City of Sanibel

Planning Commission

COMMUNITY SERVICES DEPARTMENT
Planning Staff Report

Planning Commission Meeting: September 14, 2021
Planning Commission Agenda Item: № 7c.
Application Number: 21-12854DP
Applicant: Benchmark General Contractors, Inc., on behalf of property owner Nancy Tatko Trust

RE: Consideration of a **Development Permit** application filed pursuant to Land Development Code Chapter 126 – Zoning, Article XIV – Supplementary District Regulations, Division 15 – Elevated Swimming Pools, Section 126-1302 – Requirements and procedures, to construct an elevated swimming pool as an accessory structure to an existing single family residence at 5029 Joewood Drive. The proposed swimming pool is to be elevated higher than 7 feet above predevelopment grade of the subject parcel and therefore is required to be considered as a long-form application. The subject property is located at 5029 Joewood Drive (tax parcel no. 19-46-22-T1-00100.0060). The application is submitted on behalf of the property owner, Nancy K Tatko Trustee for Nancy K Tatko Trust by Benchmark General Contractors, Inc. **Application No. 21-12854DP**

ISSUES

Pursuant to Sections 126-1301 and 126-1302 of the Land Development Code (L.D.C.), the subject development permit application has been referred to the Planning Commission to address the following issues:

1. Does the proposed elevated swimming pool and screen enclosure conform with the standards of Land Development Code Section 86-43, Appearance of structures; size and mass of structures; i.e., will the proposed elevated swimming pool interrupt the rhythm of the existing structures located within the neighborhood, be inharmonious with the general atmosphere and character of the established neighborhood, unreasonably infringe upon the adjoining property owner's enjoyment of their property, in terms of air circulation, light and sunlight?

2. Does the proposed elevated swimming pool, screen enclosure and deck comply with Land Development Code Section 126-1302,

height, interpretive design guidelines, and with the established landscaping requirements for elevated swimming pools?

3. If the Planning Commission approves the application, what conditions should be attached to the development permit?

There are six attachments accompanying this Staff Report. **Attachment A** is a copy of the Established Neighborhoods Map. A copy of the development permit application is provided as **Attachment B**, and a copy of the current survey is provided as **Attachment C**. The proposed site plan, architectural plans and elevation drawings are provided as **Attachment D**. The landscape plan and vegetative screening plan is provided as **Attachment E**, and a memorandum from the Natural Resources Department is provided as **Attachment F**.

BACKGROUND

Ordinance 06-003, adopted on May 16, 2006, created the current procedures and review standards for elevated swimming pools. Section 126-1301 provides that elevated swimming pools shall comply with Section 86-43 regarding the appearance of structures; size and mass of structures, and the interpretive design guidelines of Section 126-1302 were established to ensure conformity with Section 86-43.

Section 86-43 of the L.D.C. was itself substantially expanded with the adoption of Ordinance 09-011 on February 2, 2010. Procedures were established to notify abutting and nearby neighbors, as well as the associations of established neighborhoods, of the submittal of development permit applications for new single-family or duplex construction or for modifications to existing single-family or duplex residences. City Council also adopted a map for determining in which established neighborhood a property is located and therefore which established neighborhood, if any, would be the context for a review under Section 86-43. A copy of the "Established Neighborhoods" map is provided for the Commission with this report as **Attachment A**.

PROPOSAL

The subject application proposes the construction of a new screen-enclosed, elevated swimming pool accessory to and attached to the front of an existing single-family residence constructed in 1981-82.

The applicant proposes to remove the existing wood frame entry stairs and elevated wooden deck, including the support pilings (see Sheet A-3 of **Attachment D**, the proposed plans). The elevated swimming pool is proposed in the place of the existing stairs and elevated deck on the northwest corner of the residence. The pool will be elevated by concrete pilings with the pool equipment and crushed shell placed underneath the elevated structure. The area below the pool is proposed to be enclosed with breakaway walls and hydrostatic relief flood vents as required by the *Florida Building Code* and Sanibel flood regulations.

The proposed pool shell is approximately 24' x 12' in size, for a pool area of 288 square feet. The proposed pool deck is approximately 632 square feet, for a total pool and deck area of 920 square feet. The maximum height of the proposed aluminum screen

enclosure is 10 feet above the proposed pool deck, angling down to a height of 8 feet around the pool deck perimeter. The maximum height of the screen enclosure is proposed to be approximately 8 feet shorter than the peak of the current roofline of the residence.

In addition to the general site vegetation plan, a pool landscape plan has been developed to supplement the existing on-site vegetation and provide screening for the sides of the elevated pool deck.

ANALYSIS

The subject parcel (Lot 6 of the Gulf Ridge subdivision) is 2.9 acres in size, with approximately 100 feet of frontage along the Gulf of Mexico. It is generally similar in size with the majority of the surrounding Gulf Ridge subdivision properties located on the south side of Joewood Drive, except for a few instances of larger parcels. This Staff Report provides analysis of the proposed developments conformance with Sec. 126-1302 (requirements and procedures for Elevated Swimming Pools) and Sec. 86-43, as required by Sec. 126-1301.

Established Neighborhood

The subject site is Lot 6 of the Gulf Ridge subdivision. The Established Neighborhood map places all of Gulf Ridge and Gulf Ridge East into the Gulf Ridge/Gulf Ridge East established neighborhood. There is a total of 55 privately owned (not Association-owned) residential lots in the subject established neighborhood, with 50 of the parcels being developed.

Of the 50 developed Gulf Ridge properties, current Lee County Property Appraiser data indicate that 27 (54 percent) contain accessory swimming pools. Staff ascertains that three of those 27 pools are elevated higher than seven feet above the predevelopment grade. Two of the pools were permitted prior to the establishment of the City's elevated pool standards, leaving one single elevated swimming pool approved by the Planning Commission in 2013.

L.D.C. Section 86-43, Appearance of Structures; Size and Mass of Structures

Subsection (b) of the referenced section includes the following general standards for the development of structures, including accessory elevated swimming pools, throughout the City:

(1) Within any zone, taking into consideration applicable flood regulations and other laws, no structure shall be constructed or altered, in any manner, so as to interrupt the rhythm of existing structures in the established neighborhood; or in any manner which would be inharmonious with the general atmosphere and character of the established neighborhood; or, if there is no established neighborhood, the city as a whole.

(2) Within any zone, taking into consideration applicable flood regulations and other laws, no structures shall be constructed or altered in any manner so that its size, bulk, mass, height, or location or orientation on the lot unreasonably

infringes upon the adjoining property owner's enjoyment of his property in terms of air circulation and access to natural light.

Staff has conducted a review of the proposed structure relative to the pattern of development that currently exists within the established neighborhood pursuant to the foregoing standards. The elevated swimming pool is designed with solid, stucco-finished walls surrounding the pool to match the existing residence.

The average pool shell size (derived from Property Appraiser data) for the 27 Gulf Ridge & Gulf Ridge East properties with swimming pools is 439 square feet, and the average total pool area, including pool decks, is 1,339 square feet. The proposed pool size is 288 square feet, and the total pool area, including the pool deck, is 920 square feet. As proposed, the subject pool would be the 3rd smallest pool shell and 3rd smallest in total pool area when compared with the 27 existing neighborhood pools.

The screen enclosure for the proposed swimming pool deck on the subject property will be roughly equivalent in height above grade to a two-story enclosure. Eight residences in Gulf Ridge have an accessory screen enclosure that is two stories or taller, with one classified by the Property Appraiser as three stories.

With respect to location and orientation on the lot, the proposed elevated pool faces the front yard and will be situated no closer to the side property line (15.3 feet) than the existing residence. The pool will be located approximately 300 feet from the front property line and 330 feet from the centerline of Joewood Drive. The angle of light depicted on the elevation drawings shows the structure would be located well below the height limitation.

In general, the Planning Department does not have any concerns that the proposed elevated swimming pool will either interrupt the rhythm of existing structures in the established Gulf Ridge/Gulf Ridge East neighborhood or will be inharmonious in any manner with the general atmosphere and character of the neighborhood. The proposed size, bulk, mass, height, or location or orientation of the structure on the lot is in keeping with other existing structures and will not unreasonably infringe upon adjoining property owners' enjoyment of their properties in terms of air circulation and access to natural light. The proposed development also complies with the required conditions for the Blind Pass ecological zone as well as the minimum setback requirement (150 feet from the front lot line) for accessory structures located in the actual front yard area.

<u>L.D.C. Section 126-1302, Requirements and Procedures [for elevated swimming pools]</u>

In addition to the requirements of Land Development Code Section 86-43, this application is also subject to the elevated swimming pool standards of Land Development Code Section 126-1302. Subsection (b) of this section includes the following additional requirements specific to elevated swimming pools:

(1) *Height*. Any swimming pool elevated higher than three feet, six inches above the ground cannot be higher than the lowest floor of the associated structure. For the purpose of this height limit, a mid-level entry or other area

devoted only to building access shall not be considered the lowest floor, even if constructed above the base flood elevation.

- *Staff Comments: The proposed elevation of the swimming pool deck (+13.9 feet) is designed to match the existing elevation of the lowest floor of the residence.*

(2) *Interpretive design guidelines*. To ensure that the appearance, size and mass of elevated swimming pools do not "interrupt the rhythm of existing structures" and will be in harmony "with the general atmosphere and character of the established neighborhood", the following interpretive design guidelines have been established. These interpretive guidelines have been established to ensure conformity with section 86-43 of this [Land Development] Code and the Sanibel Plan and consistency during design review for compliance.

a. The exterior architectural detailing and materials used for the elevated swimming pool provide continuity of design between the attached, or detached, swimming pool and the existing or proposed residential structure.

   - *Staff Comments: The sides of the elevated swimming pool deck are proposed to have the same stucco finish as the lower level enclosure walls of the principal residence, and a raised stucco band will continue from the house to the swimming pool area. The elevation drawings provided as part of* ***Attachment D*** *show these architectural details.*

b. The plans, including the site plan, construction plans and landscaping plan, fully integrate the design for the principal and accessory structures in a manner that responds to and reinforces the characteristics of the site and surrounding neighborhood.

   - *Staff Comments: The elevated swimming pool deck is designed to be readily accessible from the elevated living level of the home. The swimming pool deck area is an extension of the front of the residence.*

c. The location, scale and orientation of the swimming pool respects the lot area, configuration and other existing conditions of the parcel on which it is to be located, as well as the relationship of the swimming pool to adjoining and nearby properties, in terms of building dimensions and proportions, roof lines, access to light and air, and overall visual and physical continuity.

   - *Staff Comments: The location and orientation of the swimming pool are in keeping with house and swimming pool configurations throughout the Gulf Ridge subdivision. The scale and location of the swimming pool and the height of the screen enclosure will not have a greater visual impact for adjacent properties than a grade-level swimming pool with a two-story screen enclosure. There are several other instances of swimming pools located in the front yard area throughout the subject neighborhood. With respect to proximity to neighboring properties, the proposed pool deck will be located approximately 75 feet away from the residence to the west, and 52 feet from the residence to the east.*

d. Where the parcel on which the swimming pool is to be located is partially in a preservation district (the Gulf Beach Ecological Zone or Bay Beach Ecological Zone), the architectural and landscape plans shall maintain, restore or reinforce the environmental functions of these preservation districts, as well as respond to the existing conditions of the site and surrounding neighborhood.

- *Staff Comments: The subject property is located within the "E-1" Blind Pass zone and the "A" Gulf Beach zone. The existing and proposed development is located entirely within the E-1 ecological zone. With the exception of an existing beach access path, no development exists or is proposed within the preservation zone.*

(3) *Landscape requirements*. A landscape plan that effectively screens all exposed sides of the swimming is required. The landscape plan shall be reviewed for consistency with the above interpretive design guidelines. The landscape plan, through the preservation, and planting, of appropriate native trees and plants shall provide a vegetative screen around the perimeter of the proposed structure. The vegetative screen shall:

a. Reduce the visual impact of the attached or detached, accessory swimming pool;

b. Compliment the architectural design of the principal structure; and

c. Provide continuity with existing vegetation and proposed landscape elements of the parcel on which the swimming pool is to be located.

- *Staff Comments: Copies of the site vegetation plan and the pool landscape screening plan are combined as* ***Attachment E***. Natural Resources Staff conducted a site inspection to evaluate the natural resource impacts associated with the proposed development and the proposed vegetative screening of the elevated pool. The plan submittal indicates 100% native vegetation will be used for the visual screening and Staff finds the plan satisfies the landscape requirements described above.

Based on the Natural Resources Department's review of the vegetation screening plan, Planning and Natural Resources staff recommend that the post-installation appearance of the vegetative screening must conform with the proposed plans and significantly resemble the conditions depicted in the renderings.

PUBLIC COMMENT

To date, Staff has received no public comments pertaining to the subject development permit application.

