drive-in lanes with carry-out service windows in or at any restaurant, food service operation or beverage or liquor store are specifically prohibited.

Staff finds the subject application complies with all four specific requirements of this section, noting specifically:

- Of the major intersections of Periwinkle Way cited by Section 126-90(1), the nearest is Causeway Road at a distance of approximately 668 linear feet.
- The site plan demonstrates compliance with minimum vehicle stacking and provides a bypass lane for through traffic.
- With the addition of 162 square feet of commercial floor area, at the location of ATM service, the application proposes to increase floor area ratio to 13.94%, which complies with the maximum allowable floor area ratio of 14.12%, as established by Specific Amendment 84-10.
- The applicant does not propose, nor would be permitted, use of the drive-through for carry-out service for a restaurant or liquor store.

Lastly, pursuant to Land Development Code Section 122-46. – General requirements, in Article II. – Landscaping, Division 2. Commercial and Institutional Uses of Chapter 122 – Vegetation, no approval shall be issued for any commercial use; or for a change of use from one commercial use to another commercial use; unless such approval requires compliance with this division. The applicant submitted a commercial landscape plan (**Attachment E**), which was reviewed by the Natural Resources Department for compliance.

The Natural Resources Department has concluded that the proposed landscape plan will achieve compliance with Land Development Code Section 122-49 – Types, varieties and number of plants required. However, compliance with Land Development Code Section 122-48 – Location and size of required buffers is not achievable due to the location of existing structures within the 15-foot side and rear setback. Staff advised the applicant to submit a waiver application from Section 122-48 for Planning Commission authorization. Due to administrative policy relating to long form permit filing and scheduling procedure, the applicant was unable to schedule these applications concurrently. Application WVR-2022-61 has been filed and will be legally advertised for public hearing at the May 10, 2022 Planning Commission meeting. A copy of the Natural Resources Department memorandum prepared by Environmental Biologist Dana Dettmar, dated April 20, 2022, is provided as **Attachment F**.

PUBLIC COMMENT

Staff received one public comment pertaining to the subject conditional use application from Michael J. McGill, 1039 Beach Road #102, on behalf of the Beach Road Villas Condominium Association. A copy of public comment is provided with this staff report as **Attachment H**.

RECOMMENDATIONS AND CONDITIONS

Staff recommends approval of application CUP-2022-00033, with the following conditions:

1. The use of the drive-through facility shall be limited to ATM service associated with the permitted bank use.
2. Comply with the site plan, provided as **Attachment B**, to the staff report dated April 26, 2022. Site areas for inter-connectivity shall not count toward limitations on coverage (impermeable) and developed area/vegetation removal pursuant to Land Development Code Section 126-855; Site areas for building access for people with disabilities may encroach within the front commercial parking setback as necessary to achieve compliance with the Americans with Disabilities Act (ADA), pursuant to Land Development Code Section 126-940.
3. The applicant shall obtain all Building and Development permits prior to commencement of development activity.
4. A minimum of 28 vehicle parking spaces must be provided on-site and parking facilities for no less than 10 bicycles (i.e., bike rack) at each commercial building. No more than 1 space may be reserved as a vehicle charging station.
5. Installation of an inter-connectivity path from the Sanibel Captiva Community Bank building to the Shared Use Path abutting the north property line is required to provide safe independent access for bicycles and pedestrians.
6. An application for wavier of LDC Section 122-48. – Location and size of required vegetation buffers shall be submitted for Planning Commission consideration and obtained within 60 days, as necessary to formally approve the landscape buffer plan with side and rear buffer widths of less than 15 feet measured from the property line.
7. Exotic species of plants which out compete or otherwise displace native plants, including Brazilian pepper *Schinus terebinthifolius*, the Cajeput or Punk tree *Melaleuca quinquenervia*, Earleaf Acacia *Acacia auriculiformis*, Lead tree *Leucaena leucocephala*, Java Plum *Syzygium cumini*, Air Potato *Dioscorea bulbifera*, Exotic Inkberry *Scaevola frutescens*, *Scaevola sericea* and Mother-in-law's Tongue/Bowstring Hemp *Sansevieria hyacinthoides* shall be removed from within the boundaries of the parcel proposed for development or site alteration. The parcel shall be kept permanently free of such exotics.

8. All new and existing outdoor lighting fixtures shall be downward-facing full-cutoff fixtures, unless architectural features otherwise provide a functional equivalent. Uplighting is prohibited. All exterior lighting shall be designed and installed to prevent glare and light trespass. Light shall not be allowed to cause glare affecting motorists, bicyclists, or other users of roads, driveways and bicycle paths. Light shall not trespass over property lines.

INDEX TO STAFF REPORT ATTACHMENTS

Attachment	A	-	Applicant's Narrative Response to LDC Section 126-82 and 126-90
Attachment	B	-	Site Plan
Attachment	C	-	Floor Plan
Attachment	D	-	Traffic Impact Statement and Parking Demand Analysis
Attachment	E	-	Commercial Landscape Buffer Plan
Attachment	F	-	Memorandum from Natural Resources Department
Attachment	G	-	City Council Ordinance, Specific Amendment 84-10
Attachment	H	-	Public Comment

APPLICANT'S NARRATIVE DESCRIPTION OF HOW THIS APPLICATION MEETS THE CONDITIONAL USE GENERAL REQUIREMENTS OF THE CITY OF SANIBEL LAND DEVELOPMENT CODE SECTION 126.82 AND THE SPECIFIC REQUIREMENTS FOR THIS TYPE OF CONDITIONAL USE AS SET FORTH IN THE CITY OF SANIBEL LAND DEVELOPMENT CODE SECTION 126.90.

PREFACE

The applicant is requesting approval from the Planning Commission for a Conditional Use permit to allow construction/installation of a drive-through automated teller (ATM) with drive-through tube. The business is located in the Pricilla Murphy Center Condo Association ("Center") which is located in two units of an approved commercial use at 1019 Periwinkle Way (see "Exhibit A" attached).

Following is a description of the applicant's response as to how this application meets the general and specific requirements of the City of Sanibel Land Development Code.

GENERAL REQUIREMENTS OF SECTION 126.82:

- (1) **The proposed development shall not adversely affect compatibility with other uses, either on, adjacent to, or nearby the parcel; shall not adversely affect the traffic flow to a significantly greater extent than permitted uses; shall not adversely affect the health, safety and welfare of the community or its goals and objectives; and shall be inherently beneficial to the community or reasonably necessary to its convenience.**

Response: The property on which this use will be located at the Eastern end of Periwinkle, just West of Causeway Blvd., is a designated Commercial District. This Center is occupied by the applicant and John R. Wood Realty with another stand-alone building occupied by Norris Furniture. All of the other nearby properties are commercial with the exception of the land to the South which Beach Road Villas Condo Association. The applicant's proposed additional use will not result in any increase in the intensity of use of the property or be incompatible or inappropriate with those other uses or adjacent to or nearby the property. Nor will the proposed use of the parcel adversely affect the traffic flow to a greater extent than permitted uses. Nor shall the proposed amendment adversely affect the health, safety and welfare of the community or its goals and objectives. The implementation of drive-through automated teller (ATM) with drive-through tube will minimize person to person contact and eliminate any parking issues, which would otherwise be used if no drive-through automated teller (ATM) with drive-through tube existed and, it will be inherently beneficial to the community and is necessary for the convenience of both its permeant and transit residents.

- (2) **A request for conditional use approval shall be accompanied by a site development plan prepared in accordance with the requirements of subsection 82-382(13).**

Response: Attached as updated Exhibit E is the survey/site development plan, which includes an electrical/light fixture schedule. Pursuant to LDC Section 82-382(30), the City Manager or Planning Commission may waive those requirements which are not essential to processing the application.

- (3) **In reviewing requests for conditional uses, the planning commission may impose, as necessary, conditions to protect adjacent or nearby parcels and in furtherance of the public interests, with regard to location, design, intensity of use, architectural treatment, siting, landscaping maintenance and operation of the uses.**

Response: The applicant has been in communication with the City/Planning regarding the contemplated plans, which are collateral in nature to this conditional use application, all of which shall have no negative impact on adjacent or nearby parcels and candidly should have a positive impact with regard to public interest.

- (4) **The developer must demonstrate that the proposed use is coordinated, to the greatest extent possible, with adjoining developments. Where applicable, this coordination shall include examination of all opportunities to share or combine drives and entry points, parking areas, sewage treatment facilities, pedestrian walkways and other service facilities.**

Response: The development of the Center as a whole already contemplated one of the two driveways as a shared driveway and therefore this particular conditional use permit shall have no impact on the existing uses with the commercial neighbor of the Center. Although the applicant shall coordinate with John R. Wood Realty and Norris Furniture to all necessary degrees.

- (5) **The planning commission shall consider the nature of the site, its size and its configuration to determine whether the parcel is adequate to:**
- a. **Accommodate the placement and arrangement of structures so as to promote the best possible vehicular and pedestrian access and internal circulation;**
 - b. **Maximize energy efficiency and compatibility with adjoining uses on and off the site; and**
 - c. **Minimize the need for additional off-site improvement.**

Response: A copy of the site plan accompanies this application in order to demonstrate that the center is located on a 49,589 square foot (1.14 acres) parcel and demonstrates that:

- a. The placement and arrangement of the structures as built, promotes the best possible vehicular and pedestrian access and internal circulation.

- b. There are no off-site commercial uses. The on-site use of the applicant's units blends well with the Center existing use.
- c. The only need for additional off-site will be resolved upon the applicant's collateral construction/improvement permits.

(6) In considering a proposed conditional use for approval, the planning commission shall evaluate the proposal in consideration of the following pertinent factors:

- a. Conformance with Sanibel Plan. No conditional use may be approved unless it is in accord with the Sanibel Plan.**
- b. Internal compatibility. Any proposed conditional use must be compatible with other existing or proposed uses on the same site; that is, no use may have any undue adverse impact on any neighboring use. An evaluation of the internal compatibility of a conditional use should be based on the following factors:**
 - 1. The street scape;**
 - 2. The existence or absence of, and the location of, open spaces, plazas, recreational areas and common areas;**
 - 3. The use of existing and proposed landscaping;**
 - 4. Traffic and pedestrian circulation pattern; and**
 - 5. Any other factor deemed relevant to the privacy, safety, preservation, protection or welfare of any existing or proposed use on the site.**

Response:

- a. The location and proposed use of the property conforms to the Sanibel Plan.
- b. The proposed scope of the applicant's use of the property with other on-site uses are and have been compatible with both the existing uses and those permitted uses under the City of Sanibel Land Development Code. The applicant's use of the property as proposed will not have any adverse impact on any neighboring uses. The Land Development Code lists 16 factors upon which the planning commission may evaluate the compatibility of a proposed conditional use may be evaluated. In the applicant's opinion only five are applicable when contemplating this conditional use permit outside of any collateral improvements to be proposed/permitted. .
 - 1. Street scape: There two existing driveways to the Center (one for ingress/egress and the other proposed to be for egress only), both of which have been existing since the development of the Center and the proposed conditional use permit (applicable location thereof) does not interfere with or impact the street scape.
 - 2. The site plan accompanies this application and depicts the location of open spaces, plazas, recreation areas and common areas as applicable. The property was

developed to provide a wide pedestrian walkway providing pedestrian access to all of the commercial uses in the Center as well as the parking lot. In addition, there are numerous landscape islands and common areas.

3. The use of the existing landscaping. The existing landscaping provides adequate boundary buffers on each applicable side of the Center. See attached proposed Landscape Plan.
 4. Traffic and pedestrian circulation pattern. The Center will have pervious pavers installed walkways/ramps throughout the parcel to provide protection from interaction between pedestrian and vehicular traffic. All interior traffic infrastructure accommodates the occupants/ tenants and their clients. The applicant intends to propose that all vehicle traffic on the East side of the Center flow in a one way direction exiting the Center, which has been the historically applied default pattern. This is the only intense modification of the existing parcel that can be modified to further enhance the internal compatibility of the proposed amended commercial use.
 5. A copy of the site plan accompanies this application in order to demonstrate that the center is located on a 49,589 square foot (1.14 acres) and demonstrates that the placement and arrangement of the structure, as built, and the proposed locations of the conditional use permit as well as collateral improvements to be proposed and promotes the best possible vehicular and pedestrian access and internal circulation.
- c. External compatibility. All proposed conditional uses must be compatible with existing and planned uses of surrounding properties; that is, no internal use may have any avoidable of undue adverse impact on any existing or planned surrounding use. An evaluation of the external compatibility of a proposed conditional use should be based on the following factors:**
- 1. All of those factors listed in subsection (6)b of this section;**
 - 2. The particular uses proposed and the conditions and limitations thereon;**
 - 3. The type, number and location of surrounding external uses;**
 - 4. The Sanibel Plan designation and zoning on surrounding lands; and**
 - 5. Any other factor deemed relevant to the privacy, safety, preservation, protection or welfare of lands surrounding the proposed conditional use and any existing or planned use of such lands.**

Response: The applicant proposed conditional use modification does not require nor is it requested that there by any be any change the external compatibility and the proposed use will be coordinated with the surrounding external uses. The surrounding/adjacent properties are all commercial use and the only exception is the Beach Road Villas Condo Association located behind/to the South of the Center. There will be no variation from the preset use of the property which conforms with the Sanibel Plan and Land Developed Code. There are no factors occasioned by the proposed use that would be

deemed relevant to the privacy, safety, preservation, protection or welfare of the lands surrounding the proposed conditional use of the property.

- d. **Intensity of development.** The residential density and intensity of commercial use of a conditional use shall be compatible with (that is, shall have no undue adverse impact upon) the physical and environmental characteristics of the site and surrounding lands. Within the maximum limitation of the Sanibel Plan and this Land Development Code, the permitted residential density and intensity of commercial use in a proposed conditional use may be adjusted in consideration of the following factors:
1. The locations of various proposed uses within the site and the degree of compatibility of such uses with each other and with surrounding uses;
 2. The amount and type of protection provided for the safety, habitability, and privacy of the land uses both internal and external to the site;
 3. The existing residential density and intensity of commercial use of surrounding lands;
 4. The availability and location of utilities, services and public facilities and services;
 5. The amount and size of open spaces, plazas, common areas and recreation areas;
 6. The use of energy-saving techniques and devices, including sun and wind orientation;
 7. The existence and treatment of any environmental hazards to the site or surrounding lands;
 8. The access to and suitability of transportation routes proposed within the site and existing external transportation systems and routes; and
 9. Any other factor deemed relevant to the limitation of the intensity of development for the benefit of the public health, welfare and safety.

Response: There is no proposed change and intensity of commercial use occasioned by this Conditional Use Permit. The Conditional Use Permit to allow the use of a drive-through automated teller (ATM) with drive-through tube and reduce any potential congestion for available parking spaces by residents, clients and visitors. The proposed conditional use permit will serve all of the residents, clients and visitors.

- e. **Environmental constraints.** The site of the proposed conditional use shall be suitable for use in the manner proposed without hazards to persons, vegetation, or wildlife, either on or off the site from the likelihood of increased flooding, erosion, or other dangers, annoyances, or inconveniences. Condition of soil, water level, drainage, and topography shall all be appropriate to the pattern and intensity of development intended.

Response: The site is fully developed in accordance with the Land Development Code and is suitable for the proposed use without any hazards to person, vegetation or wildlife. All of the environmental factors of this Section of Code have been addressed during the development and redevelopment of the facility.

- f. **Off-street parking. Sufficient off-street parking, for bicycles and other vehicles as well as cars, shall be provided. The specific requirements of this Land Development Code shall be used as a guide only. Parking areas shall be constructed in accordance with such standards as are approved by the planning commission to ensure that they are safe and maintainable and that they allow for sufficient privacy for adjoining uses.**

Response: The use proposed by this application will not result in any increase in need for off street parking for bicycles or other vehicles. The applicant can demonstrate that the proposed Conditional Use will result in a reduction in frequency, duration and intensity of off street parking of client and customer parking, all on-site parking has been constructed and/or proposed in accordance with standards adopted by the Planning Commission as exhibited in the City of Sanibel Land Development Code and, insures that the parking facilities are safe, maintained and allows for sufficient privacy and availability for adjoining uses. See attached Parking Demand/Analysis.

Specific Conditional Use Requirements for Drive-in and drive-through facilities.

Sec. 126-90.- Drive-in and drive-through facilities

Drive-in and drive-through facilities in conjunction with a permitted conditional use shall be permitted as a conditional use subject to the following conditions set forth in this section:

- (1) No access driveway to any parcel on which such use is located shall be any closer than 200 feet to the intersection of Periwinkle Way with Causeway Road, Beach Road, Donax Street, Dixie Beach Boulevard, Casa Ybel Road, Palm Ridge Road, or Tarpon Bay Road, or the Intersection of Tarpon Bay Road with Palm Ridge Road, as measured from the closest outermost edge of the intersecting access driveway, not including the turning radius, as extended to the centerline of the intersected street to the closest outermost edge of the intersecting street, not including the turning radius, as extended to the centerline of the intersected street.**
- (2) All drive-in or drive-through service areas shall be designed to stack a minimum of four cars per lane, without interfering with on-site or off-site traffic circulation.**
- (3) All drive-in or drive-through service areas shall be counted toward the maximum permitted commercial floor area for the parcel.**

(4) Nothing in this article or any other provision of this Land Development Code shall be construed to allow drive-up, drive-through or drive-in lanes with carry-out service windows in or at any restaurant, food service operation or beverage or liquor store, and drive-up, drive-through or drive-in lanes with carry-out service windows in or at any restaurant, food service operation or beverage or liquor store are specifically prohibited.

Response:

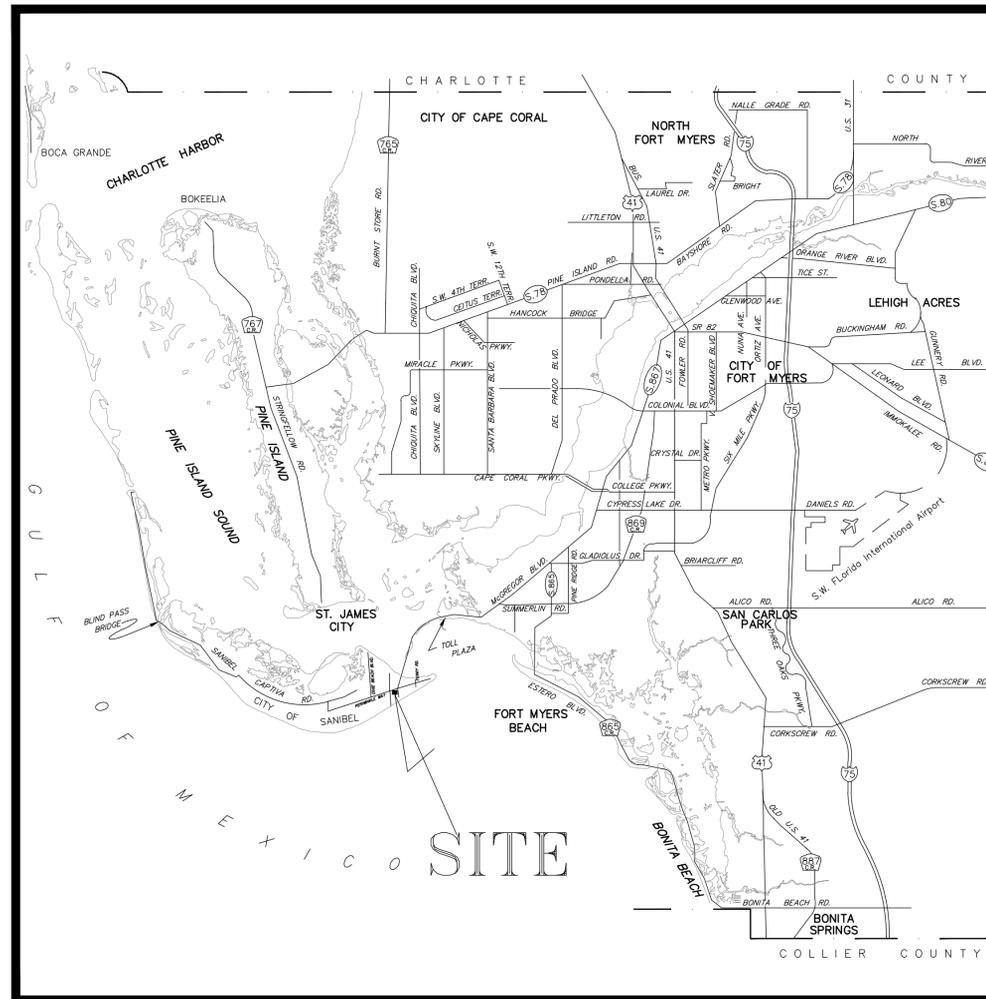
- (1) The access driveways for the Center are no closer than 200 feet from any of the intersection cited in 126-90.
- (2) The proposed Site Plan allows for stacking of a minimum of four (4) cars per lane, wherein there is only one proposed drive-through lane.
- (3) The proposed drive-through automated teller (ATM) with drive-through tube will not exceed the maximum permitted commercial floor area.
- (4) The proposed drive-through automated teller (ATM) with drive-through tube will not be utilized for restaurant, food service operation, beverage or liquor store purposes. It shall exclusively be utilized for banking purposes.

SITE CONSTRUCTION PLANS FOR SANIBEL CAPTIVA COMMUNITY BANK RENOVATIONS SANIBEL, FLORIDA SECTION 19, TOWNSHIP 46S, RANGE 23E

PLAN INDEX

- 1 COVER
- 2 BOUNDARY & TOPOGRAPHIC SURVEY
- 3 AERIAL LOCATION MAP WITH ZONING DISTRICTS
- 4 DEMOLITION PLAN
- 5 SITE DIMENSION PLAN
- 6 PAVING, GRADING, AND DRAINAGE PLAN
- 7 PAVING, GRADING, AND DRAINAGE DETAILS/
EXISTING HYDROLOGY MAP
- 8 STORMWATER POLLUTION PREVENTION PLAN
- 9 STORMWATER POLLUTION PREVENTION DETAILS

1
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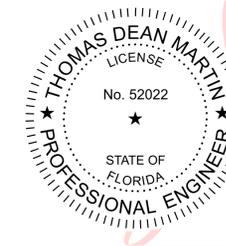
OWNER/DEVELOPER

SANIBEL CAPTIVA COMMUNITY BANK
7500 College Parkway
Fort Myers, FL 33907
Phone: (239) 210-2269

CIVIL ENGINEER



43 Barkley Circle, Suite 200
Fort Myers, FL 33907
Phone: (239) 433-4231
Fax: (239) 433-9632
Email: dean@tdmconsulting.com
www.tdmcivilengineering.com
Certificate of Authorization # 29086



Digitally signed
by Thomas
Dean Martin
Date:
2022.03.01
11:39:13 -05'00'

DEAN MARTIN
FLORIDA P.E. #52022

This item has been digitally signed and sealed by Dean Martin on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

BOUNDARY & TOPOGRAPHIC SURVEY SUBMITTED SEPARATELY

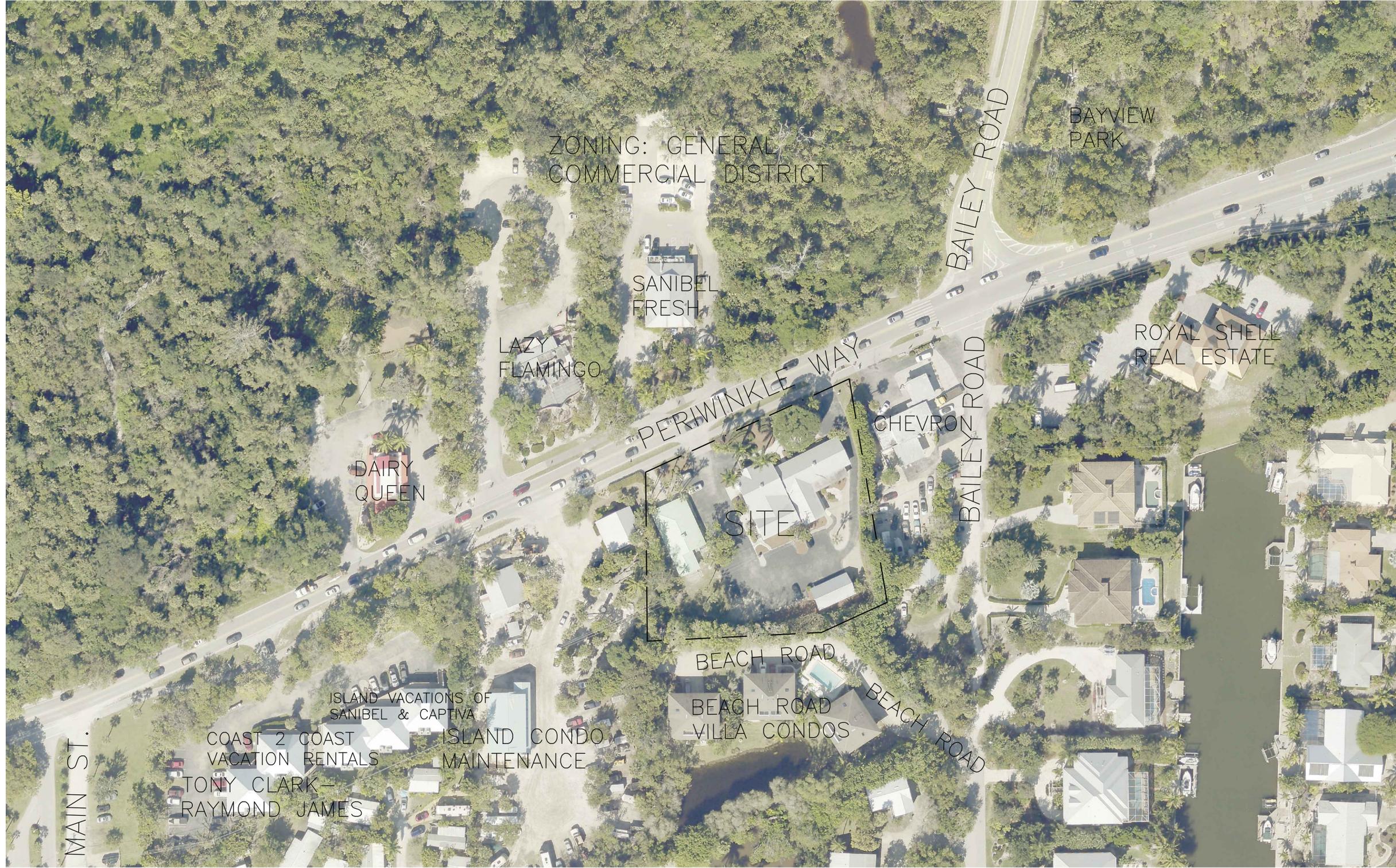
SHEET #	2 of 9	NOT VALID WITHOUT EMBOSSED SEAL, SIGNATURE, AND DATE.	 <p>Digitally signed by Thomas Dean Martin Date: 2022.03.01 11:39:46 -05'00'</p> <p>Dean Martin, P.E. Florida #52022</p> <p><small>This form has been digitally signed and sealed by Dean Martin on the date indicated to the seal. Printed copies of this document are not considered signatures for electronic copies. Print for records on firm.</small></p>	 <p>Civil Engineering and Planning</p> <p>43 Barkley Circle, Suite 200 Fort Myers, FL 33907 Phone: (239) 433-4231 Fax: (239) 433-9632 Cert. of Authorization # 29086</p>	 <p>dean@tdmconsulting.com www.tdmcivilengineering.com</p>	<p>SANIBEL CAPTIVA COMMUNITY BANK RENOVATIONS</p> <p>BOUNDARY & TOPOGRAPHIC SURVEY</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">DATE</th> <th style="width: 10%;">REVISIONS</th> </tr> <tr> <td style="text-align: center;">DATE</td> <td style="text-align: center;">DESIGNED BY:</td> </tr> <tr> <td style="text-align: center;">DATE</td> <td style="text-align: center;">ADM</td> </tr> <tr> <td style="text-align: center;">DATE</td> <td style="text-align: center;">DRAWN BY:</td> </tr> <tr> <td style="text-align: center;">DATE</td> <td style="text-align: center;">ADM</td> </tr> <tr> <td style="text-align: center;">DATE</td> <td style="text-align: center;">CHECKED BY:</td> </tr> <tr> <td style="text-align: center;">DATE</td> <td style="text-align: center;">TDM</td> </tr> <tr> <td style="text-align: center;">DATE</td> <td style="text-align: center;">APPROVED BY:</td> </tr> <tr> <td style="text-align: center;">DATE</td> <td style="text-align: center;">TDM</td> </tr> </table> <p style="font-size: 8px;">DRAWING NAME: FORSMORE and SPENCE/StarCap Bank/Sanibel DRAWING NAME: CHANDELIER/CA/1/TDM Site</p>	DATE	REVISIONS	DATE	DESIGNED BY:	DATE	ADM	DATE	DRAWN BY:	DATE	ADM	DATE	CHECKED BY:	DATE	TDM	DATE	APPROVED BY:	DATE	TDM
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DATE	APPROVED BY:																								
DATE	TDM																								

STREET ADDRESS

1019 PERIWINKLE WAY
SANIBEL, FL 33957

STRAP NUMBER

19-46-23-T3-00700.0020



1" = 50'

DATE	REVISIONS
06/11/21	DESIGNED BY: TDM
	DRAWN BY: TDM
	CHECKED BY: TDM
	APPROVED BY: TDM
DRAWING NAME: FOR SANIBEL AND CAPTIVA BANK RENOVATIONS	
DRAWING NAME: CHANGING TO TDM SH	

**SANIBEL CAPTIVA COMMUNITY
BANK RENOVATIONS
AERIAL LOCATION MAP
WITH ZONING DISTRICTS**

Civil Engineering
and
Planning



dean@tdmconsulting.com
www.tdmconsulting.com



43 Barkley Circle, Suite 200
Fort Myers, FL 33907
Phone: (239) 433-4231
Fax: (239) 433-9632
Cert. of Authorization # 29086

NOT VALID WITHOUT EMBOSSED SEAL, SIGNATURE, AND DATE

Digitally signed
by Thomas
Dean Martin
Date: 2022.03.01
11:40:02 -05'00'

DATE:

Dean Martin, P.E.
Florida #52022

This has been digitally signed and sealed by Dean Martin on the date indicated in the lower right corner of this document and any other information contained herein is true and correct.