SUMMARY

The proposed elevated swimming pool and screen enclosure is smaller in size and mass than the vast majority of other residences with swimming pools and screen enclosures within the defined neighborhood. The setbacks, orientation, finish materials; height, and

landscaping proposed for the elevated swimming pool are in keeping with the general character and atmosphere of the defined neighborhood.

PLANNING COMMISSION ACTIONS

The Planning Commission shall make its findings based upon the requirements of Land Development Code, Sections 126-1302, Requirements and Procedures for Elevated Swimming Pools, and 86-43, Appearance, Size and Mass of Structures, and take the appropriate action to do one of the following:

- Approve the requested development permit as proposed;
- Approve the requested development permit with conditions;
- Deny the requested development permit; or
- Continue the application to allow for further modifications.

RECOMMENDATIONS AND CONDITIONS

Should the Planning Commission decide to approve the subject development permit application, based upon the Planning Department's analysis, the following conditions should be attached to the development permit for the proposed elevated swimming pool:

1. The proposed elevated swimming pool and screen enclosure shall be developed in conformance with the site plan, preliminary building plans, and elevation drawings as provided with this staff report (See **Attachment D**).

2. The development shall conform to all relevant requirements of the Sanibel Code flood regulations (Chapter 94), including those for areas of special flood hazard and applicable building codes.

3. The height of the deck for the proposed elevated swimming pool shall not exceed an elevation of +13.92 feet NAVD.

4. The wall height of the screen enclosure shall not exceed the height of the elevated living level of the residence, and the overall height of the screen enclosure shall not exceed the height of the principal structure's roof.

5. The development shall comply with all applicable standards and requirements of the Land Development Code. The Community Services Department Planning Branch may attach typical requirements for new construction required by the Land Development Code as advisory conditions to the Development Permit.

6. Prior to the issuance of a certificate of occupancy, the applicant shall provide an as-built survey of the subject parcel that shows compliance with height, elevation, setbacks, developed area/vegetation removal, and impermeable coverage requirements.

7. Maintain surface water runoff onsite with no adverse impacts to adjoining properties. All excavated fill material shall be removed from the subject parcel. Install and maintain sediment control and dewatering measures (i.e., silt fence) prior to and during construction of the swimming pool.

8. All work shall be performed by licensed contractors as required by State law and by County or City of Sanibel licensing ordinances, unless otherwise exempt.

9. The proposed swimming pool (and existing residence) lie seaward of the 1991 Coastal Construction Control Line (CCCL). Prior to issuance of a Building Permit, the applicant shall obtain, and submit to the City, a copy of the required Florida Department of Environmental Protection permit for construction activities seaward of the CCCL.

10. A vegetation screening buffer shall be installed and permanently maintained to effectively screen the proposed elevated pool from adjacent properties, Joewood Drive, and the Gulf Beach area.

11. The post-installation appearance of the vegetation shall conform with the proposed plans a significantly resemble the conditions depicted in the renderings as submitted as **Attachment E** of this Staff Report.

12. Transplant eight (8) cocoplum, eight (8) seagrape, three (3) coontie, one (1) wild olive, and one (1) gumbo limbo. The vegetation will be transplanted on-site and shall be marked with surveyors' tape for identification until the final vegetation inspection is conducted at the conclusion of construction activities.

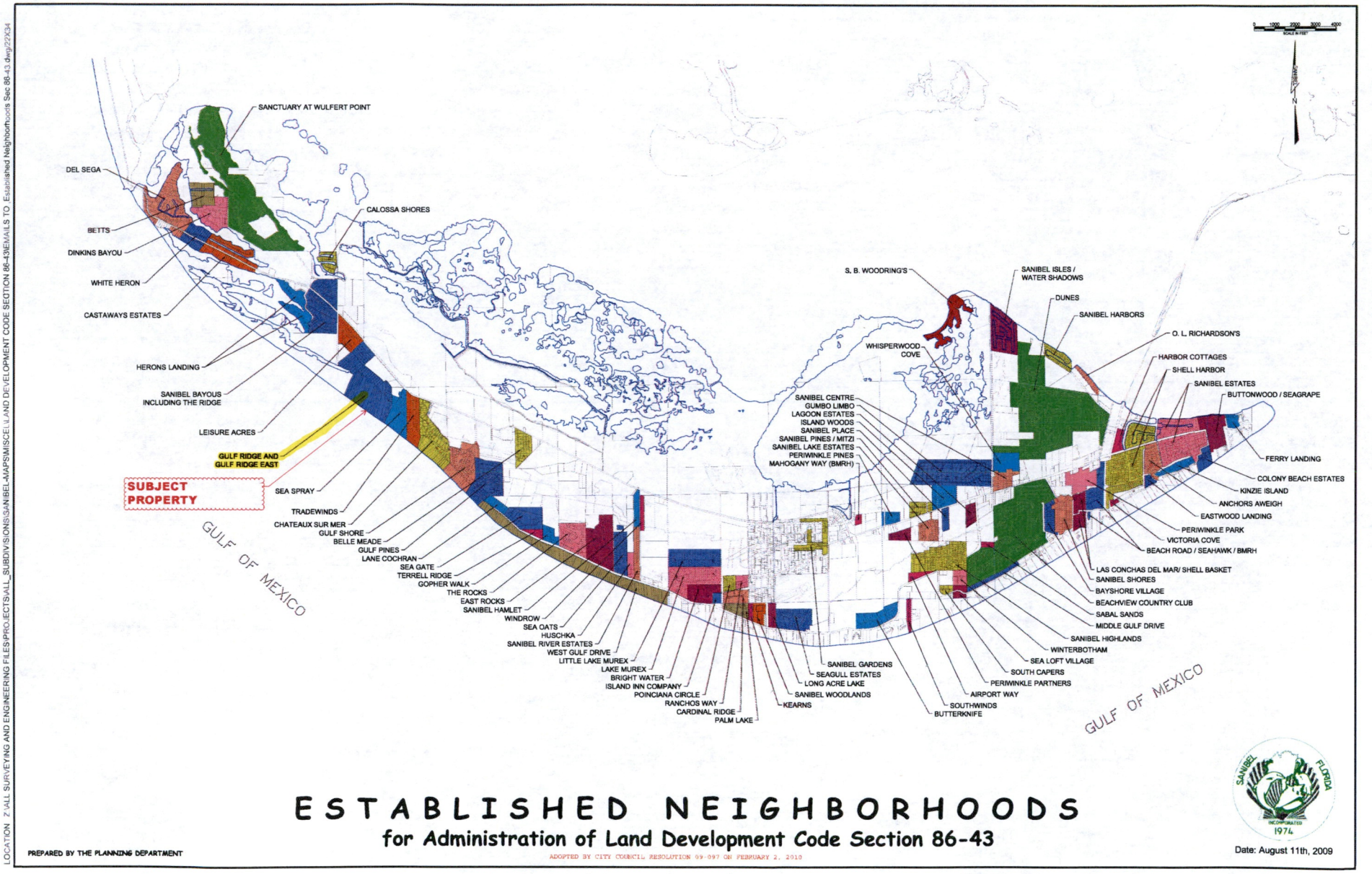
13. Preserve all other native vegetation and wildlife habitat on-site in conjunction with the approved development. All Brazilian pepper, melaleuca, Earleaf acacia, air potato, java plum, exotic inkberry, lead tree and mother-in-law's tongue shall be removed from the lot and kept permanently free of such exotics.

INDEX TO STAFF REPORT ATTACHMENTS

Attachment	**A**	–	Established Neighborhood Map
Attachment	**B**	–	Development Permit Application
Attachment	**C**	–	Survey
Attachment	**D**	–	Proposed Plans
Attachment	**E**	–	Vegetation & Landscape Plans
Attachment	**F**	–	Natural Resources Memorandum

jgo/21-12854DP_StaffReport

Attachment A
Application No. 21-12854DP
Tatko – Elevated Swimming Pool
Established Neighborhoods Map



ESTABLISHED NEIGHBORHOODS

for Administration of Land Development Code Section 86-43

PREPARED BY THE PLANNING DEPARTMENT

ADOPTED BY CITY COUNCIL RESOLUTION 09-097 ON FEBRUARY 2, 2010

Date: August 11th, 2009

LOCATION Z:\ALL SURVEYING AND ENGINEERING FILES\PROJECTS\ALL_SUBDIVISIONS\SANIBEL-MAPS\MISCELLANEOUS\Sec 86-43 EMAILS TO Established Neighborhoods Sec 86-43.dwg\22X34

Attachment B
Application No. 21-12854DP
Tatko – Elevated Swimming Pool
Development Permit Application

CITY OF SANIBEL
Planning Department
APPLICATION FOR DEVELOPMENT PERMIT

POOL

(WITH APPLICATION INFORMATION)

STAFF USE ONLY

APPLICATION No: 21-12854 FILING DATE: 6/1/21 ACCEPTED BY: JGO FEE: $ 2,640

FEE INCL. ACCESSORY POOL FEE + ADVERTISING FEE = 593 + 2,047 = 2,640

PART I. PARCEL IDENTIFICATION

TAX STRAP NUMBER: 19-46-22-T7-00100.0060

STREET ADDRESS OF PROPERTY: 5029 Joewood Dr.

PART II. OWNER & APPLICANT INFORMATION

NAME OF OWNER: Nancy Tatko

Owner's Mailing Address: 7331 Lascala dr. Hudson, OH 44236

Owner's Phone No: 330-289-7491 Business _____ Fax _____

Owner's **Email** Address: nkennedyt@icloud.com

NAME OF APPLICANT: Benchmark General Contractors Inc. c/o Aaron Kirkman

Applicant's Address: 16836 McGregor Blvd. Ft. Myers, FL 33908

Applicant's Phone No: 239-841-1061 Business 239-466-1590 Fax 239-466-3563

Applicant's **Email** Address: akirkman@benchmark-gc.com

Applicant's Interest in Property: Contractor

PART III. PROVIDE A BRIEF DESCRIPTION OF THE PROPOSED DEVELOPMENT

Build elevated pool @ Front of house (not beachside)

APPLICATION FOR DEVELOPMENT PERMIT

SWIMMING POOL

(WITH APPLICATION INFORMATION)

PART IV. ATTACHMENTS CHECKLIST:

The information and attachments requested as part of this application are the minimum necessary to determine compliance with the requirements of The Sanibel Plan and the Land Development Code (LDC). The City may require additional information, at any time during the application process, to determine compliance with the requirements of the Sanibel Plan and the LDC. Provide three copies of all surveys and plans. For a complete explanation of each item, refer to the Planning Department handout entitled "Instructions for Permits and Other Applications of the Sanibel Land Development Code".

- ✓ DEED (COPY) OR LEE COUNTY OWNER OF RECORD
- ✓ OWNER'S AUTHORIZATION (Certified Form Available in the Planning Department)
- O ✓ OTHER AGENCY PERMITS (Certified Statement - Required Permits - Copy of Applications/Permits)
- O ✓ VARIANCE REPORT WITH LIST/LABELS OF ALL PROPERTY OWNERS WITHIN 300 FT OF SUBJECT PROPERTY (Obtain from Lee County Property Appraiser's Office)
- NTS SURVEY (1"=20', With Raised Seal And Signature Of Florida Registered Surveyor Or Engineer) OK
- ✓ LOCATION MAP
- ✓ SITE DEVELOPMENT PLAN (1" = 20')
- — DRAINAGE PLAN OR VERIFICATION OF EXISTING DRAINAGE IMPROVEMENTS
- O PLANS FOR STORMWATER & DEWATERING EROSION CONTROL OK
- — ENGINEERING REPORT OR COMPETENT EVIDENCE OF PERMEABLE SURFACES
- ✓ EXTERIOR LIGHTING PLAN
- O ✓ VEGETATION PLAN
- — WILDLIFE HABITAT IDENTIFICATION AND PLAN FOR PRESERVATION
- — VERIFY GOPHER TORTOISES ARE PROTECTED ON SITE OR HAVE BEEN REMOVED
- ✓ ELEVATION DRAWINGS (Only for pools with screen enclosures to demonstrate compliance with 'angle of light' setback requirements)
- O OTHER INFORMATION REQUIRED FOR COMPLIANCE WITH THE LAND DEVELOPMENT CODE:

  a NEED DIGITAL COPIES ✓

********** **CERTIFICATION** **********

I hereby certify that the information contained in this application and the attachments hereto are true and correct to the best of my knowledge and belief. Furthermore, I acknowledge that the City has the right to inspect the subject property in conjunction with this development permit application. (Please advise the City of any restrictions or limitations on the inspections.)