SHEET #
3 of 9

SCALE: 1" = 50'

STREET ADDRESS

1019 PERIWINKLE WAY
SANIBEL, FL 33957

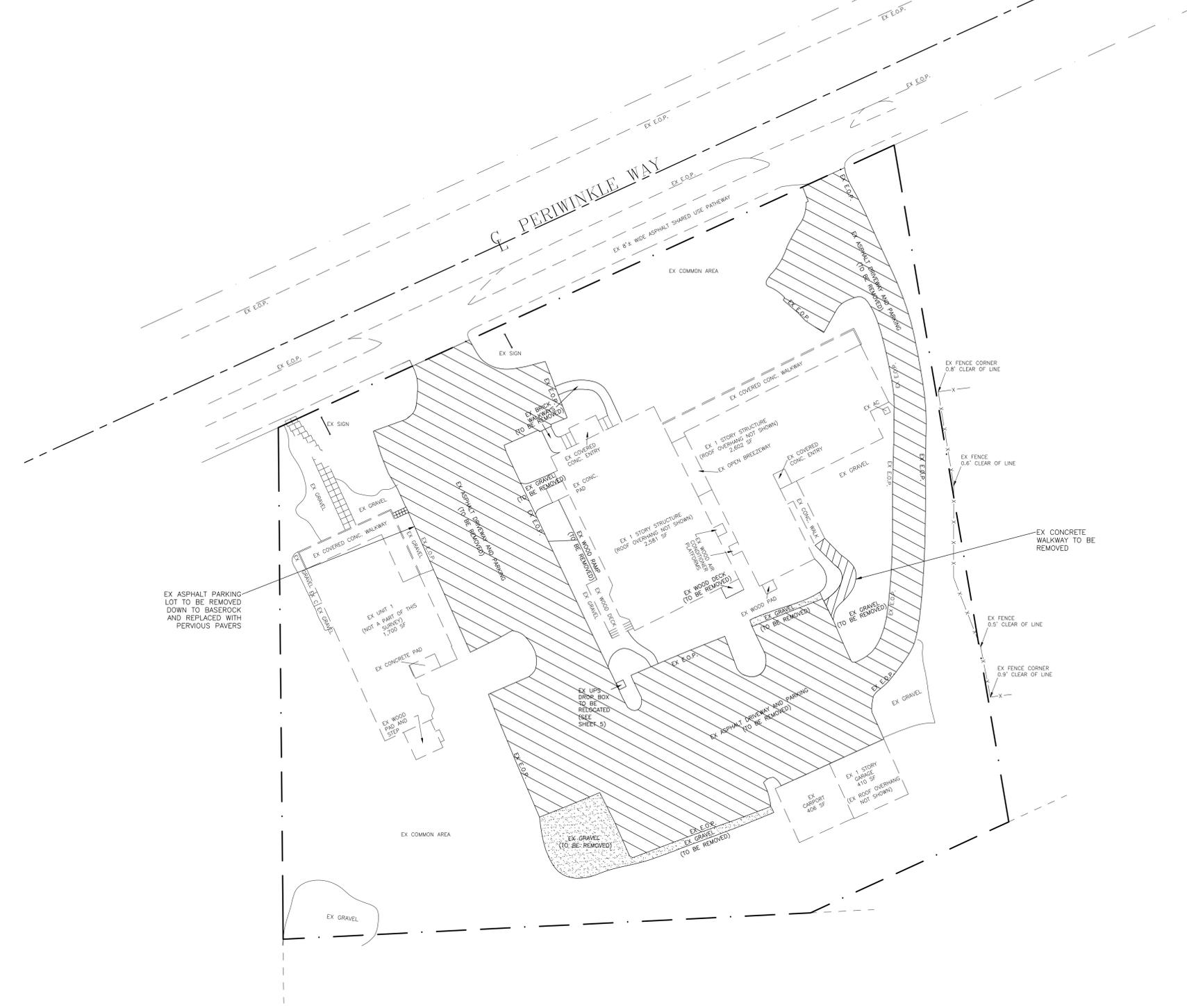
STRAP NUMBER

19-46-23-T3-00700.0020

LEGEND

	ASPHALT TO BE REMOVED DOWN TO BASE ROCK
	CONCRETE TO BE REMOVED
	GRAVEL TO BE REMOVED
EX.	EXISTING
E.O.P.	EDGE OF PAVEMENT
CONC.	CONCRETE
R/W	RIGHT OF WAY

1" = 20'



DATE	REVISIONS	DESIGNED BY	ADM	DRAWN BY	ADM	CHECKED BY	TDM	APPROVED BY	TDM
07/21/21									
02/11/22	1								

REVISIIONS
REVISED PER SANIBEL COMMENTS

DRAWING NAME: FORESMAN and SPANCA/SANIBEL BANK SANIBEL
DRAWING NUMBER: CA/11/TDM SHIP

**SANIBEL CAPTIVA COMMUNITY
BANK RENOVATIONS
DEMOLITION PLAN**

Civil Engineering and Planning

TDM
CONSULTING, INC.

43 Barkley Circle, Suite 200
Fort Myers, FL 33907
Phone: (239) 433-4231
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Cert. of Authorization # 29086

dean@tdmconsulting.com
www.tdmcivilengineering.com

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Digitally signed by Thomas Dean Martin
Date: 2022.03.01 11:40:15 -05'00'

Dean Martin, P.E.
Florida #52022

DATE: 2022.03.01 11:40:15 -05'00'

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STREET ADDRESS

1019 PERWINKLE WAY
SANIBEL, FL 33957

STRAP NUMBER

19-46-23-T3-00700.0020

UTILITY NOTE

NO BUILDING EXPANSION PROPOSED. EXISTING SEWER AND WATER CONNECTIONS TO REMAIN AND SERVICE THE NEW TENANTS.

PHASING NOTES

PHASE 1 = PROPOSED HANDICAP PARKING SPACE, COVERED ENTRY, AND SIDEWALKS
PHASE 2 = PARKING LOT IMPROVEMENTS, WALKWAYS, AND PROPOSED ATM DRIVE THRU LANE

PROJECT INFORMATION

CURRENT ZONING = GENERAL COMMERCIAL
FUTURE LAND USE = GENERAL COMMERCIAL
PROPOSED USE = BANK, OFFICE, AND EX RETAIL
EXIST. FLORIDA LAND = #1400 - COMMERCIAL & SERVICES
USE CLASSIFICATIONS
EXIST. SOIL TYPES = #4 - CANAVERAL - URBAN LAND COMPLEX
ARCHAEOLOGICAL = NONE
SENSITIVITY LEVEL

DEVELOPMENT SITE AREAS

TOTAL PARCEL AREA: (1.14 AC)	49,589 SF	100.0%
PROPOSED PAVEMENT AREA:	614 SF	1.2%
PROPOSED WOOD DECK/RAMP AREA:	290 SF	0.6%
PROPOSED CONCRETE AREA:	1,740 SF	3.5%
PROPOSED PERVIOUS PAVEMENT AREA:	12,912 SF	26.0%
EXISTING BUILDING (TO REMAIN):	7,699 SF	15.5%
EXISTING IMPERVIOUS SURFACE (TO REMAIN):	1,459 SF	2.9%
PROPOSED TOTAL IMPERVIOUS AREA:	24,714 SF	49.7%
PROPOSED OPEN GREEN AREA:	24,875 SF	50.3%
PROPOSED TOTAL PERVIOUS AREA:	24,875 SF	50.3%

ALLOWED IMPERMEABLE COVERAGE

45% OF 49,589 SF = 22,315 SF ALLOWED
614 SF PAVEMENT + 1,740 SF OF CONCRETE + 290 SF WOOD DECK + 7,699 SF EXISTING BLDG + 1,459 SF EXISTING IMPERVIOUS + (12,912 SF/2) PERVIOUS PAVERS = 18,262 SF PROPOSED

ALLOWED DEVELOPED AREA

50% OF 49,589 SF = 24,794 SF ALLOWED
614 SF PAVEMENT + 1,740 SF OF CONCRETE + 290 SF WOOD DECK + 7,699 SF EXISTING BLDG + 1,459 SF EXISTING IMPERVIOUS + 12,912 SF PERVIOUS PAVERS = 24,714 SF PROPOSED

ZONING/ACTUAL USE

PROJECT SITE = GENERAL COMMERCIAL (BANK, OFFICE, AND RETAIL)
EAST = GENERAL COMMERCIAL (COMMERCIAL)
NORTH = ROW (PERWINKLE WAY)
WEST = GENERAL COMMERCIAL (COMMERCIAL)
SOUTH = GENERAL COMMERCIAL (RESIDENTIAL)

PARKING REQUIREMENTS

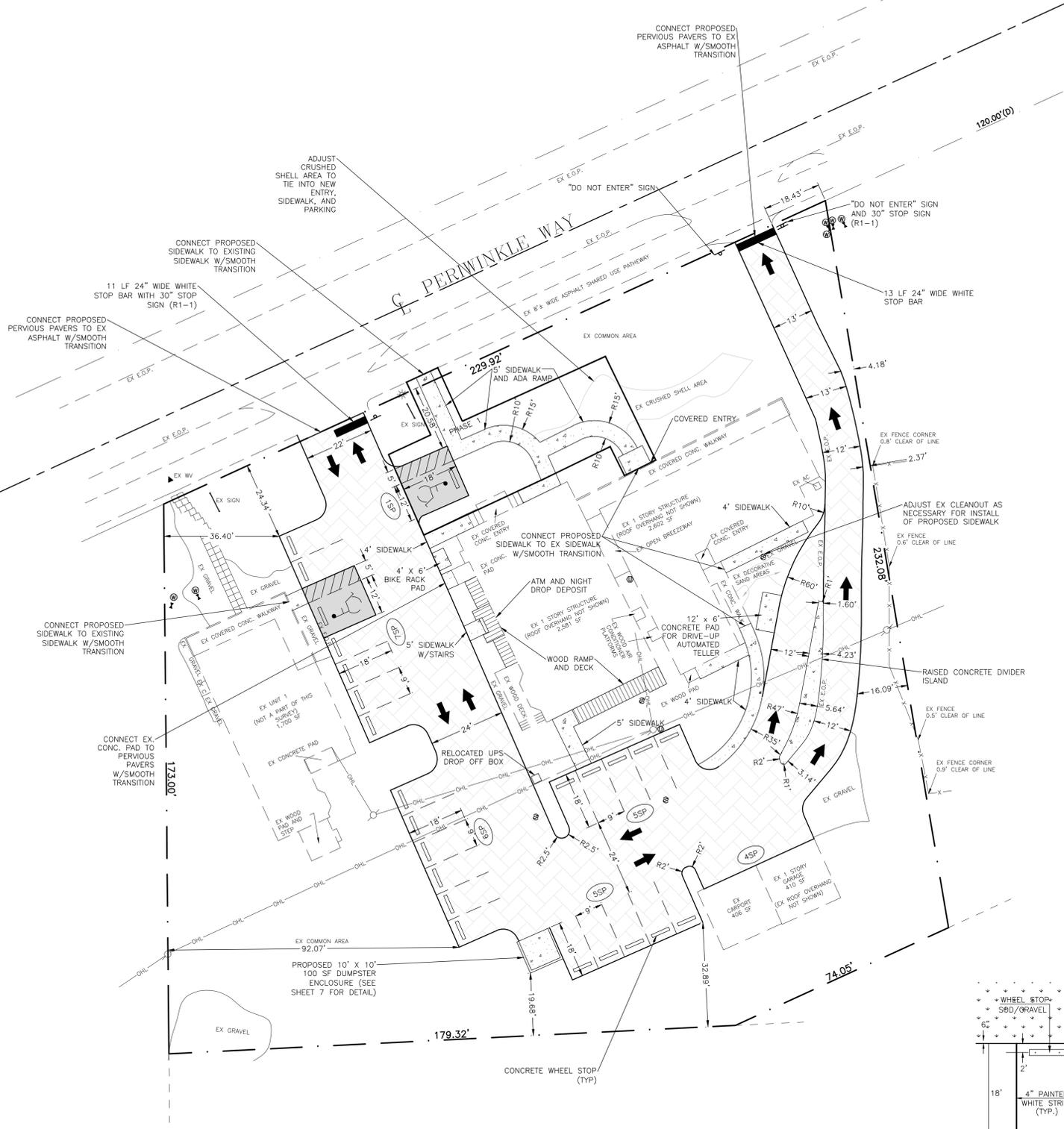
PER SECTION 126.1361 SANIBEL LAND DEVELOPMENT CODE.
1,700 SF RETAIL + 2,581 SF BANK + 2,602 SF OFFICE
= 1 SPACE FOR EACH 200 SF PLUS OF FLOOR AREA (RETAIL)
= 1,700 SF RETAIL = 8.5 SPACES
= 5 SPACES FOR THE FIRST 1,000 SF PLUS 1 SPACE PER 250 SF OF FLOOR AREA IN EXCESS (BANK AND OFFICE)
= 1,000 SF BANK + OFFICE = 5 SPACES PLUS 4,183/250 SF = 21.7 SPACES
REQUIRED PARKING = 32 SPACES (INCLUDING 2 SPACE FOR HC)
PROVIDED PARKING = 28 SPACES (INCLUDING 2 SPACE FOR HC)