SIGNATURE OF OWNER / OWNER'S AUTHORIZED REPRESENTATIVE — **DATE** 5/24/21

NOTE TO OWNER/APPLICANT: The proposed development may be subject to private deed restrictions or covenants. It is the applicant's responsibility to verify with the appropriate property owners association whether the proposed development complies with the applicable deed restrictions or covenants. **The City does not enforce deed restrictions or act as an arbitrator between the applicant and the association.**

Attachment C
Application No. 21-12854DP
Tatko – Elevated Swimming Pool
Survey

SURVEY PLAT
OF
LOT 6, GULF RIDGE
RECORDED IN PLAT BOOK 33 AT PAGES 63 THROUGH 66
SECTION 19, TOWNSHIP 46 SOUTH, RANGE 22 EAST
CITY OF SANIBEL, LEE COUNTY, FLORIDA

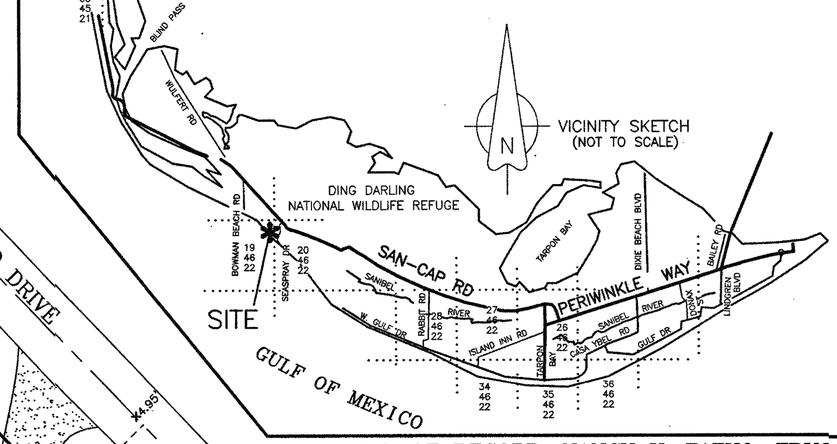
OWNER OF RECORD: NANCY K. TATKO, TRUSTEE,
FOR NANCY K. TATKO TRUST
SITE ADDRESS: 5029 JOEWOOD DRIVE
SANIBEL, FLORIDA 33957

VEGETATION CLASSIFICATIONS:
(PER CHAPTER 62B-33.0081(1)(J), FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF BEACHES AND COASTAL SYSTEMS)

1. BEACH DUNE (GRASSES AND GROUND COVERS)
2. COASTAL STRAND (SAW PALMETTO AND SALT PRUNED SHRUBS)
3. HAMMOCK (OVERHEAD FOREST CANOPY)
4. WETLAND (MANGROVE, MARSH OR SWAMP)
5. EXOTICS (GREATER THAN 50 PERCENT AUSTRALIAN PINE, BRAZILIAN PEPPER, AUSTRALIAN SCAEVOLA, OR OTHER INVASIVE NUISANCE SPECIES)

VC-1 = VEGETATION CLASSIFICATION AND NUMBER

VICINITY SKETCH
(NOT TO SCALE)



FND. C.M.
D.N.R 12-81-A63
N:772517.49
E:448721.98

N61°08'53"E 785.67'

CLOSED LOOP TRAVERSE
NOT TO SCALE
CLOSING RATIO = 1:67,343

3594.31'

GULF OF MEXICO

COASTAL CONSTRUCTION CONTROL LINE RECORDED MAY 30, 1991 IN PLAT BOOK 48 AT PAGES 15 THROUGH 34

S57°45'24"E 1118.89'

S49°16'19"E 1056.95'

S52°52'09"E 1213.94'

708.44'

99.20'

COASTAL CONSTRUCTION SETBACK LINE

FND. 4" X 4" C.M. (TOP BROKEN)

264.71'

78°14'46"

259.50'

96.81'

292°13'42"

132°29'41"

85.55'

93.35'

87°16'44"

270.33'

129°57'29"

FND. 4" X 4" C.M. WITH "X"

129.89'

133.17'

274.87'

113°3'02"

165°14'25"

165.96'

184°28'42"

144°23'58"

FND. 3/4" I.P. NO IDENTIFICATION

882.35'

406.30'

FND. 1/2" I.R. NO IDENTIFICATION
N:771031.41
E:451772.36
NAD83/90
N:771195.12
E:608000.05

FND. 5/8" I.R. BWLK LB4919
N:771380.13
E:451883.29
NAD83/90
N:771543.84
E:608110.98

S48°55'42"E 1043.00'

156°50'45"

87°10'35"

192.44'

FND. C.M.
D.N.R 12-81-A64
N:769950.69
E:452675.89

N44°07'54"E 355.48'

E.O.P.

6' P.U.E. & D.E.

4.95'

30.00'

FND. 4" X 4" C.M. (TOP BROKEN)

N44°02'54"W 100.00'

284.71'

100.00'

FND. 5/8" I.R. BWLK LB4919
N:771380.13
E:451883.29
NAD83/90
N:771543.84
E:608110.98

FND. 5/8" I.R. BWLK LB4919

BENCHMARK
FND. MAG NAIL AND STAINLESS STEEL DISK.
ELEV. = +4.58'

GRAVEL DRIVEWAY

N18°46'03"E 830'(P)
N18°44'50"E(M)

N17°38'43"E (M)
N17°40'10"E 810'±(P)

GRAVEL DRIVEWAY

2.9'

2.8'

2.4'

2.7'

3.0'

2.5'

3.1'

GRAVEL WALKWAY

98.77'

4.3'

0.3' WIDE BRICK BORDER

WOOD DECK

BRICK DRIVEWAY

1 STORY RESIDENCE ON WOOD PILINGS
ROOF OVERHANG NOT SHOWN

62.3'

87.13'

39.9'

WOOD DECK

34.1'

14.0'

100.00'

1.1' SHELL WALKWAY

BRICK WALKWAY

GRAVEL WALKWAY

EXISTING 1 STORY RESIDENCE ON WOOD PILINGS
ROOF OVERHANG NOT SHOWN

53.5'

66.5'

12.6'

CONC.

12.0'

406.30'

COASTAL CONSTRUCTION CONTROL LINE RECORDED MAY 30, 1991 IN PLAT BOOK 48 AT PAGES 15 THROUGH 34

S49°55'42"E 1043.00'

S54°55'19"E(P)
S54°56'06"E(M)

D.E.P. GENERAL PERMIT LINE, SEGMENT 3, 34.150, PER CHAPTER 62B-34.150, FLORIDA ADMINISTRATIVE CODE

S39°53'50"E 1406.65'

FND. 1/2" I.R. NO IDENTIFICATION
N:771031.41
E:451772.36
NAD83/90
N:771195.12
E:608000.05

N44°07'54"E 355.48'

FND. C.M.
D.N.R 12-81-A63
N:772517.49
E:448721.98

N61°08'53"E 785.67'

COASTAL CONSTRUCTION CONTROL LINE RECORDED MAY 30, 1991 IN PLAT BOOK 48 AT PAGES 15 THROUGH 34

S57°45'24"E 1118.89'

S49°16'19"E 1056.95'

708.44'

S52°52'09"E 1213.94'

EXISTING RESIDENCE
(SCALED FROM AERIAL PHOTOGRAPH)
64'
79'

99.20'

COASTAL CONSTRUCTION SETBACK LINE
(PER SUBDIVISION PLAT)

D.E.P. GENERAL PERMIT LINE, SEGMENT 3, 34.150, PER CHAPTER 62B-34.150, FLORIDA ADMINISTRATIVE CODE

FND. 5/8" I.R. NO IDENTIFICATION 0.39' WEST OF LINE

S57°00'33"E (BASIS OF BEARINGS)

GRAVEL WALKWAY

4.8'

4.4'

5.0'

17.0'

6' P.U.E. & D.E.

3.4'

WOOD DECK

BRICK DRIVEWAY

1 STORY RESIDENCE ON WOOD PILINGS
ROOF OVERHANG NOT SHOWN

62.3'

87.13'

39.9'

WOOD DECK

34.1'

14.0'

100.00'

1.1' SHELL WALKWAY

BRICK WALKWAY

GRAVEL WALKWAY

EXISTING 1 STORY RESIDENCE ON WOOD PILINGS
ROOF OVERHANG NOT SHOWN

53.5'

66.5'

12.6'

CONC.

12.0'

406.30'

COASTAL CONSTRUCTION CONTROL LINE RECORDED MAY 30, 1991 IN PLAT BOOK 48 AT PAGES 15 THROUGH 34

S49°55'42"E 1043.00'

S54°55'19"E(P)
S54°56'06"E(M)

D.E.P. GENERAL PERMIT LINE, SEGMENT 3, 34.150, PER CHAPTER 62B-34.150, FLORIDA ADMINISTRATIVE CODE

S39°53'50"E 1406.65'

FND. 1/2" I.R. NO IDENTIFICATION
N:771031.41
E:451772.36
NAD83/90
N:771195.12
E:608000.05

N44°07'54"E 355.48'

FND. C.M.
D.N.R 12-81-A64
N:769950.69
E:452675.89

FND. 3/4" I.P. NO IDENTIFICATION

FLOOD ZONE VE
EL 12'(NAVD88)
FLOOD ZONE VE
EL 13'(NAVD88)

216.56'

VC-3

LINE OF SEAGRAPES

4.0'

4' ± WIDE SHELL PATHWAY

EXISTING GROUND ELEV. (TYPICAL)

VC-3

4.6'

3.4'

3.9'

LINE OF SEAGRAPES

4.2'

4.3'

BENCHMARK
TOP OF C.M.
ELEV. = +4.69'
FND. 4" X 4" C.M. WITH "X"

3.5'

4.1'

6' P.U.E. & D.E.

REFERENCE LINE N50°10'08"W 107.54'

4.6'

8' DIAMETER CLUSTER OF SALT PRUNED SHRUBS

SEAGRAPES
VC-3

3.9'

3.8'

SEAGRAPES
VC-3

3.4'

230'±

3.3'

3.4'

3.6'

12' DIAMETER CLUSTER OF BUTTONWOOD TREES

3.7'

4.2'

3.8'

3.6'

18' DIAMETER SEAGRAPE CLUSTER

COCONUT PALM (TYPICAL)

4.2'

SEAGRAPES
VC-3

3.7'

3.5'

217'±

6' P.U.E. & D.E.

4.2'

3.6'

3.0'

3.9'

4.2'

12' DIAMETER SEAGRAPE CLUSTER

3.2'

4.2'

4.1'

4.3'

4.2'

SEAGRAPES
VC-3

4.5'

6' P.U.E. & D.E.

4.2'

4.9'

MATCH LINE

4.4'

4.7'

4.9'

APPROXIMATE MEAN HIGH TIDE LINE PER PLAT DATED 1979

5.0'

5.6'

6' DIAMETER CLUSTER OF SALT PRUNED SHRUBS

5.4'

5.9'

LIMITS OF BUTTONWOOD TREES

4.2'

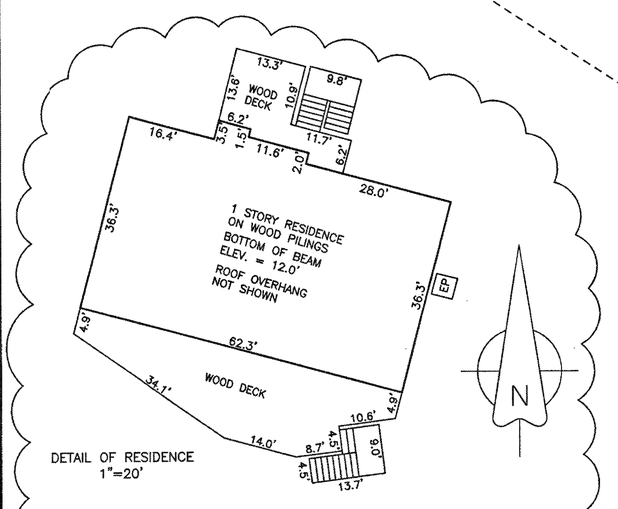
VC-3

12' DIAMETER SEAGRAPE CLUSTER

5.5'

THE RIPARIAN LINES, AS SHOWN, REPRESENT THE GENERALLY ACCEPTED METHODOLOGY FOR DETERMINING SUCH BOUNDARIES. HOWEVER A BINDING DETERMINATION OF RIPARIAN BOUNDARIES CAN ONLY BE MADE BY AGREEMENTS OF THE AFFECTED PARTIES OR BY A FINAL COURT DECISION OF COMPETENT JURISDICTION. RIPARIAN LINES WILL BE SUBJECT TO RE-ALIGNMENT AS SHORELINE MEANDERS OVER TIME.

DETAIL OF RESIDENCE
1"=20'



PER A LETTER ON FILE FROM ARNOLD/SANDERS CONSULTING ENGINEERS, INC., RECEIVED ON JUNE 20, 2012, THE GROUND LEVEL WALLS WERE INSPECTED AND FOUND TO COMPLY WITH FEMA REGULATIONS FOR BREAK AWAY WALLS.

SITE AREAS
PARCEL CONTAINS 124,827 SQUARE FEET, MORE OR LESS, TO THE APPROXIMATE MEAN HIGH WATER ELEVATION +0.28'.

PARCEL CONTAINS 34,512 SQUARE FEET TO THE COASTAL CONSTRUCTION SETBACK LINE.

RESIDENCE, DECKS, STAIRS AND PADS = 3,520 SQUARE FEET

BRICK DRIVEWAY = 491 SQUARE FEET

BRICK WALKWAY = 48 SQUARE FEET

BRICK BORDERS = 38 SQUARE FEET

GRAVEL DRIVEWAY AND WALKWAYS = 6,486 SQUARE FEET

SAND AND SHELL BEACHWALK = 2,564 SQUARE FEET

IMPERVIOUS COVERAGE CALCULATIONS
ALLOWABLE (ZONE "E-1") = 25% OF LOT AREA
0.25 X 124,847 = 32,212 SQUARE FEET
EXISTING = 4,097 SQUARE FEET

DEVELOPED AREA CALCULATIONS
ALLOWABLE (ZONE "E-1") = 30% OF LOT AREA
0.30 X 124,847 = 37,454 SQUARE FEET
EXISTING = 13,147 SQUARE FEET

BWLK N

0' 30' 60' 90'

NOTES:
SURVEY BASIS: THE STATE OF FLORIDA DEPARTMENT OF NATURAL RESOURCES PLAT OF THE LEE COUNTY COASTAL CONSTRUCTION CONTROL LINE AS RECORDED MAY 30, 1991 IN PLAT BOOK 48 AT PAGES 15 THROUGH 34, THE PLAT OF GULF RIDGE AND EXISTING MONUMENTATION.

BEARINGS ARE BASED ON THE STATE OF FLORIDA DEPARTMENT OF NATURAL RESOURCES PLAT OF THE LEE COUNTY COASTAL CONSTRUCTION CONTROL LINE AS RECORDED MAY 30, 1991 IN PLAT BOOK 48 AT PAGES 15 THROUGH 34. THE REFERENCE BEARING LINE IS FROM FLORIDA DEPARTMENT OF NATURAL RESOURCES MONUMENT 12-83-A63 TO MONUMENT 12-83-A64 AS BEARING S.57°00'33"E.

THE STATE PLANE COORDINATES SHOWN ARE BASED ON THE PLAT OF THE LEE COUNTY COASTAL CONSTRUCTION CONTROL LINE AND THE NORTH AMERICAN 1927 DATUM 1979 ADJUSTMENT, FLORIDA MERCATOR WEST ZONE.

ADDITIONAL COORDINATES LABELED "NAD83/90" ARE BASED ON THE NORTH AMERICAN 1983 DATUM 1990 ADJUSTMENT, FLORIDA MERCATOR WEST ZONE.

ELEVATIONS ARE BASED ON THE NAVD (NORTH AMERICAN VERTICAL DATUM) OF 1988 AND D.N.R. MONUMENT 12-81-A-64.

THERE MAY BE ADDITIONAL EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, THAT ARE NOT REFERENCED ON THIS SURVEY. THESE RECORDS, IF ANY, WERE NOT PROVIDED TO THE SURVEYOR. THERE IS NO APPARENT PHYSICAL EVIDENCE OBSERVED ON THE SITE THAT WOULD INDICATE THE EXISTENCE OF UNRECORDED EASEMENTS OR RIGHTS-OF-WAY.

UNDERGROUND AND ABOVEGROUND IMPROVEMENTS OTHER THAN SHOWN WERE NOT LOCATED.

PARCEL IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ON THE NATIONAL FLOOD INSURANCE RATE MAPS.

℄ = CENTERLINE.
ELEV. = ELEVATION.
FND. = FOUND.
I.R. = IRON ROD.
I.P. = IRON PIPE.
C.M. = CONCRETE MONUMENT
CONC. = CONCRETE.
E.O.P. = EDGE OF PAVEMENT.
(M) = MEASURED.
(P) = PLAT CALL.
D.E.P. = DEPARTMENT OF ENVIRONMENTAL PROTECTION.
NAD83/90 = NORTH AMERICAN DATUM 1983, 1990 ADJUSTMENT.

SYMBOLS
Ⓢ = SANITARY SEWER MANHOLE
Ⓦ = WATER METER
Ⓣ = TELEPHONE BOX
CATV = CABLE TV BOX
= STAIRS.
VC-1 = VEGETATION CLASSIFICATION AND NUMBER
EP = EQUIPMENT PLAFORM.
= VEGETATION LINE.

THE RIPARIAN LINES, AS SHOWN, REPRESENT THE GENERALLY ACCEPTED METHODOLOGY FOR DETERMINING SUCH BOUNDARIES. HOWEVER A BINDING DETERMINATION OF RIPARIAN BOUNDARIES CAN ONLY BE MADE BY AGREEMENTS OF THE AFFECTED PARTIES OR BY A FINAL COURT DECISION OF COMPETENT JURISDICTION. RIPARIAN LINES WILL BE SUBJECT TO RE-ALIGNMENT AS SHORELINE MEANDERS OVER TIME.

MATCH LINE

APPROXIMATE MEAN HIGH TIDE LINE PER PLAT DATED 1979

SEAGRAPES VC-3

4.9'

5.0'

4.7'

6' DIAMETER CLUSTER OF SALT PRUNED SHRUBS

4' ± WIDE SHELL PATHWAY

5.0'

5.6'

3.4'

5.1'

LIMITS OF BUTTONWOOD TREES

4.2'

VC-3

12' DIAMETER SEAGRAPE CLUSTER

5.9'

5.5'

4.3'

6' DIAMETER CLUSTER OF SALT PRUNED SHRUBS

5.6'

5.4'

5.0'

SS 6'

4.0'

AREA OF ACCRETION FROM 1969 TO 2012

5.3'

3.2'

6.0'

4.9'

2.6'

3.3'

2.5'

4.3'

5.3'

VC-1

10' DIAMETER SEAGRAPE CLUSTER

5' DIAMETER CLUSTER OF SALT PRUNED SHRUBS

SEAWARD GRASS LINE

4.2'

5.6'

8' DIAMETER CLUSTER OF SALT PRUNED SHRUBS

5.8'

4.0'

N38°33'17"E 434'±

N38°33'17"E 423'±

FLOOD ZONE VE
EL 13'(NAVD88)
FLOOD ZONE VE
EL 16'(NAVD88)

3.7'

SCATTERED GRASS

4.4'

5.6'

5.5'

5.3'

5.2'

4.2'

2.7'

3.9'

4.7'

SEAWARD LINE OF SCATTERED GRASS

4.1'

2.3'

1.9'

1.9'

4.6'

5.0'

5.1'

1.8'

SEASONAL HIGH WATER LINE ELEV. +3.00'

2.3'

1.7'

APPROXIMATE MEAN HIGH WATER LINE ELEV. +0.28'

2.2'

GULF OF MEXICO

0' 30' 60' 90'

N

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Bean, Whitaker, Lutz & Kareh, Inc.

JAMES ANTHONY HESSLER
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATION LS 6410
(FOR THE FIRM)
- THIS CERTIFICATION IS ONLY FOR THE LANDS DESCRIBED HEREON.
- IT IS NOT A CERTIFICATION OF TITLE, ZONING, SETBACKS, OR FREEDOM OF ENCUMBRANCES.
- THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF ABSTRACT OF TITLE AND ALL MATTERS OF TITLE SHOULD BE REFERRED TO AN ATTORNEY AT LAW.

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP INFORMATION

COMMUNITY NUMBER	120402
MAP AND PANEL NUMBER	12071C0509F-0509
DATE OF FIRM INDEX	8-28-2008
FIRM ZONE	VARIES
BASE FLOOD ELEVATION	VARIES

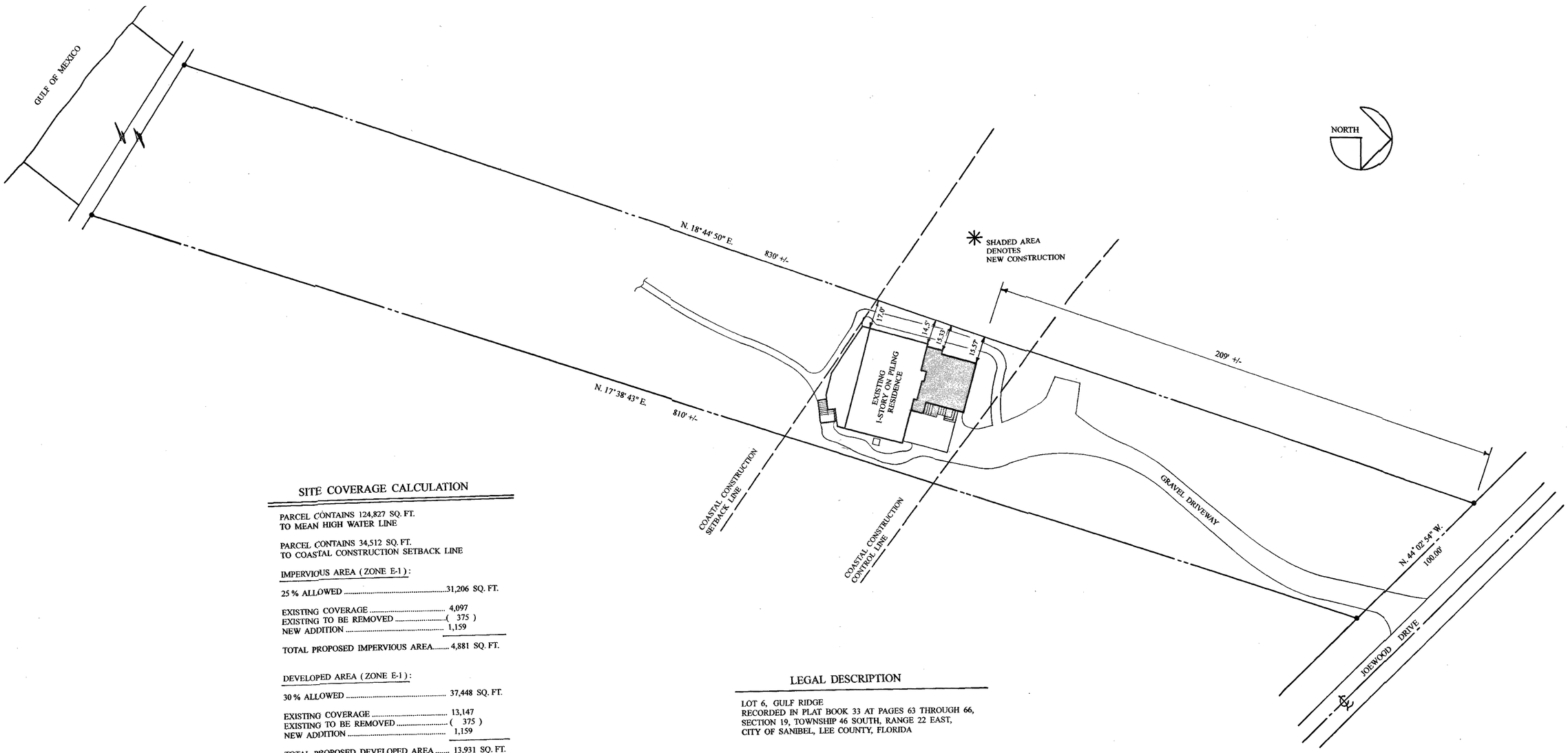
	REVISIONS
1	SITE AREAS/8-15-2012
2	UPDATE SURVEY/8-20-2013
3	
4	
5	
6	
7	
8	
9	

Bean, Whitaker, Lutz & Kareh, Inc.
CONSULTING ENGINEERS – SURVEYORS AND MAPPERS – PLANNERS
13041 McGREGOR BOULEVARD, FORT MYERS, FL 33919 (239) 481-1331
AUTHORIZATION NUMBER: EB4919 AND LB4919

DRAFTING BY:	DATE OF LAST FIELD WORK	SCALE:
J.A.H.	8-20-2013	1"=30'
PROJECT NUMBER:	DATE OF DRAWING	DRAWING FILE NAME
41980	8-07-2012	SR41980.DWG

SURVEY/5029 JOEWOOD DRIVE/LOT 6 GULF RIDGE/PB 33 PG 63-66/19-46-22

Attachment D
Application No. 21-1285ADP
Tatko – Elevated Swimming Pool
Proposed Plans



SITE COVERAGE CALCULATION

PARCEL CONTAINS 124,827 SQ. FT.
TO MEAN HIGH WATER LINE

PARCEL CONTAINS 34,512 SQ. FT.
TO COASTAL CONSTRUCTION SETBACK LINE

IMPERVIOUS AREA (ZONE E-1) :

25 % ALLOWED ..... 31,206 SQ. FT.