TRIP GENERATION CALCULATIONS

PER ITE TRIP GENERATION, 10TH EDITION
THE PROPOSED BANK (LUC 912) HAS 2,581 SF G.F.A. AND 1 DRIVE-IN LANE
RAW TRIP GENERATION - TOTAL:
AVERAGE VEHICLE TRIP ENDS ON WEEKDAY = 258 (129 ENTERING, 129 EXITING)
AVERAGE VEHICLE TRIP ENDS - A.M. PEAK = 25 (14 ENTERING, 11 EXITING)
AVERAGE VEHICLE TRIP ENDS - P.M. PEAK = 52 (26 ENTERING, 26 EXITING)
THE PROPOSED SMALL OFFICE (LUC 712) HAS 2,602 SF G.F.A.
RAW TRIP GENERATION - TOTAL:
AVERAGE VEHICLE TRIP ENDS ON WEEKDAY = 42 (21 ENTERING, 21 EXITING)
AVERAGE VEHICLE TRIP ENDS - A.M. PEAK = 5 (4 ENTERING, 1 EXITING)
AVERAGE VEHICLE TRIP ENDS - P.M. PEAK = 6 (2 ENTERING, 4 EXITING)
THE PROPOSED SHOPPING CENTER (LUC 820) HAS 1,700 SF G.F.A.
RAW TRIP GENERATION - TOTAL:
AVERAGE VEHICLE TRIP ENDS ON WEEKDAY = 376 (188 ENTERING, 188 EXITING)
AVERAGE VEHICLE TRIP ENDS - A.M. PEAK = 2 (1 ENTERING, 1 EXITING)
AVERAGE VEHICLE TRIP ENDS - P.M. PEAK = 27 (13 ENTERING, 14 EXITING)
RAW TRIP GENERATION - TOTAL PROPOSED PROJECT
RAW TRIP GENERATION - TOTAL:
AVERAGE VEHICLE TRIP ENDS ON WEEKDAY = 676 (338 ENTERING, 338 EXITING)
AVERAGE VEHICLE TRIP ENDS - A.M. PEAK = 32 (19 ENTERING, 13 EXITING)
AVERAGE VEHICLE TRIP ENDS - P.M. PEAK = 85 (41 ENTERING, 44 EXITING)
RAW TRIP GENERATION - TOTAL PROPOSED PROJECT LESS PASS-BY
AVERAGE VEHICLE TRIP ENDS - A.M. PEAK = 19 (11 ENTERING, 8 EXITING)
AVERAGE VEHICLE TRIP ENDS - P.M. PEAK = 52 (26 ENTERING, 26 EXITING)

NOTES

- ALL EXISTING AND PROPOSED GRADES ARE N.A.V.D. OF 1988.
- THIS PARCEL LIES IN FLOOD ZONES "AE-9 AND AE-10".
- THIS PROJECT PRESENTS NO ADVERSE IMPACTS ON LOCAL GROUND OR SURFACE WATERS.
- THIS PROJECT DOES NOT ADVERSELY IMPACT THE FLOOD PLAN OR ANY RIVERINE AREAS.
- THIS SITE CAN BE USED SAFELY FOR THE DEVELOPMENT AS SHOWN WITHOUT UNDUE DANGER FROM FLOOD OR ADVERSE SOIL AND/OR FOUNDATION CONDITIONS.
- THIS SITE DOES NOT EXHIBIT ANY SALT WATER PONDING.



LEGEND

EX.	EXISTING
R/W	RIGHT-OF-WAY
E.O.P.	EDGE OF PAVEMENT
CONC.	CONCRETE
TYP.	TYPICAL
PROP.	PROPOSED
SF	SQUARE FEET
LF	LINEAR FEET
E.O.P.	EDGE OF PAVEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
L.P.	LIGHT POLE
10SP	NUMBER OF PARKING SPACES IN LOT
[Symbol]	PROPOSED PERVIOUS PAVERS
[Symbol]	PROPOSED PAVEMENT
[Symbol]	PROPOSED CONCRETE
LDC	LAND DEVELOPMENT CODE
N.T.S.	NOT TO SCALE
S.W.	SIDEWALK
EX. B.F.P.D.	EXISTING B.F.P.D.
C.O. OR C/O	CLEAN OUT
[Symbol]	EXISTING CLEAN OUT
WM	EXISTING WATER METER
B.F.P.D.	BACK FLOW PREVENTION DEVICE
W.P.P.	EXISTING WOOD UTILITY POLE
OHP	EXISTING OVERHEAD POWER LINES
[Symbol]	EXISTING TELEPHONE BOX
WV	EXISTING GATE VALVE

1" = 20'

STOP SIGN DETAIL (R1-1) N.T.S.

DO NOT ENTER SIGN DETAIL (R5-1) N.T.S.

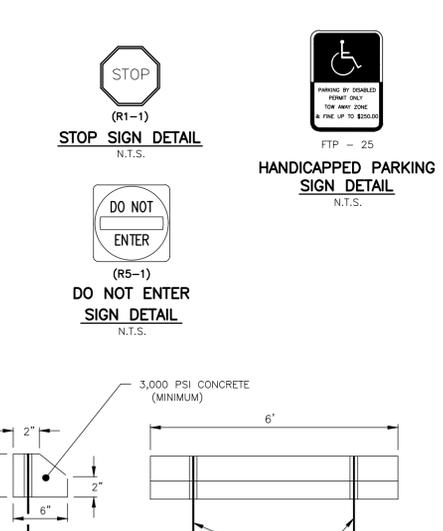
HANDICAPPED PARKING SIGN DETAIL N.T.S.

WHEEL STOP DETAIL N.T.S.

NOTE: ALL PAVEMENT MARKINGS WITHIN THE ROW MUST BE THERMOPLASTIC

TYPICAL SPACES N.T.S.

HANDICAP SPACE N.T.S.



DATE	DESIGNED BY	ADM	DRAWN BY	ADM	CHECKED BY	APPROVED BY
07/21/21						
DATE	REVISIONS	REVISED PER	COMMENTS			
02/11/22	1					

DRAWING NAME: **CONVERTING AND SPECIALTIES/StarCap Bank-Sanibel**
DRAWN BY: **Chavarras/Caiti/TDM**

**SANIBEL CAPTIVA COMMUNITY
BANK RENOVATIONS
SITE DIMENSION PLAN**

Civil Engineering and Planning

TDM CONSULTING, INC.
43 Bankley Circle, Suite 200
Fort Myers, FL 33907
Phone: (239) 433-4231
Fax: (239) 433-9632
Cert. of Authorization # 29086

Digitally signed by **Thomas Dean Martin**
Date: 2022.03.01 11:40:29 -05'00'
DATE: 2022.03.01 11:40:29 -05'00'
Dean Martin, P.E.
Fort Myers, FL 33907
Phone: (239) 433-4231
Fax: (239) 433-9632
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STREET ADDRESS

1019 PERIWINKLE WAY
SANIBEL, FL 33957

STRAP NUMBER

19-46-23-T3-00700.0020

FLOOD_ZONE

THE PARCEL IS LOCATED IN FLOOD ZONE "AE-9 AND 10"
THIS INFORMATION WAS TAKEN FROM THE BOUNDARY SURVEY
PROVIDED BY HALEY WARD DATED 04-08-21

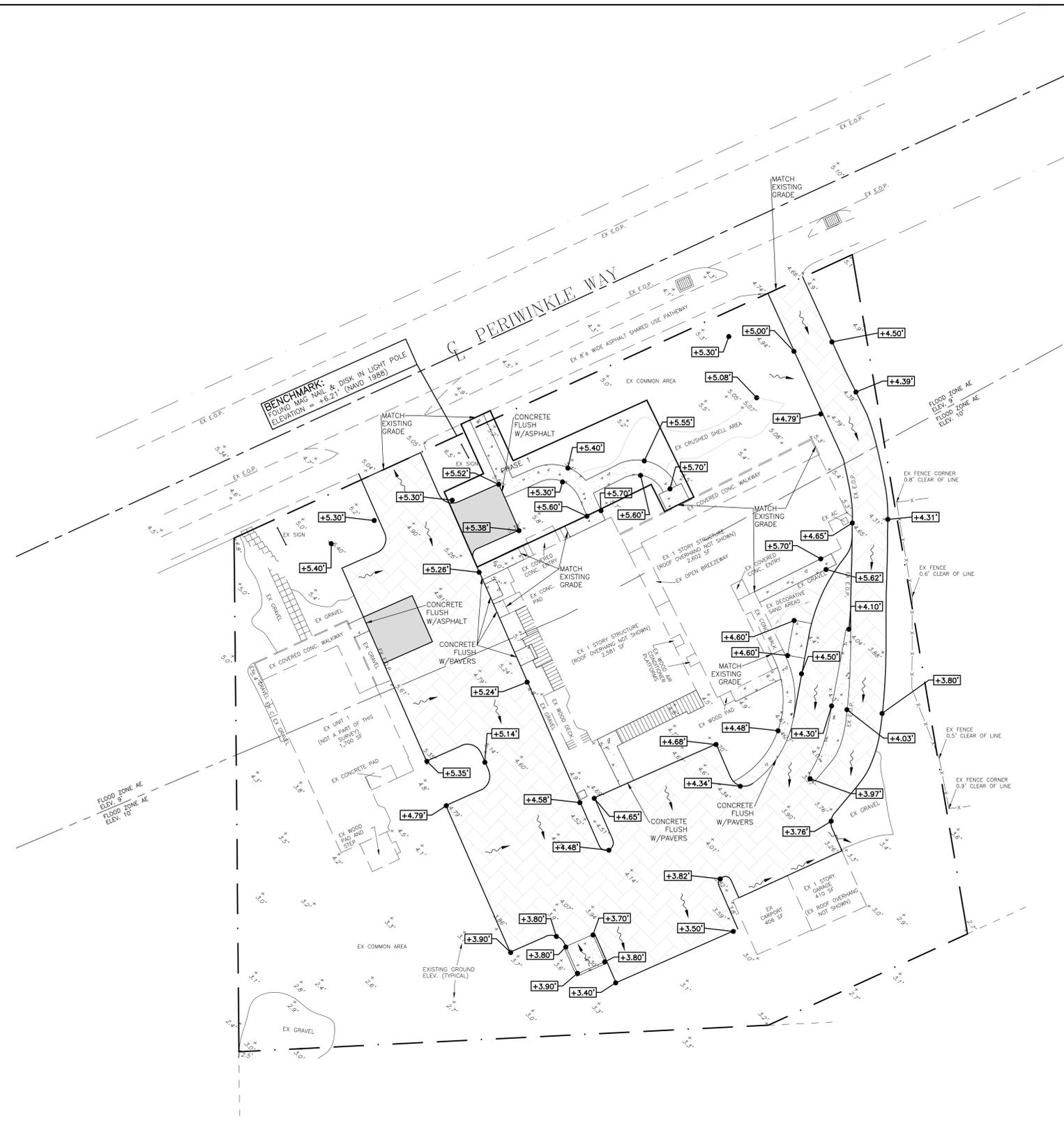
DRAINAGE NOTE

1. THE PROPOSED IMPROVEMENTS ARE LOCATED WITHIN EXISTING IMPERVIOUS AREAS. THERE IS NO NET INCREASE IN IMPERVIOUS AREAS. THEREFORE, THE EXISTING STORMWATER MANAGEMENT SYSTEM IS ADEQUATE FOR THE PROPOSED IMPROVEMENTS.
2. THE DEVELOPMENT OF THIS PROPERTY AS SHOWN WILL NOT HAVE ANY ADVERSE HYDROLOGICAL EFFECT ON ADJACENT PROPERTIES THROUGH THE DESIGN STORM EVENT.

LEGEND

	PROPOSED GRADE - SPOT (SPOT SHOWN IS PAVEMENT/PAVER GRADE)
	FINISH FLOOR ELEVATION
	EXISTING GRADE - SPOT
	PROPOSED PERVIOUS PAVERS
	PROPOSED PAVEMENT
	PROPOSED CONCRETE
	M.E.S.
	EXISTING MITERED-END SECTION INTENDED DIRECTION OF STORMWATER FLOW
	EXISTING REINFORCED CONCRETE PIPE
	R/W, ROW
	P.U.E.
	D.E.
	(TYP.)
	EX.
	SF
	LF
	CF
	I.E.
	EL. OR ELEV.
	N.A.V.D.
	WPP
	CONC.
	EOP
	SW

1" = 20'



DATE	DESIGNED BY	ADM	DRAWN BY	ADM	CHECKED BY	TDM	APPROVED BY
07/21/21							
DATE	REVISIONS	REVISED PER	REVISION COMMENTS	DATE	BY	BY	BY
02/11/22	1						

**SANIBEL CAPTIVA COMMUNITY
BANK RENOVATIONS**

**PAVING, GRADING, AND
DRAINAGE PLAN**

Civil Engineering and Planning

TDM CONSULTING, INC.
43 Barkley Circle, Suite 200
Fort Myers, FL 33907
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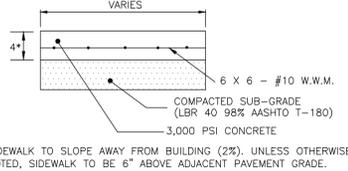
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Florida #52022

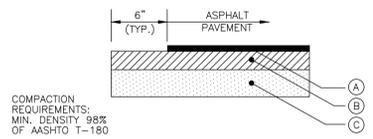
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GENERAL CONSTRUCTION NOTES

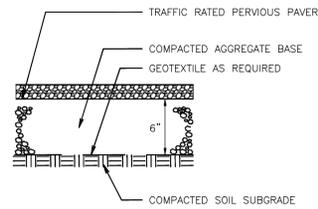
- ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO N.A.V.D. OF 1988. ALL BOUNDARY, EXISTING CONDITIONS, AND TOPOGRAPHIC INFORMATION AS SHOWN WAS TAKEN FROM A SYSTEM FILE PROVIDED BY HALCY WARD. MARKS ARE AS SHOWN ON BOUNDARY & TOPOGRAPHIC SURVEY.
- EXISTING UTILITY LOCATIONS, IF SHOWN HEREON, ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF SAID UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- A CITY OF SANIBEL INSPECTION IS REQUIRED ON ALL PROPOSED FACILITIES PRIOR TO BACKFILLING OF TRENCHES.
- ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF PROJECT ENGINEER IS SUBJECT TO REMOVAL AND REPLACEMENT OF SAME TO BE DONE AT CONTRACTOR'S EXPENSE.
- CONTRACTOR TO RETURN ALL DISTURBED AREAS TO EXISTING CONDITION OR BETTER INCLUDING, BUT NOT LIMITED TO, VEGETATION AND SOODINGS.
- A CITY OF SANIBEL ROW PERMIT IS REQUIRED FOR ALL WORK IN PUBLIC ROWS. CONTRACTOR TO CONTACT SANIBEL PUBLIC WORKS AT 239-472-6397 TO OBTAIN A ROW PERMIT PRIOR TO ANY WORK IN THE PUBLIC ROW.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF SANIBEL DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL CONTACT ALL APPROPRIATE AGENCIES, UTILITIES, AND PROJECT ENGINEER A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT PROJECT ENGINEER PRIOR TO THE INITIATION OF ANY DEVIATION FROM THE APPROVED PLANS. NO SUCH DEVIATIONS SHALL BE AUTHORIZED WITHOUT PRIOR WRITTEN APPROVAL BY PROJECT ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ANY AND ALL DEBRIS REMOVED FROM THE SITE.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- VERTICAL SAW CUTS THROUGH EXISTING LIMEROCK ARE REQUIRED WHERE NEW PAVERS MATCHES TO EXISTING PAVEMENT.
- IF A REQUIRED DIMENSION IS NOT SHOWN OR A DISCREPANCY IS FOUND ON THE DRAWINGS, CONTRACTOR TO CONTACT PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- ALL EMBANKMENT SHALL BE CONSTRUCTED IN ONE (1) FOOT LIFTS TO A MINIMUM COMPACTION OF 95% AASHTO T-180.
- CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF ASBUILT DRAWINGS AT ALL TIMES AND PROVIDE ONE (1) COPY TO PROJECT ENGINEER UPON COMPLETION OF CONSTRUCTION.
- THIS PLAN IS FOR PERMITTING ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION UNLESS AUTHORIZED BY ENGINEER OF RECORD.
- CONTRACTOR SHALL COORDINATE ANY AND ALL WORK IN THE RIGHT-OF-WAY WITH THE CITY OF SANIBEL PUBLIC WORKS DEPARTMENT.
- MAINTENANCE OF TRAFFIC SHALL FOLLOW F.D.O.T. STANDARD INDEX 800, INCLUDING FLAGGING.
- BLASTING FOR UTILITY CONSTRUCTION IS NOT ANTICIPATED AND WILL NOT BE PERMITTED.
- LIMEROCK BASE MATERIAL SHALL BE FROM AN F.D.O.T. APPROVED SOURCE.
- ALL EXISTING MONUMENTATION SHALL BE PROTECTED. IF MONUMENTATION IS DISTURBED OR DESTROYED, IT SHALL BE REPLACED AFTER CONSTRUCTION IS COMPLETE, TO REQUIRED ACCURACY, BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER (P.S.M.) AT CONTRACTOR'S EXPENSE. IF MONUMENTATION IS IN DANGER OF BEING DISTURBED OR DESTROYED, IT SHALL BE REFERENCED AND REPLACED AFTER CONSTRUCTION IS COMPLETE, BY A FLORIDA LICENSED P.S.M., AT CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION, IF ANY FORTUITOUS (HISTORICAL OR ARCHAEOLOGICAL) FINDS ARE OBSERVED, ALL WORK SHALL CEASE IN THE AREA. DEVELOPER, OWNER, CONTRACTOR, OR AGENT THERE OF MUST NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF HISTORIC OR PREHISTORIC ARTIFACTS, REMAINS, OR FEATURES ARE FOUND DURING CONSTRUCTION. EXAMPLES MAY INCLUDE FRAGMENTS OF STONE TOOLS, SHELLS, SHELL TOOLS, POTTERY, GLASS, BOTTLES, ANIMAL BONES, BUILDING FOUNDATIONS, SHELL MOUNDS, OR SAND MOUNDS. THE PROJECT ENGINEER WILL ASSESS THE SIGNIFICANCE OF THE FINDS IN A TIMELY MANNER.
- IF ANY HUMAN SKELETAL REMAINS (UNMARKED BURIALS) ARE FOUND, ALL WORK IN THE AREA MUST STOP AND THE NEAREST LAW ENFORCEMENT OFFICE SHOULD BE CONTACTED IMMEDIATELY. ACCORDING TO STATE LAW (F.S. 872.05), IT IS UNLAWFUL TO DAMAGE OR DESTROY A HUMAN BURIAL. THE PROJECT ENGINEER MUST ALSO BE NOTIFIED.



CONCRETE SIDEWALK DETAIL
N.T.S.



PROPOSED ASPHALT PAVEMENT CROSS-SECTION
N.T.S.



PERVIOUS PAVER CROSS-SECTION
N.T.S.

PROPOSED ASPHALT PAVEMENT CROSS-SECTION
N.T.S.

PERVIOUS PAVER CROSS-SECTION
N.T.S.



EXISTING HYDROLOGY MAP
1" = 30'



INVERTED U BIKE RACK, 3-BIKE, SINGLE SIDED, POWDER COATED GALVANIZED STEEL
N.T.S.

DATE:	07/21/21
DESIGNED BY:	ADM
DRAWN BY:	ADM
CHECKED BY:	ADM
APPROVED BY:	TDM
DRAWING NAME:	FOR SANIBEL AND SPANISH CAP BANK SANIBEL
DESIGNED BY:	ADM
DRAWN BY:	ADM
CHECKED BY:	ADM
APPROVED BY:	TDM
DRAWING NAME:	FOR SANIBEL AND SPANISH CAP BANK SANIBEL

SANIBEL CAPTIVA COMMUNITY BANK RENOVATIONS PAVING, GRADING, AND DRAINAGE DETAILS/ EXISTING HYDROLOGY MAP

Civil Engineering and Planning

dean@tdmconsulting.com
www.tdmconsulting.com

TDM CONSULTING, INC.
43 Barkley Circle, Suite 200
Fort Myers, FL 33907
Phone: (239) 433-4231
Fax: (239) 433-9632
Cert. of Authorization # 29086

Digitally signed by Thomas Dean Martin
Date: 2022.03.01 11:41:06 -05'00'
DATE: 2022.03.01 11:41:06 -05'00'

Dean Martin, P.E.
Florida #52022

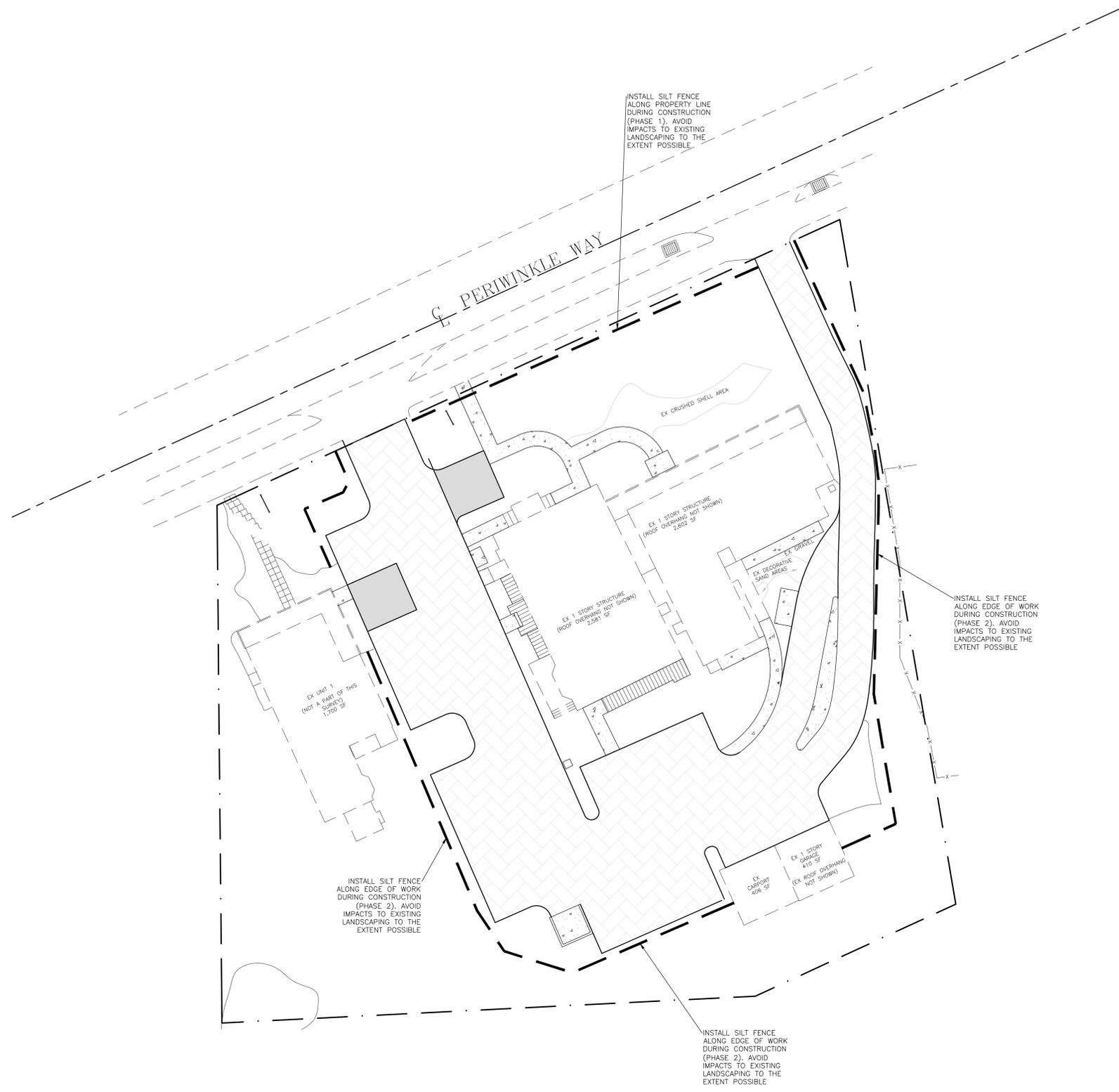
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STREET ADDRESS

1019 PERIWINKLE WAY
SANIBEL, FL 33957

STRAP NUMBER

19-46-23-T3-00700.0020



LEGEND

	MITERED END SECTION
	SILT FENCE
	PROPOSED PAVEMENT
	PROPOSED PERVIOUS PAVERS
	PROPOSED CONCRETE
	LF
	EX.
	EL.
	ROW

1" = 20'

N
Z
TDM

DATE	DESIGNED BY	ADM	DRAWN BY	ADM	CHECKED BY	TDM	APPROVED BY	TDM
07/21/21								

FORSMAN and SPANGLER/StarCap Bank/Sanibel
DRAWING NAME: 19-46-23-T3-00700.0020

**SANIBEL CAPTIVA COMMUNITY
BANK RENOVATIONS
STORMWATER POLLUTION
PREVENTION PLAN**

Civil Engineering and Planning

dean@tdmconsulting.com
www.tdmcivilengineering.com

TDM
CONSULTING, INC.

43 Barkley Circle, Suite 200
Fort Myers, FL 33907
Phone: (239) 433-4231
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NOT VALID WITHOUT EMBOSSED SEAL SIGNATURE, AND DATE.

Digitally signed by Thomas Dean Martin
Date: 2022.03.01 11:41:27 -05'00'

Dean Martin, P.E.
No. 52022
STATE OF FLORIDA
PROFESSIONAL ENGINEER

DATE: 11-41:27 -05'00'

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STREET ADDRESS

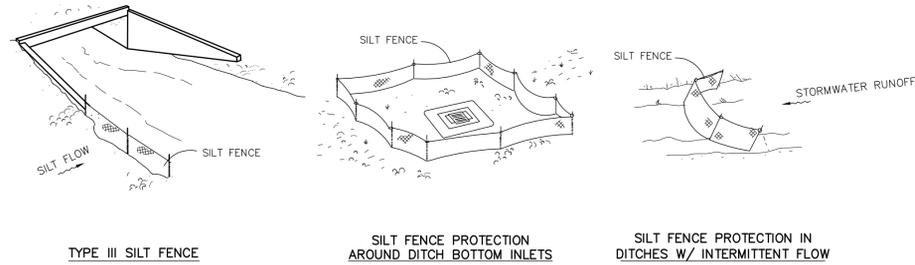
1019 PERIWINKLE WAY
SANIBEL, FL 33957

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19-46-23-T3-00700.0020

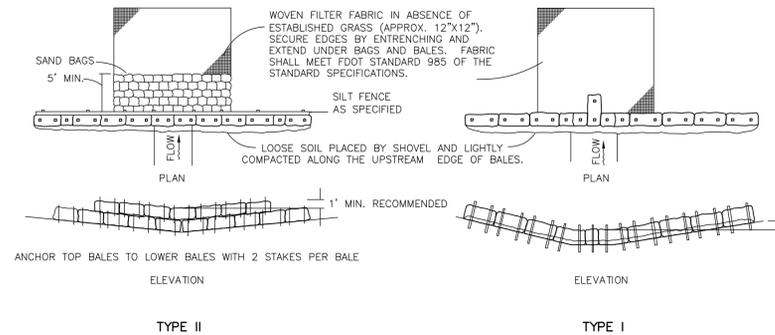
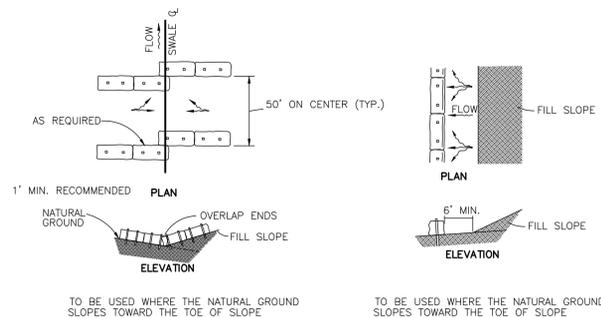
CONSTRUCTION POLLUTION PREVENTION PLAN

- SILT FENCE SHALL BE PROPERLY INSTALLED AT THE PERIMETER OF THE LIMITS OF DISTURBANCE PRIOR TO CONSTRUCTION.
- SYNTHETIC BALE (OR BALE TYPE BARRIER) AND SILT FENCE CHECK DAM BARRIERS SHALL BE INSTALLED IN ALL PROPOSED SWALES AT 200' INTERVALS AFTER SWALE CONSTRUCTION AND SHALL BE MAINTAINED UNTIL FINAL STABILIZATION.
- CLEARING AND GRUBBING DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR.
- TOPSOIL STOCK PILES AND OTHER DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY CEASES FOR MORE THAN SEVEN (7) DAYS WILL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH WITHIN SEVEN (7) DAYS FROM THE DATE OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- PROPOSED SWALES ARE TO BE SODDED OR SEEDDED IMMEDIATELY AFTER CONSTRUCTION PER THE APPROPRIATE CROSS-SECTION.
- ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN A LIDDED METAL CONTAINER IN ACCORDANCE WITH LEE COUNTY SOLID WASTE STANDARDS. SAID DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY.
- ALL HAZARDOUS OR TOXIC MATERIAL WILL BE PROPERLY CONTAINED AND DISPOSED OF IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- THIS SITE IS TO BE SERVED BY PORTABLE SANITARY FACILITIES DURING CONSTRUCTION. POST CONSTRUCTION WILL BE SERVED BY CONNECTION TO MUNICIPAL FACILITIES.
- THE EFFECTIVENESS OF THE STORMWATER POLLUTION PREVENTION PLAN AND THE TEMPORARY EROSION/SEDIMENT CONTROLS SHALL BE CHECKED DAILY DURING CONSTRUCTION BY CONTRACTOR OR A DESIGNATED REPRESENTATIVE. IF STATE OF FLORIDA WATER QUALITY STANDARDS ARE NOT MET, CORRECTION TO THE PROBLEMS SHALL BE MADE AS SOON AS PRACTICAL.
- SILT FENCING WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO INSURE PROPER ATTACHMENT TO POSTS, AND TO ENSURE POSTS ARE SECURELY PLACED.
- ALL POLLUTION PREVENTION CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. REPAIRS WILL BE INITIATED IMMEDIATELY, BUT NOT LONGER THAN TWENTY-FOUR (24) HOURS AFTER DISCOVERY.
- BUILT-UP SEDIMENT WILL BE REMOVED FROM SILT FENCING WHEN IT REACHES ONE-THIRD (1/3) OF THE HEIGHT OF THE FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAZARDOUS MATERIAL SPILLS OR POLLUTANTS ON SITE. SAID SPILLS SHALL BE CLEANED UP AS SOON AS THEY OCCUR.
- STORMWATER POLLUTION PREVENTION SHALL BE IMPLEMENTED DURING CONSTRUCTION. IF ADDITIONAL TEMPORARY EROSION/SEDIMENT CONTROLS (NOT SHOWN ON THE CONSTRUCTION PLANS) ARE NECESSARY TO MAINTAIN COMPLIANCE WITH STATE OF FLORIDA WATER QUALITY STANDARDS, SUCH CONTROLS SHALL BE DESIGNED, SPECIFIED, LOCATED, AND INSTALLED AS REQUIRED BY ENGINEER/CONTRACTOR OR A DESIGNATED REPRESENTATIVE. ALL TEMPORARY CONTROLS SHALL PREVENT SEDIMENT AND OTHER DELETERIOUS SUBSTANCES FROM ENTERING UTILITY AND STORMWATER DRAIN ENTRANCES, DRAINAGE DITCHES, WATERBODIES, WETLANDS, AND ADJACENT PROPERTY.
- CONTRACTOR OR HIS AGENT WILL INFORM ALL SUBCONTRACTORS OF THE CONSTRUCTION POLLUTION PREVENTION PLAN AS SHOWN ON THIS SHEET AND VERIFY THAT ALL CONCERNED PARTIES ARE COMPLYING WITH THEM.
- ALL CONSTRUCTION ENTRANCES SHOULD BE CLEAR OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE LAID DOWN TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE. GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE A MINIMUM OF 12" THICK.
- ALL BARE AREAS WILL BE SODDED AS SOON AS PRACTICAL. HOWEVER, UNTIL PLACING OF SOD, THESE AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST.