EXISTING COVERAGE	4,097
EXISTING TO BE REMOVED	(375)
NEW ADDITION	1,159
TOTAL PROPOSED IMPERVIOUS AREA	4,881 SQ. FT.

DEVELOPED AREA (ZONE E-1) :

30 % ALLOWED ..... 37,448 SQ. FT.

EXISTING COVERAGE	13,147
EXISTING TO BE REMOVED	(375)
NEW ADDITION	1,159
TOTAL PROPOSED DEVELOPED AREA	13,931 SQ. FT.

LEGAL DESCRIPTION

LOT 6, GULF RIDGE
RECORDED IN PLAT BOOK 33 AT PAGES 63 THROUGH 66,
SECTION 19, TOWNSHIP 46 SOUTH, RANGE 22 EAST,
CITY OF SANIBEL, LEE COUNTY, FLORIDA

FLOOD ZONE : VE - EL. + 12' NAVD 88 (VARIES)

SITE PLAN

SCALE : 1" = 30'

THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-33.007, FLORIDA ADMINISTRATIVE CODE.

THE MAIN WIND-FORCE RESISTING SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 6, AMERICAN NATIONAL STANDARDS / AMERICAN SOCIETY OF CIVIL ENGINEERING "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES" TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 170 M.P.H.

THE COMPONANTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS TO WITHSTAND THE WIND LOADS DETERMINED IN ACCORDANCE WITH THE SAME STANDARD

NOTE : THIS SITE PLAN HAS BEEN PREPARED BY MOONLIGHT DESIGN FROM DOCUMENTS PROVIDED FROM OTHERS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF WORK.

RAY & NANCY TATKO RESIDENCE (POOL)
5029 JOEWOOD DRIVE
SANIBEL ISLAND, FLORIDA 33957

BENCHMARK
GENERAL CONTRACTORS CGC060555
P.O. BOX 08337
16835 MCGREGOR BOULEVARD
FORT MYERS, FLORIDA 33908

MD • MD • MD Moonlight Design
12734 Kenwood Lane S.W., Suite 88
Fort Myers, Florida 33907

PROJECT #: 21006
DATE: 4-16-21
DRAWN BY: LAM
CHECKED BY: √
REV: 5-13-21

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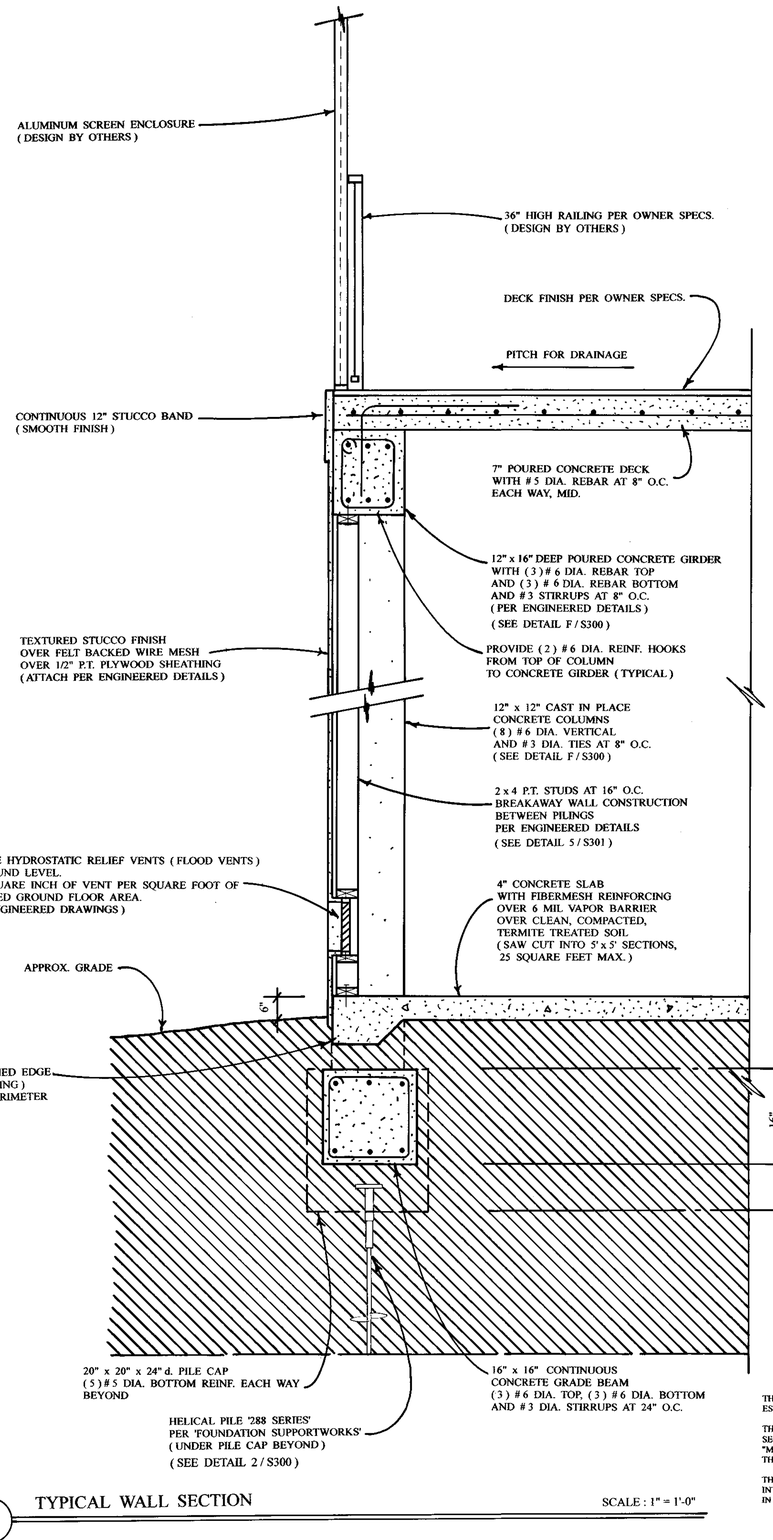
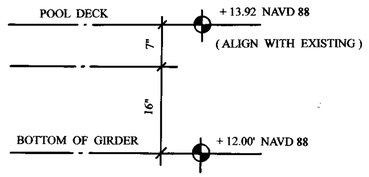
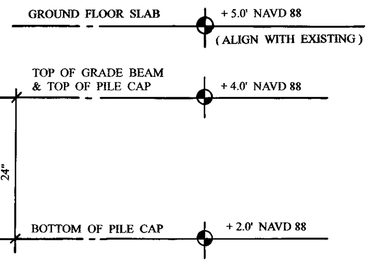
OF 9



A TYPICAL WALL SECTION SCALE : 1" = 1'-0"





NOTE : PER F.B.C. R 322.1.8 - ALL BUILDING MATERIALS USED BELOW BASE FLOOD ELEVATION SHALL BE FLOOD DAMAGE RESISTANT TO CONFORM TO FEMA T B - 2 (CONCRETE, P.T. LUMBER & STUCCO).

NOTE : THIS WALL SECTION IS FOR DESIGN PURPOSES ONLY. REFER TO ENGINEERED DRAWINGS FOR FURTHER DETAILS.

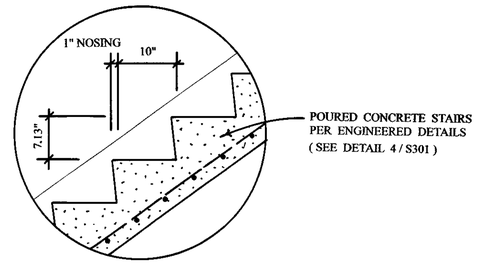
THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-33.007, FLORIDA ADMINISTRATIVE CODE.

THE MAIN WIND-FORCE RESISTING SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 6, AMERICAN NATIONAL STANDARDS / AMERICAN SOCIETY OF CIVIL ENGINEERING "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES" TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 170 M.P.H.

THE COMPONANTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS TO WITHSTAND THE WIND LOADS DETERMINED IN ACCORDANCE WITH THE SAME STANDARD

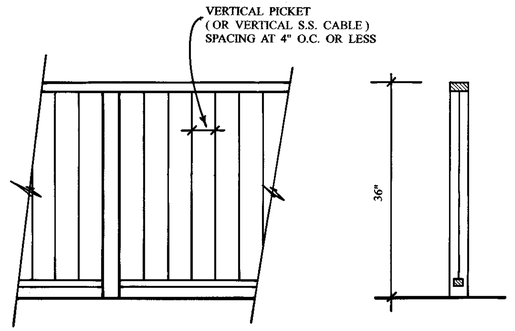
GENERAL NOTES

1. The Contractor shall verify all conditions and dimensions at the job site prior to commencing work. The Contractor shall report all discrepancies between the drawings and existing conditions to the Designer prior to commencing work.
2. The Contractor shall supply, locate and build into the work all inserts, anchors, angles, plates, openings, sleeves, hangers, slab depressions and pitches as may be required to attach and accommodate other work.
3. All details and sections shown on the drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere in the work except where a different detail is shown.
4. Subsurface soil condition information is not available. Foundations are designed for a soil bearing capacity of 2,000 PSF. The Contractor shall report any differing conditions to the Designer prior to commencing work.
5. Structural drawings shall be used in conjunction with job specification and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for sleeves, depressions and other details not shown on structural drawings.
6. All bolts, nuts, washers, straps and fasteners including nails, shall be hot dip galvanized or stainless steel. Continuous anchorage shall be provided between all trusses, wall sections, beams, posts and footings with use of straps and connectors as specified herein.
7. All specified fasteners may only be substituted if approved by the engineer in writing. The installation of the fasteners shall be in accordance with the manufacturer's specifications.
8. The structure is designed to be self supporting and stable after the building is complete. It is the Contractor's sole responsibility to determine erection procedures and sequence to ensure safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, guys or tie downs.



B STAIR PROFILE SCALE : 1" = 1'-0"

NOTE : REFER TO ENGINEERED DRAWINGS FOR FURTHER DETAILS.



C RAILING DETAIL (VERIFY PER OWNER SPECS.) SCALE : 1" = 1'-0"

NOTE : CONTRACTOR SHALL SUBMIT ENGINEERED RAILING DETAILS FROM MANUF. WITH THESE PLANS FOR PERMIT.

RAY & NANCY TATKO RESIDENCE (POOL)
5029 JOEWOOD DRIVE
SANIBEL ISLAND, FLORIDA 33957

BENCHMARK INC.
GENERAL CONTRACTORS
CGC062507
CCC1327337
12635 McGREGOR BOULEVARD
FORT MYERS, FLORIDA 33908

Moonlight Design
12734 Kenwood Lane S.W., Suite 88
Fort Myers, Florida 33907

PROJECT #: 21000
DATE: 4-19-21
DRAWN BY: LAM
CHECKED BY: ✓
REV: 5-13-21

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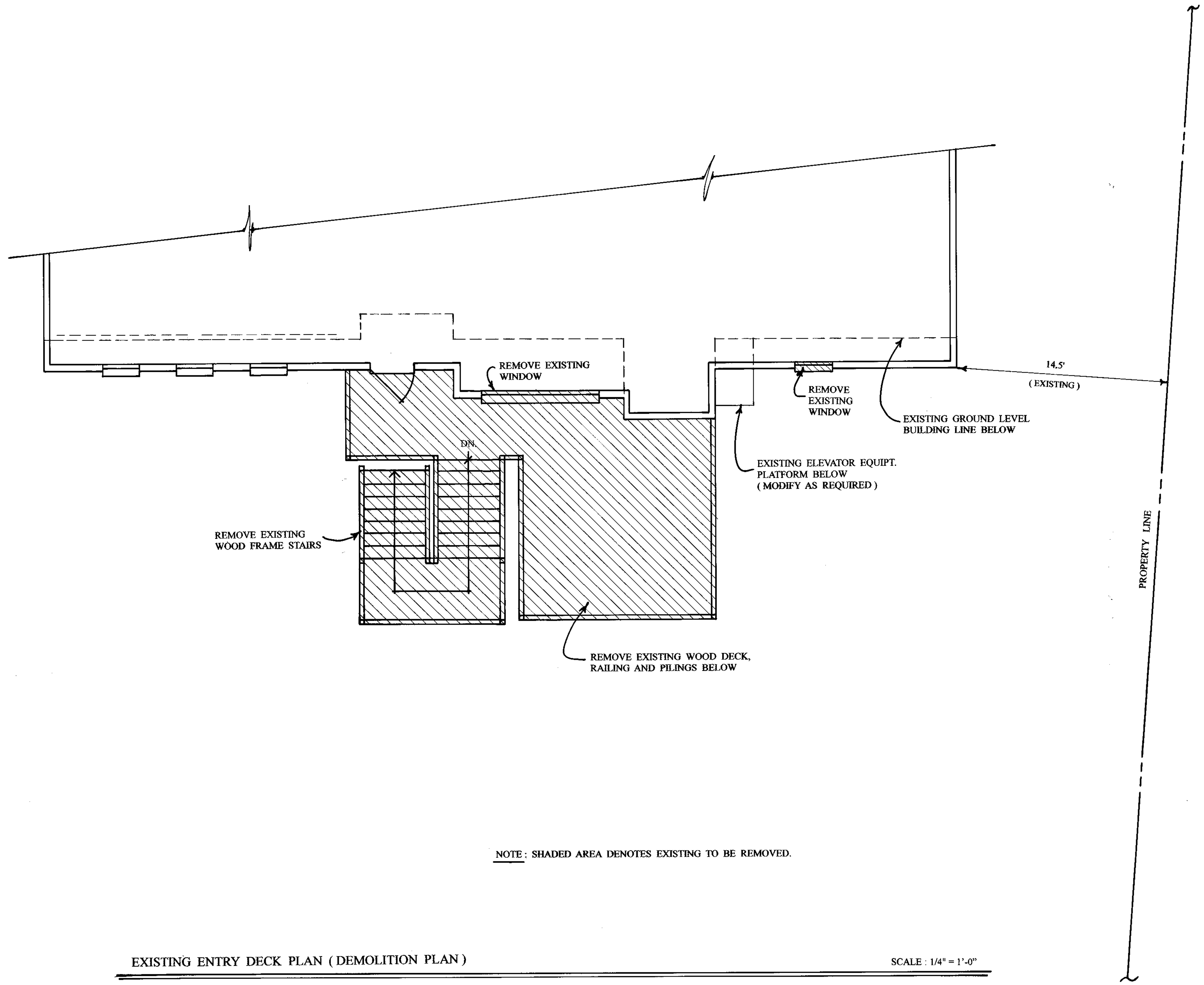

NOTE: SHADED AREA DENOTES EXISTING TO BE REMOVED.

EXISTING ENTRY DECK PLAN (DEMOLITION PLAN)

SCALE : 1/4" = 1'-0"

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THE COMPONANTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS TO WITHSTAND THE WIND LOADS DETERMINED IN ACCORDANCE WITH THE SAME STANDARD

RAY & NANCY TATKO RESIDENCE (POOL)
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16836 MCGREGOR BOULEVARD
FORT MYERS, FLORIDA 33908

Moonlight Design
12734 Kenwood Lane S.W., Suite 88
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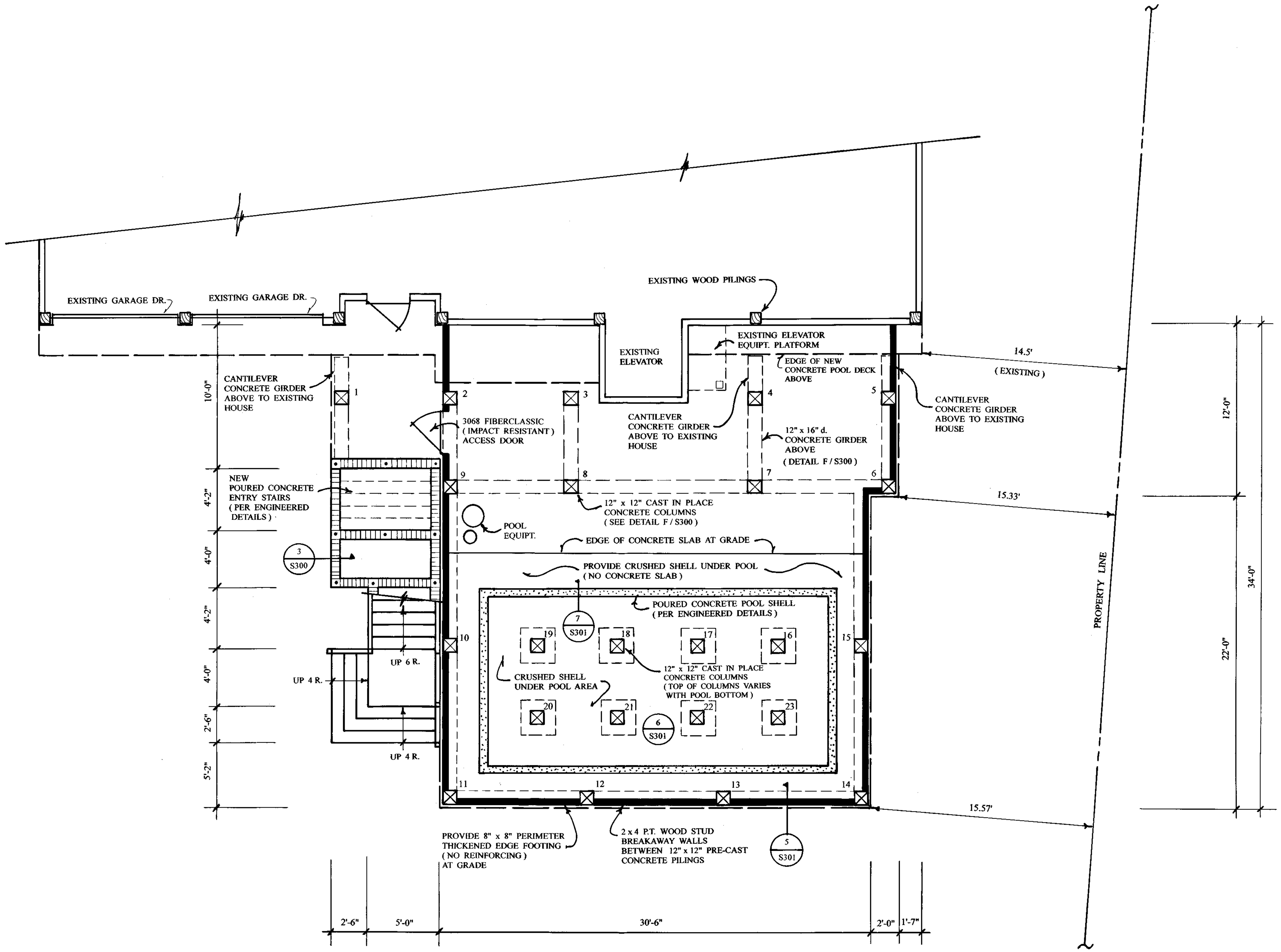

NEW GROUND LEVEL PLAN

SCALE : 1/4" = 1'-0"

* NOTE : PROVIDE HYDROSTATIC RELIEF VENTS (FLOOD VENTS) AT GROUND LEVEL PER ENGINEERED DRAWINGS. (ONE SQUARE INCH OF VENT PER SQUARE FOOT OF ENCLOSED AREA).

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THE COMPONANTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS TO WITHSTAND THE WIND LOADS DETERMINED IN ACCORDANCE WITH THE SAME STANDARD

RAY & NANCY TATKO RESIDENCE (POOL)
5029 JOEWOOD DRIVE
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BENCHMARK INC.
GENERAL CONTRACTORS
P.O. BOX 06337
16856 MCGREGOR BOULEVARD
FORT MYERS, FLORIDA 33906

MD·MD Moonlight Design
12734 Kenwood Lane S.W., Suite 88
Fort Myers, Florida 33907

PROJECT #: 21006
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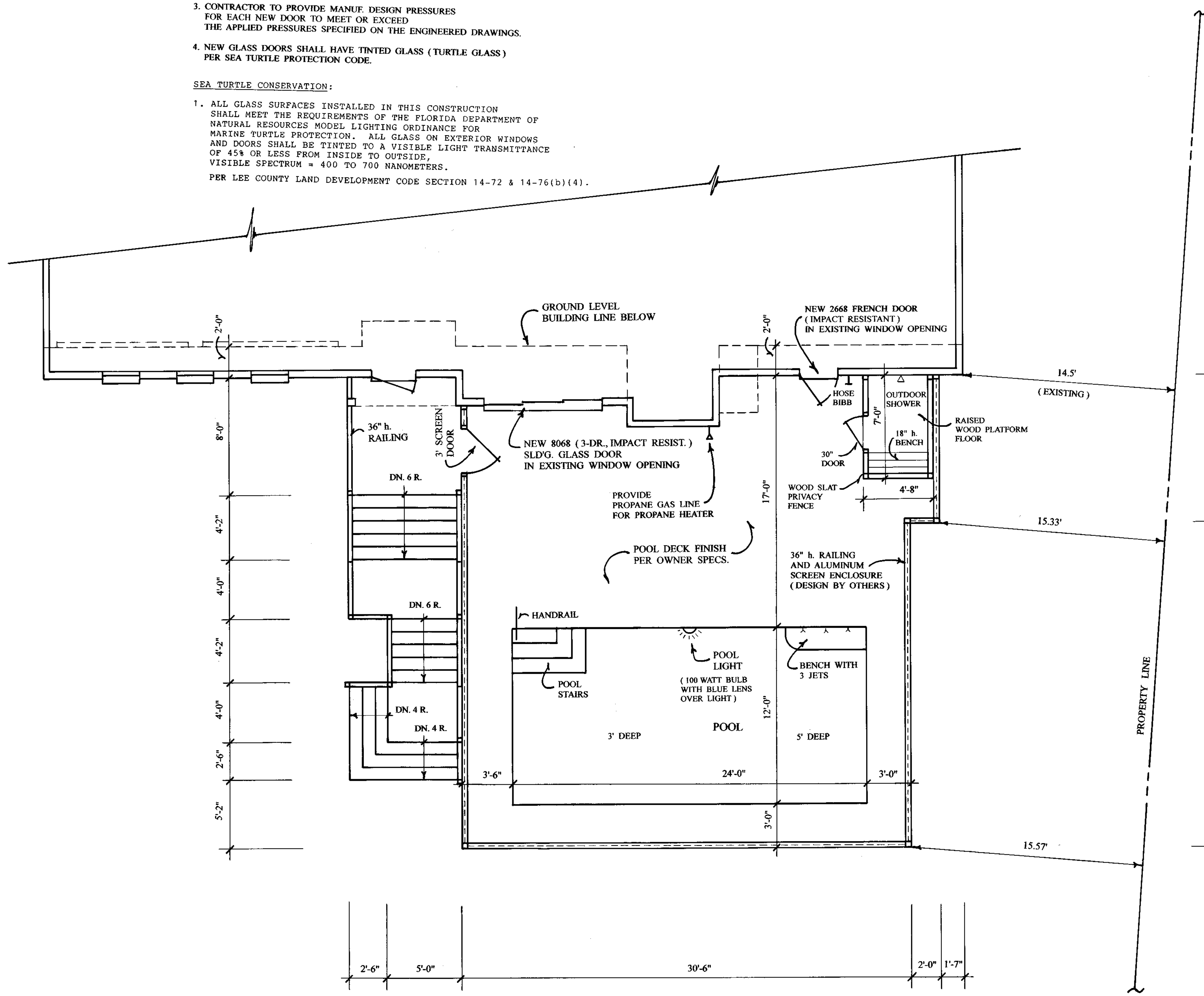
DOOR NOTES:

1. NEW DOORS SHALL BE CAPABLE OF WITHSTANDING 170 M.P.H. WIND LOAD. CONTRACTOR TO PROVIDE MANUF. CUT SHEETS AND CERTIFICATION OF WIND LOAD COMPLIANCE (N.O.A. / FLORIDA PRODUCT APPROVAL NUMBER) FOR EACH NEW EXTERIOR DOOR.
2. INSTALL NEW DOORS PER MANUF. SPECIFICATIONS.
3. CONTRACTOR TO PROVIDE MANUF. DESIGN PRESSURES FOR EACH NEW DOOR TO MEET OR EXCEED THE APPLIED PRESSURES SPECIFIED ON THE ENGINEERED DRAWINGS.
4. NEW GLASS DOORS SHALL HAVE TINTED GLASS (TURTLE GLASS) PER SEA TURTLE PROTECTION CODE.

SEA TURTLE CONSERVATION:

1. ALL GLASS SURFACES INSTALLED IN THIS CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF NATURAL RESOURCES MODEL LIGHTING ORDINANCE FOR MARINE TURTLE PROTECTION. ALL GLASS ON EXTERIOR WINDOWS AND DOORS SHALL BE TINTED TO A VISIBLE LIGHT TRANSMITTANCE OF 45% OR LESS FROM INSIDE TO OUTSIDE, VISIBLE SPECTRUM = 400 TO 700 NANOMETERS.

PER LEE COUNTY LAND DEVELOPMENT CODE SECTION 14-72 & 14-76(b)(4).



NEW POOL PLAN

SCALE : 1/4" = 1'-0"

THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-33.007, FLORIDA ADMINISTRATIVE CODE.