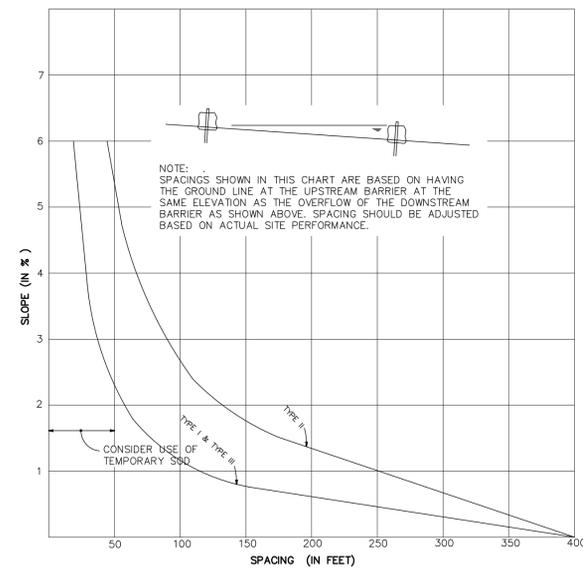
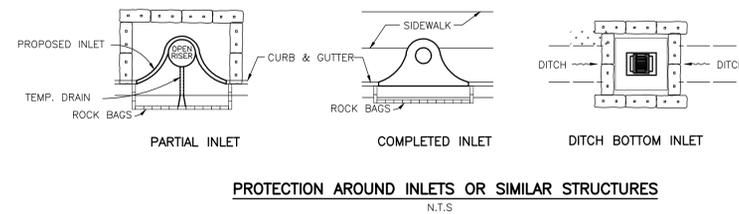
NOTE:
DO NOT DEPLOY IN SUCH A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS. TURBIDITY BARRIERS ARE TO BE USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS
N.T.S.

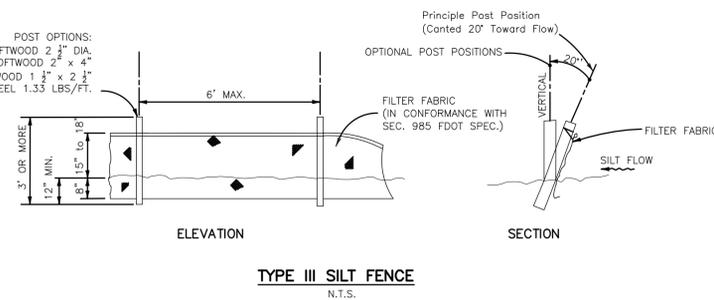


NOTES:
1. TYPE I AND II SYNTHETIC BARRIER SHOULD BE SPACED IN ACCORDANCE CHART 1, SHEET 1 OF 3, F.D.O.T. STANDARD INDEX NO. 102.
2. RAILS AND POSTS SHALL BE 2" X 4" WOOD, OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.
3. WHERE USED IN CONJUNCTION WITH SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.

SYNTHETIC BALE OR BALE TYPE BARRIERS FOR UNPAVED DITCHES
N.T.S.



POST OPTIONS:
SOFTWOOD 2" DIA.
SOFTWOOD 2" X 4"
HARDWOOD 1 1/2" X 2 1/2"
STEEL 1.33 LBS/FT.



DATE	DESIGNED BY	REVISIONS
07/21/21	ADM	
	DRAWN BY:	
	ADM	
	CHECKED BY:	
	TDM	
	APPROVED BY:	
	TDM	

DRAWING NAME: FORSMEYER and SPENCE/Sanibel Bank Renovation
DRAWING CODE: C/AT/DM Site

SANIBEL CAPTIVA COMMUNITY BANK RENOVATIONS
STORMWATER POLLUTION PREVENTION DETAILS

Civil Engineering and Planning

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www.tdmconsulting.com

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Cert. of Authorization # 29086

NOT VALID WITHOUT EMBOSSED SEAL SIGNATURE, AND DATE.

Digitally signed by Thomas Dean Martin
Date: 2022.03.01 11:41:44 -05'00'
DATE: 11:41:44 -05'00'

Dean Martin, P.E.
This form has been digitally signed and sealed by Dean Martin on the Florida #52022
date adjacent to the seal. Printed copies of this document are not considered signed and sealed for electronic purposes. Please refer to the original for verification.

EXHIBIT “F”

-Floor Plans

***Bank Use** = 2,901 SQ.FT.

-Bank Area: 1,715 +/- SQ.FT.

-Tenant Space Area: 862 +/- SQ.FT.

-Open Deck Area: 266 SQ.FT.

-Covered Entry: 64 SQ.FT.

***Total CFA for Priscilla Murphy Shopping Center** = 8,591.85 SQ.FT.

-*1025 Periwinkle Way (Norris Furniture)* = 1,786.61 per Lee County Property Appraiser Floor Plan Attached);

-*John R. Wood Portion of the Structure*: 3,076 SQ.FT.

-Air Conditioned Office Area: 2,613

-Covered Porch: 438 SQ.FT.

-Covered Entry: 25 SQ.FT.

-*Bank Use*: 2,901 SQ.FT.

-*Enclosed Garage* (common roof with Carport): 414.12 SQ.FT.

-*Carport* (common roof with Enclosed Garage): 414.12 SQ.FT.

1025 Periwinkle Way / Norris Furniture



TRAFFIC IMPACT STATEMENT

FOR A

PROPOSED MIXED-USE PLAZA

Sanibel Captiva Community Bank East Sanibel Branch

PREPARED FOR:

**Mr. Craig Albert, CEO
Sanibel Captiva Community Bank
9311 College Parkway
Fort Myers, FL 33919**

PREPARED BY:



**43 Barkley Circle, Suite 200
Fort Myers, FL 33907
Phone 239-433-4231 Fax 239-433-9632
www.tdmcivilengineering.com
Certificate of Authorization # 29086**

July 2021



**Thomas
Dean Martin** Digitally signed by
Thomas Dean Martin
Date: 2021.10.26
11:02:59 -04'00'

DEAN MARTIN
FLORIDA P.E. #52022
VALID ONLY WITH EMBOSSED SEAL

ATTACHMENT D

1. PURPOSE

OBJECTIVE

This report has been prepared in accordance with Lee County Department of Community Development criteria as outlined in the Lee County Traffic Impact Statement Guidelines and the Lee County Turn Lane Policy for projects seeking Development Permit approval. This report analyzes the anticipated traffic conditions of the proposed development in order to determine any adverse roadway impacts associated with the addition of **Sanibel Captiva Community Bank – East Sanibel Branch.**

The subject parcel per the most recent boundary survey by Haley Ward, Inc. is 1.138 acres.

This Traffic Impact Statement is based on the assumption that the proposed facility will be completed in 2022.

2. SITE DESCRIPTION

SITE LOCATION

Sanibel Captiva Community Bank – East Sanibel Branch is a 1.138-acre project located on the south side of Periwinkle Way in Section 19, Township 46 South, Range 23 East, Sanibel, Florida (see Exhibit 1). The applicant proposes to convert an existing 5,183 square foot one-story retail plaza into a 2,581 square foot drive-in bank (with one remote teller and one ATM) and a 2,602 square foot real estate office. The existing stand-alone 1,700 square foot retail building will remain as is.

Access to the proposed development will be provided by one (1) full-access driveway connection to Periwinkle Way and one (1) exit-only driveway connection to Periwinkle Way. This report is based on these two (2) driveway connections.

3. OBSERVATIONS

3.1 TRIP GENERATION CALCULATIONS

Vehicular trips generated by the existing development were calculated by using the equations provided by the Institute of Transportation Engineers, 10th Edition of the Trip Generation Manual, Land Use Code 820 (Shopping Center) using the average rates or the fitted curve equations shown in the tables.

Table 1. Raw Trip Generation – Existing Shopping Center (LUC 820)

<u>6,883 Square Feet of Gross Floor Area:</u>	
A.	Daily Average Vehicle Trip Ends, Weekday $Ln(T) = 0.68 Ln(6.883) + 5.57 = 974$ (487 entering, 487 exiting)
B.	A.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 0.94(6.883) = 6$ (4 entering, 2 exiting)
C.	P.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $Ln(T) = 0.74 Ln(6.883) + 2.89 = 75$ (36 entering, 39 exiting)

Source: TDM, 2021

Not all the trips indicated in Table 1 above were new trips to the adjacent roadway system. Vehicles already traveling the adjoining roadway system, called “pass-by” traffic, reduce the existing development’s overall impact on the surrounding roadway system but do not decrease the actual driveway volumes. For the existing development, 34% of the traffic from Table 1 above is assumed to be pass-by traffic.

Table 2. Raw Trip Generation – Existing Development Less Pass-By

<u>Table 1 x 0.66:</u>	
B.	A.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 6 \times 0.66 = 4$ (3 entering, 1 exiting)
C.	P.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 75 \times 0.66 = 50$ (24 entering, 26 exiting)

Source: TDM, 2021

Vehicular trips generated by the proposed development were calculated by using the equations provided by the Institute of Transportation Engineers, 10th Edition of the Trip Generation Manual, Land Use Codes 712 (Small Office Building), 820 (Shopping

Center), and 912 (Drive-In Bank) using the average rates or the fitted curve equations shown in the tables.

Table 3. Raw Trip Generation – Proposed Small Office Building (LUC 712)

<u>2,602 Square Feet of Gross Floor Area:</u>	
A.	Daily Average Vehicle Trip Ends, Weekday $T = 16.19 (2.602) = 42$ (21 entering, 21 exiting)
B.	A.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 1.92 (2.602) = 5$ (4 entering, 1 exiting)
C.	P.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 2.45 (2.602) = 6$ (2 entering, 4 exiting)

Source: TDM, 2021

Table 4. Raw Trip Generation – Proposed Shopping Center (LUC 820)

<u>1,700 Square Feet of Gross Floor Area:</u>	
A.	Daily Average Vehicle Trip Ends, Weekday $\ln(T) = 0.68 \ln(1.700) + 5.57 = 376$ (188 entering, 188 exiting)
B.	A.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 0.94 (1.700) = 2$ (1 entering, 1 exiting)
C.	P.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $\ln(T) = 0.74 \ln(1.700) + 2.89 = 27$ (13 entering, 14 exiting)

Source: TDM, 2021

Table 5. Raw Trip Generation – Proposed Drive-In Bank (LUC 912)

<u>2,581 Square Feet of Gross Floor Area:</u>	
A.	Daily Average Vehicle Trip Ends, Weekday $T = 100.03 (2.581) = 258$ (129 entering, 129 exiting)
B.	A.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 9.50 (2.581) = 25$ (14 entering, 11 exiting)
C.	P.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 20.45 (2.581) = 52$ (26 entering, 26 exiting)

Source: TDM, 2021

Table 6. Raw Trip Generation – Total Proposed Project

<u>Table 3 + Table 4 + Table 5:</u>	
A.	Daily Average Vehicle Trip Ends, Weekday $T = 42 + 376 + 258 = 676$ (338 entering, 338 exiting)
B.	A.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 5 + 2 + 25 = 32$ (19 entering, 13 exiting)
C.	P.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 6 + 27 + 52 = 85$ (41 entering, 44 exiting)

Source: TDM, 2021

Table 6 above will be used for the requisite turn-lane analyses. However, not all the trips indicated in Table 6 above will be new trips to the adjacent roadway system. Vehicles already traveling the adjoining roadway system, called “pass-by” traffic, reduce the development’s overall impact on the surrounding roadway system but do not decrease the actual driveway volumes. For this project, 34% of the traffic from Table 4 is assumed to be pass-by traffic while 29% of the traffic from Table 5 above is assumed to be pass-by traffic for the A.M. peak and 35% is assumed to be pass-by traffic for the P.M. peak.

Table 7. Raw Trip Generation – Total Project Less Pass-By

<u>(Table 4 x 0.66) + (Table 5 x 0.71) for A.M. and (Table 5 x 0.65) for P.M.:</u>	
B.	A.M. Peak Hour Average Vehicle Trip Ends $(2 \times 0.66) + (25 \times 0.71) = 19$ (11 entering, 8 exiting)
C.	P.M. Peak Hour Average Vehicle Trip Ends $(27 \times 0.66) + (52 \times 0.65) = 52$ (26 entering, 26 exiting)

Source: TDM, 2021

Table 8. Raw Trip Generation – Increased Traffic Due to Change of Use

<u>Table 7 Less Table 2:</u>	
B.	A.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 19 - 4 = 15$ (8 entering, 7 exiting)
C.	P.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street) $T = 52 - 50 = 2$ (2 entering, 0 exiting)

Source: TDM, 2021

Based on this, the development will be analyzed using the criteria established for developments generating less than three hundred (300) vehicle trips during the peak hour as outlined in the Lee County Traffic Impact Guidelines.

3.2 TRIP DISTRIBUTION

As stated previously herein, access to the proposed development will be provided by one (1) full-access driveway connection to Periwinkle Way and one (1) exit-only driveway connection to Periwinkle Way.

The existing retail building and walk-in bank traffic will most likely exit the site using the full-access driveway connection to Periwinkle Way. Traffic using the bank's remote teller will exit the site using the exit-only driveway connection to Periwinkle Way. Therefore, it is assumed for this report that 50% of traffic will exit the site using the full-access driveway connection to Periwinkle Way while the remaining 50% of traffic will exit the site using the exit-only driveway connection to Periwinkle Way.