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THE COMPONANTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS TO WITHSTAND THE WIND LOADS DETERMINED IN ACCORDANCE WITH THE SAME STANDARD

RAY & NANCY TATKO RESIDENCE (POOL)
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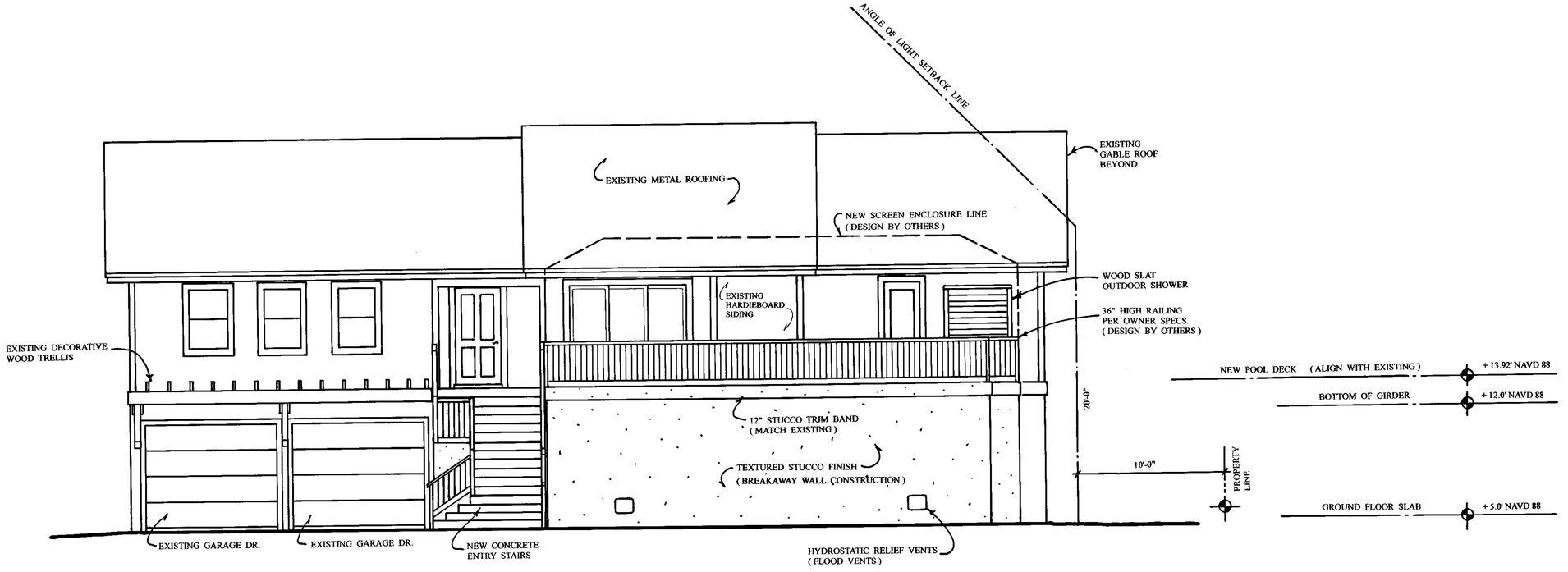
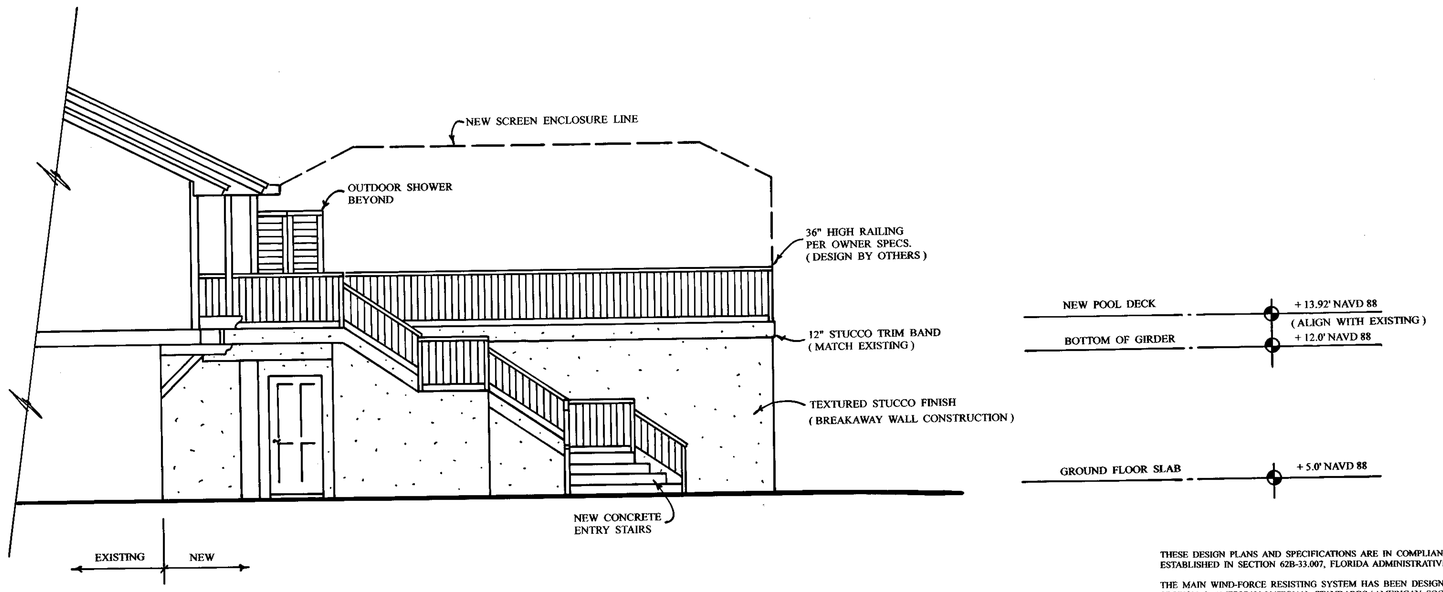


FRONT ELEVATION

SCALE : 1/4" = 1'-0"



LEFT ELEVATION

SCALE : 1/4" = 1'-0"

THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-33.007, FLORIDA ADMINISTRATIVE CODE.

THE MAIN WIND-FORCE RESISTING SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 6, AMERICAN NATIONAL STANDARDS / AMERICAN SOCIETY OF CIVIL ENGINEERING "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES" TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 170 M.P.H.

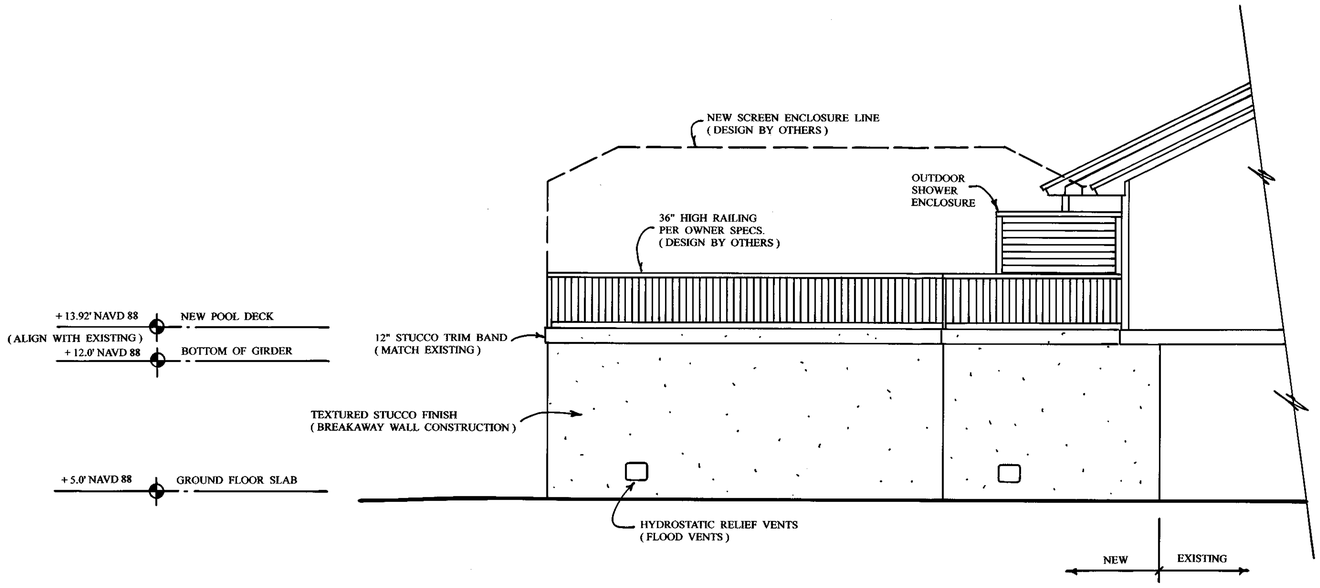
THE COMPONANTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS TO WITHSTAND THE WIND LOADS DETERMINED IN ACCORDANCE WITH THE SAME STANDARD

RAY & NANCY TATKO RESIDENCE (POOL)
5029 JOEWOOD DRIVE
SANIBEL ISLAND, FLORIDA 33957

BENCHMARK INC.
GENERAL CONTRACTORS
CGC062057
CCC1328337
14836 McGREGOR BOULEVARD
FORT MYERS, FLORIDA 33908

MD · MD · MD
Moonlight Design
12734 Kenwood Lane S.W. Suite 88
Fort Myers, Florida 33907

PROJECT #: 21006
DATE: 4-16-21
DRAWN BY: LAM
CHECKED BY: ✓
REV: 5-13-21



RIGHT ELEVATION

SCALE : 1/4" = 1'-0"

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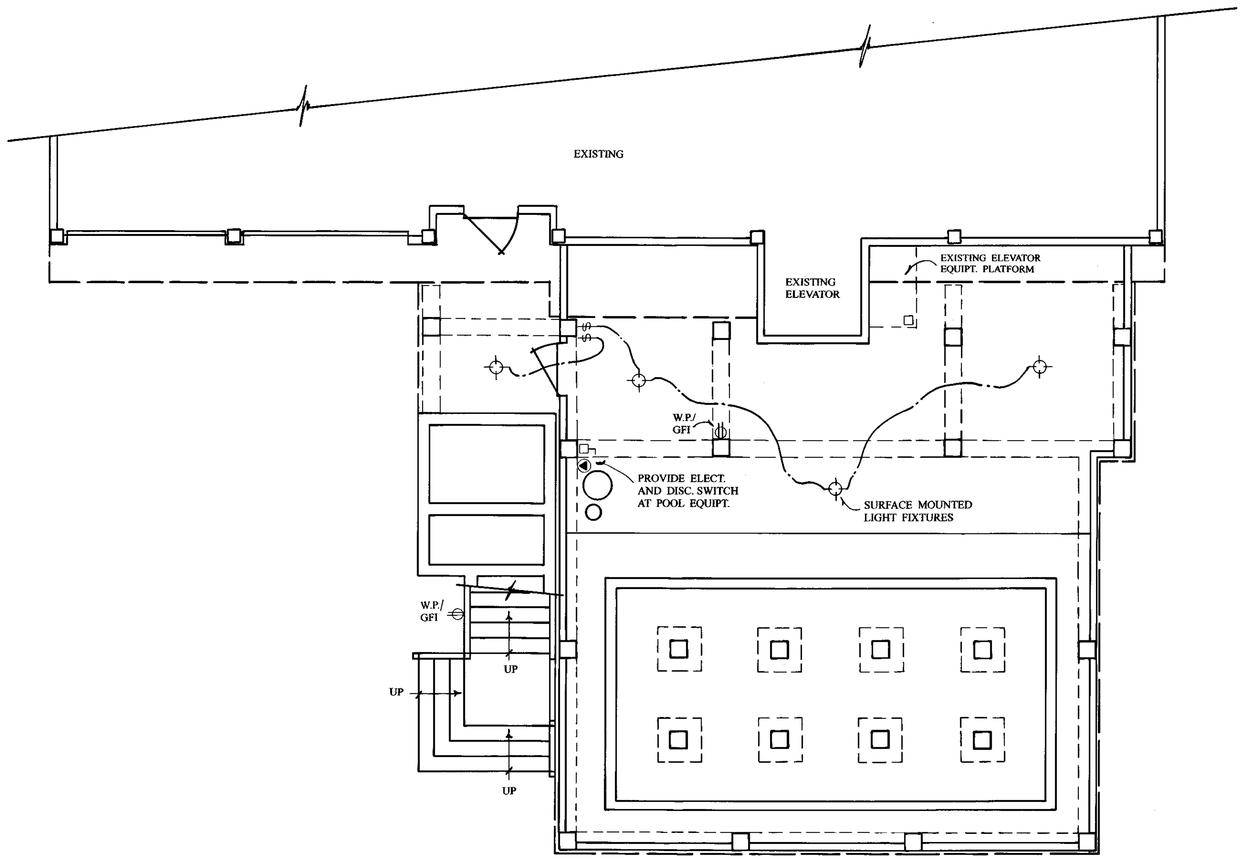

NEW GROUND LEVEL ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"

ELECTRICAL LEGEND

- SINGLE POLE SWITCH
- 3 3-WAY SWITCH
- DUPLEX OUTLET 110 v.
- 1/2 HOT OUTLET 110 v.
- RECESS CAN.
- RECESS EYEBALL
- FLUOR. FIXTURE
- SMOKE DETECTOR (HARD WIRED)
- DOOR BELL
- V.P. VAPORPROOF RECESS CAN.
- W.P. WATERPROOF DUPLEX OUTLET
- A / C DISCONNECT SWITCH
- 220 v. OUTLET
- EXHAUST FAN
- WALL MOUNTED LIGHT FIXTURE
- HANGING LIGHT FIXTURE
- PHONE
- CABLE T.V.