Because Periwinkle Way accesses nearby population centers on both ends of Sanibel, it is assumed for this report that 50% of traffic will enter and exit the proposed development from the west and the remaining 50% of traffic will enter and exit the proposed development from the east.

3.3 EXISTING TRAFFIC CONDITIONS

Periwinkle Way is the nearest major road being directly accessed and is classified by the Lee County Comprehensive Plan as a two-lane undivided major collector road. It has a posted speed limit of thirty (30) miles per hour.

3.4 TURN LANE ANALYSIS (PERIWINKLE WAY – FULL-ACCESS DRIVEWAY)

A. Traffic Conditions on Periwinkle Way (Collector), Full-Access Driveway

- A.M. Peak Hour Vehicle Trip Ends - 26
- P.M. Peak Hour Vehicle Trip Ends - 63
- Posted Speed Limit - 30 mph

B. Deceleration and Left Turn Lane

Based on the Turn Lane Policy, a deceleration and left turn lane is not required. Only one (1) of the required warrants is satisfied. The number of left-turning movements from the collector street during the peak hour of the collector street is above the threshold. However, the posted speed limit of the collector street is below the threshold, the

available sight distance for the posted speed limit of the collector street is above the threshold, and the access point connection is not controlled by a traffic signal.

C. Separate Left Turn Lane on the Access Point Connection

Based on the Turn Lane Policy, a separate left turn lane on the access point connection is not required. None of the required warrants are satisfied. The posted speed limit of the collector street is below the threshold, the number of left-turning vehicles from the access point connection during the peak hour of the collector street is below the threshold, and the access point connection is not controlled by a traffic signal.

D. Deceleration and Right Turn Lane

Based on the Turn Lane Policy, a deceleration and right turn lane is not required. None of the required warrants are satisfied. The posted speed limit of the collector street is below the threshold, the number of right-turning movements from the collector street during the peak hour of the collector street is below the threshold, the available sight distance for the posted speed limit of the collector street is above the threshold, and the access point connection is not controlled by a traffic signal.

E. Separate Right Turn Lane on the Access Point Connection

Based on the Turn Lane Policy, a separate right turn lane on the access point connection is not required. None of the required warrants are satisfied. The posted speed limit of the intersecting street is below the threshold, the number of right-turning movements from the access point connection during the peak hour of the collector street is below the threshold, and the access point connection is not controlled by a traffic signal.

3.5 TURN LANE ANALYSIS (PERIWINKLE WAY – EXIT-ONLY DRIVEWAY)

A. Traffic Conditions on Periwinkle Way (Collector), Exit-Only Driveway

- A.M. Peak Hour Vehicle Trip Ends - 6
- P.M. Peak Hour Vehicle Trip Ends - 22
- Posted Speed Limit - 30 mph

B. Deceleration and Left Turn Lane

This turning movement is not currently proposed.

C. Separate Left Turn Lane on the Access Point Connection

Based on the Turn Lane Policy, a separate left turn lane on the access point connection is not required. None of the required warrants are satisfied. The posted speed limit of the collector street is below the threshold, the number of left-turning vehicles from the access

point connection during the peak hour of the collector street is below the threshold, and the access point connection is not controlled by a traffic signal.

D. Deceleration and Right Turn Lane

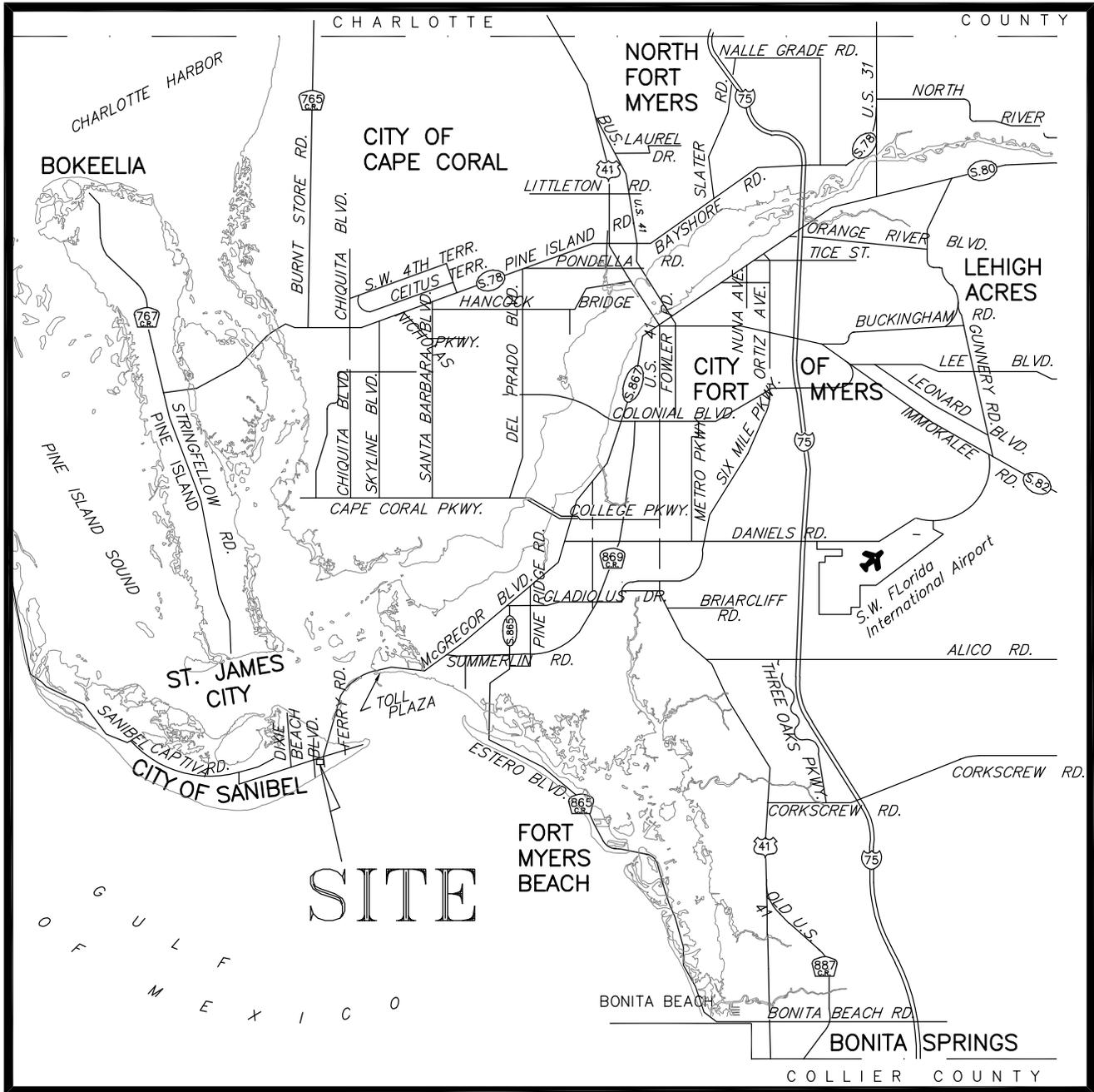
This turning movement is not currently proposed.

E. Separate Right Turn Lane on the Access Point Connection

Based on the Turn Lane Policy, a separate right turn lane on the access point connection is not required. None of the required warrants are satisfied. The posted speed limit of the intersecting street is below the threshold, the number of right-turning movements from the access point connection during the peak hour of the collector street is below the threshold, and the access point connection is not controlled by a traffic signal.

3.6 RECOMMENDED IMPROVEMENTS (PERIWINKLE WAY)

One (1) typical full-access driveway connection and one (1) typical exit-only driveway connection are proposed. No other improvements are required or proposed.



LOCATION SKETCH
N.T.S.

EXHIBIT 1
TRAFFIC IMPACT STATEMENT
LOCATION MAP
1019 PERIWINKLE WAY
SANIBEL, FL, 33957

SOURCE: TDM, 07/21



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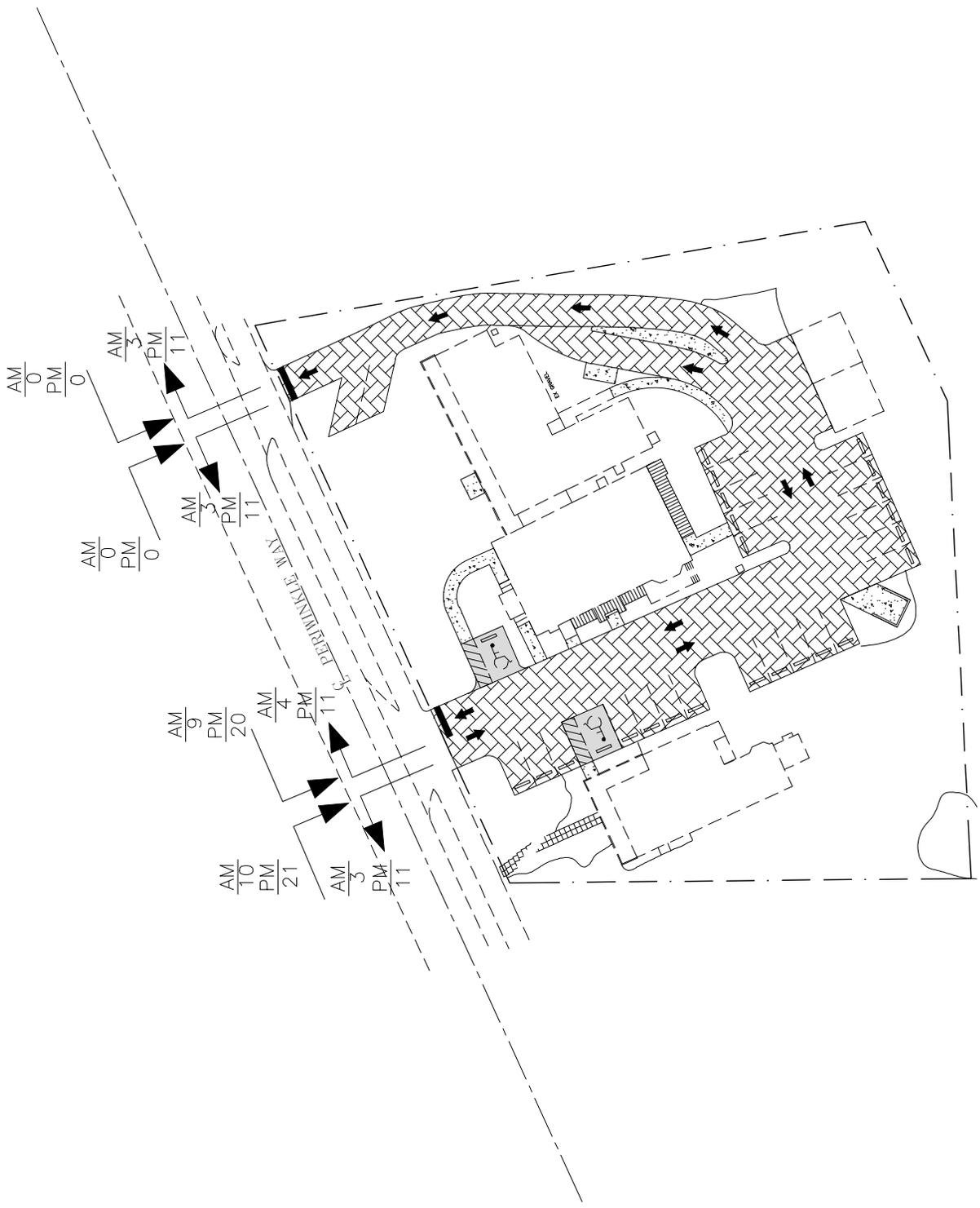
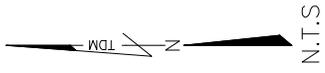


EXHIBIT 2
TRAFFIC IMPACT STATEMENT
PEAK HOUR TRAFFIC DISTRIBUTION
1019 PERIWINKLE WAY
SANIBEL, FL, 33957
SOURCE: TDM, 07/21



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Fort Myers, FL 33907
Phone: (239) 433-4231
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Email: dean@tdmconsulting.com
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PARKING DEMAND/ANALYSIS

Per Section 126.1361 Sanibel Land Development Code:

1,761 SF Retail + 2,577 SF Bank + 2,613 SF Offices Total CFA = 6,951 sf

- Retail = 1 Space for each 200 SF (or fraction thereof) of Floor Area;
 - o 1,700 SF Retail / 200 SF = 8.5 spaces

- Offices/Service Use = 5 Spaces for the first 1,000 SF plus 1 for each 250 SF (or fraction thereof) of Floor Area.
 - o First 1,000 SF Bank/Offices = 5 spaces;
 - o 4,190 SF / 250 SF = 16.76 spaces

- TOTAL SPACES REQUIRED: 30.26 + 2 for HC. Total spaces required = 31
- TOTAL SPACES PROVIDED: 26 + 2 for HC

*The site plan with the Parking requirements/demand as above referenced has been previously approved.

ATTACHMENT E

EXISTING NATIVE VEGETATION

SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL	REMAIN	REMOVE	RELOCATE
S	SABAL PALM	SABAL PALMETTO	18	15	0	3
CP	COCONUT PALM	ORYZOBLATHUS (CACO)	34	32	0	2
CL	ROYAL PALM	BURSERA SIMARUBA	4	3	0	1
R	ROYAL PALM	ROYSTONIA REGIA	4	4	0	0
M	MAHOGANY	SWITENIA MAHOGONI	1	1	0	0
FB	FLORISSANT BIRCH	HAMELIA PATENS	1	1	0	0
FN	FLORISSANT BIRCH	COCOS NUCIFERA	1	1	0	0
OC	ORANGE CUP	PSYCHOTRIA NERVOSA	3	3	0	0
SC	SILVER CHERRY	COCCOTHRIX ARGENTATA	22	49	0	0
ST	SILVER THORN	FLS. AUREA	2	2	0	0
WF	WAX MARTLE	MIRCA GERRERA	2	2	0	0
LF	LEAVEN FERN	ADUSTIUM DIMORFOLIUM	1	1	0	0

EXISTING EXOTIC VEGETATION

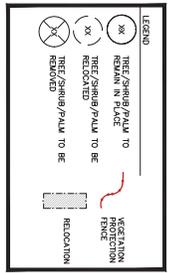
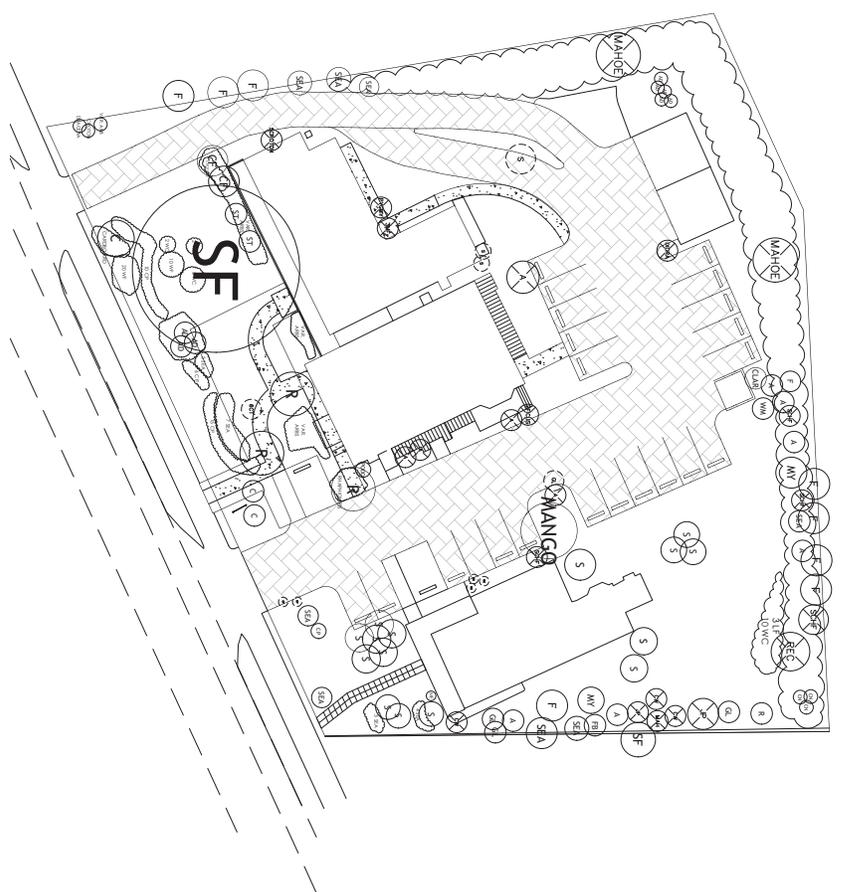
SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL	REMAIN	REMOVE	RELOCATE
A	MANGO	HIBISUS TILIAEUS	20	0	20	0
MA	MANGO PALM	DYSPIS LUTESCENS	11	6	5	0
M	MANGO TREE	MAONIFERA INDICA	1	1	0	0
OC	ORANGE CUP	PHANES FAN PALM	2	2	0	0
JP	JAVAPALM	SYZYGIUM GUINNI	2	0	2	0
CW	CARROTWOOD	CUPANOPSIS ANACARDIODES	3	0	3	0
CA	CASHI DUNE PALM	CHENIN REBELLENI	1	0	1	0
AD	ADONIDA PALM	ADONIDA MERILLII	8	0	8	0
AD	ADONIDA PALM	SCHEFFERA ACTINOPHYLLA	8	0	8	0
SC	SCHIFFERERIA	SCHIFFERERIA	4	0	4	0
CR	CROTON	CRONIA	20	20	0	0
CR	CROTON	CRONIA	10	10	0	0
CR	CROTON	CRONIA	13	3	10	0
CR	CROTON	CRONIA	4	4	0	0
CR	CROTON	CRONIA	4	4	0	0
CR	CROTON	CRONIA	12	10	2	0
CR	CROTON	CRONIA	30	30	0	0
CR	CROTON	CRONIA	1	0	1	0
CR	CROTON	CRONIA	1	0	1	0

EXISTING VEGETATION NOTES

- ALL EXISTING SPECIMENS OF PROTECTED SPECIES WILL REMAIN IN PLACE OR BE RELOCATED ON SITE IN BUFFERED RECEPTOR AREAS AND RELOCATED TO BUFFER.
- RECEPTOR AREA SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCING.
- TEMPORARY IRRIGATION SHALL BE PROVIDED FOR ALL RELOCATED VEGETATION. SPECIMENS OF PROTECTED SPECIES TO BE RELOCATED SHALL BE FLAGGED WITH RED FLAG AND REMAIN TAGGED UNTIL FINAL SITE INSPECTION.
- ALL CITY REQUIRED INVASIVE EXOTIC VEGETATION WILL BE REMOVED PER CITY OF SANIBEL CLEAN UP CITY REQUIRED EXOTICS IN PERPETUITY.
- LARGE INACCESSIBLE INVASIVE EXOTICS MAY BE REMOVED WITH CITY APPROVED HERBICIDE AND FILLED IN PLACE.
- ALL INVASIVE EXOTICS TO BE REMOVED PER CITY INVASIVE EXOTICS PER CITY OF SANIBEL INCLUDING BRAZILIAN PEPPER (SCHNUS TERBINTHIFOLIUS).

EXISTING VEGETATION NOTES

- MOTHER IN LAW TONGUE, INKBERRY (SCETOVA TACQADA), MEALIEQA (MELALEUCA QUINDLERVIA), JAMA PLUM (SYZYGIUM JUDANII), LEAD TREE (LEUCAENA GLAUCOPHYLLA), LEAD TREE (ODOSCOREA BILBEREYA), EARLEAF ACACIA (ACACIA ABRICULIFLORUMIS).
- FINAL VEGETATION COUNTS TO BE DETERMINED BY THE CITY OF SANIBEL. MINIMUM 75% NATIVE/25% NON-INVASIVE EXOTIC.
- NO NATIVE VEGETATION TO BE DISTURBED BEYOND THE TRIMMING SKINHEAD OF THE TREE. SHALL NOT REMOVE MORE THAN 4 FEET ABOVE THE SUBSTRATE. ALSO TRIMMING SHALL NOT REMOVE MORE THAN 25% OF THE LEAF SURFACE OF ANY INDIVIDUAL PLANT IN ANY ONE YEAR.



SHEET LEGEND

- L.1: EXISTING VEGETATION PLAN
- L.2: RELOCATION/MITIGATION PLAN
- L.3: LANDSCAPE PLAN
- L.4: LANDSCAPE DETAILS/SPECS

SANIBEL CAPTIVA COMMUNITY BANK
1037 PERIWINKLE WAY
SANIBEL, FLORIDA
EXISTING VEGETATION PLAN

rs walsh
LANDSCAPING & DESIGN
RS WALSH
LANDSCAPING, INC.
8930 FRODOCTON AVENUE, SUITE 1017 BLDG.
MAYAGUEZ, FLORIDA 33508
TEL: 298.786.6655
WWW.RSWALSH.COM

REVISIONS
REV 1: XXXXXX
REV 2: XXXXXX
REV 3: XXXXXX
REV 4: XXXXXX
REV 5: XXXXXX
REV 6: XXXXXX
REV 7: XXXXXX
REV 8: XXXXXX
REV 9: XXXXXX
REV 10: XXXXXX

DESIGNED BY RS WALSH
DATE: MARCH 9, 2022
SCALE: AS SHOWN

Memorandum

To: Craig Chandler, Planning Supervisor
From: Dana Dettmar, Environmental Biologist
Subject: Sanibel Captiva Community Bank Located at the Pricilla Murphy Center at 1019 Periwinkle Way; CUP-2022-000033
Date: April 20, 2022

The Natural Resources Department has reviewed vegetation buffer plan for the Sanibel Captiva Community Bank located at Pricilla Murphy Center. The proposed plan achieves compliance with Sec. 122-49 – *Types, varieties and numbers of plants required*, but does not achieve compliance with Sec. 122-48 – *Location and size of required buffers* due to the nonconforming nature of the property (i.e. existing driveway and building located within the buffer). As staff finds that existing site constraints reasonably limit the possibility of full compliance with Sec. 122-48, the applicant should be directed to seek a waiver from the Planning Commission for commercial vegetation buffers and landscaping as provided for in Section 82-351(a)2.

CITY OF SANIBEL

ORDINANCE NO. - SA - 84 - 10

AN ORDINANCE SPECIFICALLY AMENDING THE COMPREHENSIVE LAND USE PLAN, SECTION 3.3.6: DEVELOPMENT INTENSITY IN COMMERCIAL DISTRICTS AND SECTION 3.3.8: CONDITIONAL USES IN COMMERCIAL DISTRICTS, SUBSECTION 3. SPECIFIC STANDARDS FOR CONDITIONAL USES, SUB-SUBSECTION b) RESIDENTIAL DEVELOPMENT, TO PERMIT THE DEVELOPMENT OF 7,000 SQUARE FEET OF COMMERCIAL FLOOR AREA ON THE PROPOSED NORTH HALF (APPROXIMATELY 1.09 ACRES) AND TO PROVIDE FOR SIX RESIDENTIAL UNITS ON THE PROPOSED SOUTH HALF (APPROXIMATELY 1.11 ACRES) OF A PARCEL OF LAND OF APPROXIMATELY 2.2 ACRES KNOWN AS PRISCILLA MURPHY CENTER LOCATED AT 1019 PERIWINKLE WAY IN SECTION 19, TOWNSHIP 46 SOUTH, RANGE 23 EAST, AS SUBMITTED BY STANLEY E. JOHNSON, JR., FOR GAYESTAN PROPERTIES; PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Sanibel, Lee County, Florida:

Section 1. That a Specific Amendment to the Comprehensive Land Use Plan, Section 3.3.6: Development Intensity in Commercial Districts and Section 3.3.8: Conditional Uses in Commercial Districts, Subsection 3. Specific Standards for Conditional Uses, Sub-subsection b) Residential Development, to permit the development of 7,000 square feet of commercial floor area on the proposed north half (approximately 1.09 acres) and to provide for six residential units on the proposed south half (approximately 1.11 acres) of a parcel of land of approximately 2.2 acres known as Priscilla Murphy Center located at 1019 Periwinkle Way in Section 19, Township 46 South, Range 23 East, as submitted by Stanley E. Johnson, Jr., for Gayestan Properties, is hereby approved on the following conditions:

a) The maximum permissible floor area ratio for the North parcel shall be 14.12%.

b) The maximum permissible area of the North parcel for clearance of vegetation and coverage with impermeable surfaces shall be 49.87%.

c) A vegetation buffer between the North and South parcels shall be made a condition of the development permit approving a division of the property.

d) Required maintenance of drainage features, for both parcels, in accordance with the conditions of Development Permit 83-2402, shall also be made a condition of the development permit approving a division of the property.

e) The maximum number of dwelling units permissible on the South parcel shall be 6.

f) The maximum permissible area of the South parcel for clearance of vegetation and coverage with impermeable surfaces shall be 36.87%.

Section 2. Conflict.

All ordinances and parts of ordinances in conflict herewith shall be and the same are hereby repealed. If any part of this Ordinance conflicts with any other part, it shall be severed and the remainder shall have full force and effect and be liberally construed.

Section 3. Severance.

If any section, subsection, sentence, clause, phrase or portion of this Ordinance, or application hereof, is, for any reason, held invalid or unconstitutional by any Court of competent jurisdiction, such portion or application shall be deemed a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portion or application hereof.

Section 4. Effective Date.

This Ordinance shall take effect immediately upon adoption.

DULY PASSED AND ENACTED by the Council of the City of Sanibel, Lee County, Florida, this 3rd day of April, 1984.

ATTEST:

William E. Hoagrup
Member of Council

Bernard J. Mulvaney
City Clerk

Louise M. Johnson
Member of Council

Fred Patti
Mayor

Myron W. Klein
Member of Council

James P. Baley
Member of Council

March 6, 1984 First Reading

March 8, 1984 Publication Date

April 3, 1984 Second Reading

Filed in the Office of the City Clerk this 3rd day
of April, 1984.


City Clerk

APPROVED AS TO FORM:

4/4/84


City Attorney

City of Sanibel
Department of Planning and Code Enforcement
Sanibel City Hall
800 Dunlop Road
Sanibel, Florida, 33957

James Jordan, Director of Planning and Code Enforcement
Craig Chandler, Planner

Gentlemen:

We are writing to express our opinions on the Application CUP-2022-33, the Conditional Use Permit (to allow for the installation of a drive through automated teller) at the Priscilla Murphy Center property located at 1019 Periwinkle way.

And for the same property a Non Conforming Use Permit for:

“Renovation of existing building, replacement of all existing paving/asphalt with pervious pavers, adding a dumpster enclosure, adding new ramps, adding site lighting.”

The Beach Road Villas Condominium Association (BRV - a residential condominium) is located at 1039 Beach Road immediately south of the Priscilla Murphy Center (PMC - a commercial condominium). The Board of the BRV has reviewed available plans on line and construction activities on site at the PMC property and ask that the Sanibel Planning Commission consider the following issues:

EXTERIOR SITE LIGHTING

- The current property has little if any external site lighting and thus is unobtrusive to its neighbors. The proposed plan for the property includes a significant amount of new exterior site lighting including 13 pole mounted lights, 21 wall mounted lights and 12 soffit down lights. The lighting design should ensure that the ambient light is not obtrusive and not disruptive to the neighboring properties, wildlife and the Sanibel dark sky program.
- What is generating the need for this site lighting? Is it the drive through automated teller facility? Or, is it the change in use from office to bank?
- The scale of the proposed site lighting fixtures seems at odds with the domestic scale of the existing one story ground level buildings, particularly the two proposed light standards in the front yard along Periwinkle Way.

PAVING, PARKING ,DUMPSTER

The proposed semi-permeable paving could be an advantage over the current blacktop for surface water control if it is installed properly and verified that it is performing. We endorse the use of this type of material but at the same time ask that the water flow be considered and ensure that any grading or changing of the surfaces makes certain that any run-off is directed so that it does not negatively impact the neighboring properties.

- If the rear yard parking setback is to be 15 feet by code or by ordinance, it is not clear that the proposed expansion of the paved parking area and driveway area meets the set back requirements.

ATTACHMENT H

- There appears to be plans for a dumpster located on the site , which to our knowledge has not existed before. Since we are already experiencing the beep-beep-beep and loud noises of 4 am dumpster pick-ups from the property to our west, the proposed dumpster is of concern . We question the need for this.

VEGETATION BUFFER

- The existing natural barrier between BRV and PMC is important and must be maintained and possibly adjusted on the PMC site to address the proposed changes in use, and site appurtenances. It provides a natural and important break between commercial and residential properties and their uses.
- The proposed ATM facility will draw traffic. This will come with additional traffic noise which is of some concern. Some of that traffic will be after sundown and require vehicles to be using their headlights. Those headlights will be aimed directly at BRV. The noise and lights from use of the ATM is something the residents of BRV asks the Commission to consider carefully.

HISTORIC CHARACTER

- The PMC property has been a wonderful first introduction to the architectural history of Sanibel for visitors coming off of the causeway. The recent addition of the portico over the entrance to the building has taken away some of that charm. We hope the Commission will carefully consider any further external changes to the property particularly in light of the pending Historic Designation Application.
- If the Historic Designation is approved what impact will it have on the plans and our comments and concerns we have expressed above ?

We appreciate the efforts of Commission and Staff to maintain the quality of physical and social infrastructures. We look forward to working with you on this and any other projects where we may be of assistance.

Sincerely yours,



Michael J. McGill
President, Beach Road Villas Condominium Association