NOTE :

1. ALL NEW ELECTRICAL SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE.
2. CONTRACTOR SHALL WALK THROUGH WITH OWNER AND VERIFY ALL LIGHTS, SWITCHES AND OUTLET LOCATIONS PRIOR TO INSTALLATION.
3. ALL EXTERIOR LIGHT FIXTURES SHALL BE "DARK-SKY FRIENDLY".

THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-33.007, FLORIDA ADMINISTRATIVE CODE.

THE MAIN WIND-FORCE RESISTING SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 6, AMERICAN NATIONAL STANDARDS / AMERICAN SOCIETY OF CIVIL ENGINEERING "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES" TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 170 M.P.H.

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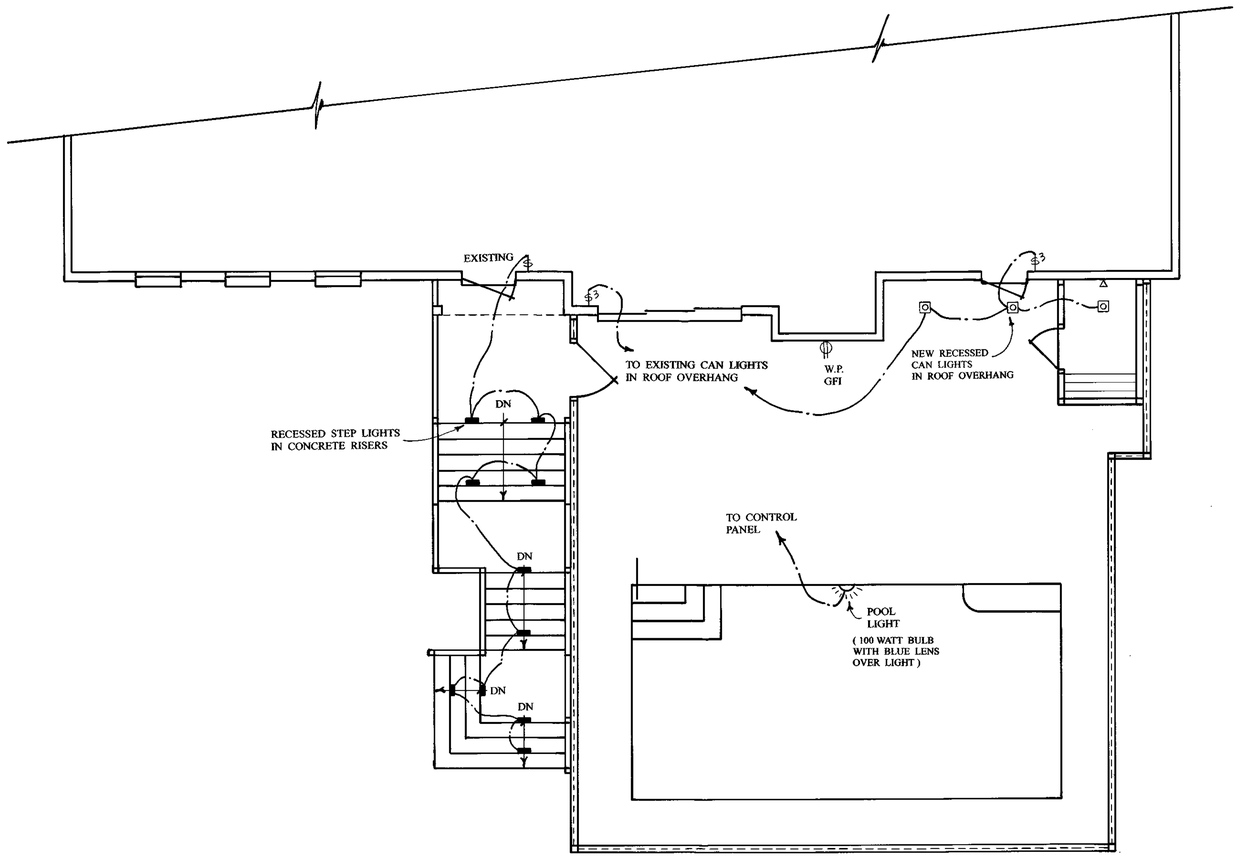

NOTE :

1. ALL NEW ELECTRICAL SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE.
2. CONTRACTOR SHALL WALK THROUGH WITH OWNER AND VERIFY ALL LIGHTS, SWITCHES AND OUTLET LOCATIONS PRIOR TO INSTALLATION.
3. ALL EXTERIOR LIGHT FIXTURES SHALL BE "DARK-SKY FRIENDLY".

NEW POOL DECK ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"

THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-33.007, FLORIDA ADMINISTRATIVE CODE.

THE MAIN WIND-FORCE RESISTING SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 6, AMERICAN NATIONAL STANDARDS / AMERICAN SOCIETY OF CIVIL ENGINEERING "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES" TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 170 M.P.H.

THE COMPONANTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS TO WITHSTAND THE WIND LOADS DETERMINED IN ACCORDANCE WITH THE SAME STANDARD

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1001 GENERAL NOTES:

STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH ALL OTHER CONSTRUCTION DOCUMENTS. THIS INCLUDES, BUT NOT LIMITED TO, SPECIFICATIONS, ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND SITE DRAWINGS.

ALL CONDITIONS, ELEVATIONS, AND DIMENSIONS SHALL BE VERIFIED IN THE FIELD AND WITH THE OTHER CONSTRUCTION DOCUMENTS BY THE CONTRACTOR. ANY DISCREPANCIES RELATED TO THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF SOUTHERN ENGINEERING INC. BEFORE PROCEEDING WITH THE AFFECTED PORTION OF WORK.

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER CONSTRUCTION IS COMPLETED. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE PROPER PROCEDURES AND SEQUENCE OF CONSTRUCTION TO INSURE THE SAFETY OF THE BUILDING, ITS COMPONENTS AND PERSONNEL ON SITE. THIS INCLUDES TEMPORARY SUPPORT OF THE STRUCTURE DURING CONSTRUCTION WHICH MAY INCLUDE, BUT NOT LIMITED TO, TEMPORARY SHORING, BRACING AND TIE-DOWNS. SCOPE OF SERVICES ARE FOR THE STRUCTURAL SYSTEM ONLY AND DO NOT INCLUDE ANY ASPECTS THAT ARE NOT STRUCTURAL IN NATURE SUCH AS BUT NOT LIMITED TO WATER PROOFING, WATER INTRUSION, INSULATION, WEATHERING, FINISHES ETC. SOUTHERN ENGINEERING AND THE ENGINEER OF RECORD CHRIS SCOTT MILLER PE 62603 SHALL HAVE NO LIABILITY EXPRESSED OR IMPLIED FOR ANYTHING NOT STRUCTURAL IN NATURE.

1101 DESIGN LOADS:

THE STRUCTURAL SYSTEMS FOR THIS BUILDING HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION.
THE FOLLOWING SUPERIMPOSED LOADS WERE UTILIZED IN THE DESIGN:

FLOOR (LIVE LOADS)
LIVING AREAS . . . . 40 PS
STAIRS . . . . 40 PS
DECKS AND BALCONIES . . . . 60 PS

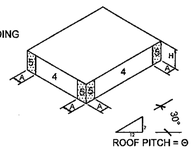
ROOF FLOORS
TOP CHORD LIVE . . . . . 20 PSF
TOP CHORD DEAD . . . . . 20 PSF
BOTTOM CHORD LIVE . . . . . 10 PSF
BOTTOM CHORD DEAD . . . . . 5 PSF
ATTIC LIVE . . . . . 40 PSF

SCREEN ENCLOSURE . . . . . 14 PSF

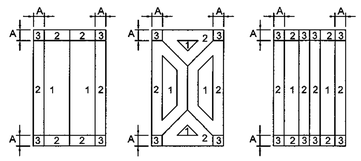
LATERAL EARTH PRESSURE . . . . . .45 PSF/FT

1102 WIND LOADS:

IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION
ASCE7.
Vult =170 MPH
Vasd =132 MPH
ENCLOSED BUILDING (Gpc = ±0.18)
EXPOSURE D,
IMPORTANCE FACTOR, Iw = 1.0
CAT 2



End Zones "A" = 6 Feet



COMPONENT & CLADDING PRESSURES (psf)

EFFECTIVE WIND AREA (FT)^2	WALL PRESSURES 4 INTERIOR ZONE	WALL PRESSURES 5 END ZONE
10	+48/-49	+48/-62
20	+44/-48	+44/-57
50	+41/-45	+41/-52
100	+39/-43	+39/-48

ROOF PRESSURES (ALL EFFECTIVE AREAS) 1 INTERIOR ZONE	2 & 3 CORNER & END ZONE	OH 2 & 3 OVERHANG ZONE
+24/-37	+24/-95	+24/-126

NOTE:
1. A (kd) OF 0.85 HAS BEEN USED IN THE DEVELOPMENT OF THESE VALUES. THE USE OF THESE VALUES SHALL ONLY BE APPLIED WHEN USED IN CONJUNCTION WITH LOAD COMBINATIONS SPECIFIED IN SECTION 2.3 AND 2.4 OF ASCE 7-10
2. PRESSURE AND SUCTION ON SOFFITS SHALL BE THE SAME AS CORRESPONDING WALL ZONES 4 AND 5.
3. THE "ULTIMATE" WIND LOADS SHOWN ABOVE SHALL BE MULTIPLIED BY 0.6 TO REDUCE TO "SERVICE" LOAD

2360 HELICAL PIERS

STEEL HELICAL PIERS SHALL BE MODEL 288 SERIES MANUFACTURED AND INSTALLED BY FOUNDATION SUPPORT WORKS AS RECOMMENDED BY THE MANUFACTURER. THE DESIGN IS BASED ON AN ALLOWABLE CAPACITY OF 10 TONS COMPRESSION AND 3 TONS TENSION. HELICAL PIER FOUNDATION SYSTEM SHALL BE INSTALLED BY N SQUARED CERTIFIED INSTALLERS TRAINED TO INSTALL THE FOUNDATION SUPPORT WORKS HELICAL PIER FOUNDATION SYSTEM. THE HELICAL LEAD SECTIONS AND EXTENSION SECTIONS SHALL BE SOLID STEEL, ROUND CORNERED SQUARE SHAFT, OR ROUND STEEL PIPE SHAFT, OR COMPOSITE STEEL AND GROUT SHAFT CONFIGURED WITH ONE OR MORE HELICAL BEARING PLATES WELDED TO THE SHAFT. ALL PIERS MUST BE CORROSION PROTECTED BY HOT DIP GALVANIZATION. INSTALLATION UNITS SHALL BE CAPABLE OF DEVELOPING THE MINIMUM TORQUE AS REQ'D. INSTALLATION UNITS SHALL BE CAPABLE OF POSITIONING THE HELICAL PIER AT THE PROPER INSTALLATION ANGLE. THIS ANGLE MAY VARY BETWEEN VERTICAL AND 5 DEGREES DEPENDING UPON APPLICATION AND TYPE OF LOAD TRANSFER DEVICE SPECIFIED OR REQUIRED. INSTALLATION TORQUE SHALL BE MONITORED THROUGHOUT THE INSTALLATION PROCESS.

4201 LINTELS:

MASONRY OPENINGS SHALL BE SPANNED WITH PRECAST LINTELS UNLESS NOTED OTHERWISE AS MANUFACTURED BY CAST CRETE CORP. OR ENGINEER APPROVED SUBSTITUTION. LINTELS SHALL BEAR 8" MINIMUM ON EACH END AND SHALL BEAR MINIMUM OF 8" AT EACH END AND BE GROUT FILLED.

LINTEL SCHEDULE

OPENING SPAN	SIZE WxD	CAST-CRETE TYPE DESIGNATION	REINFORCING BOTT	REINFORCING TOP	REMARKS
UP TO 10'-0"	8x8	8F8-0B	NONE	NONE	
10'-0" TO 15'-0"	8x16	8F16-1B	(1) #5	NONE	
15'-0" TO 20'-0"	8x24	8F24-1B	(1) #5	NONE	
UP TO 10'-0"	12x8	12F8-0B	NONE	NONE	
10'-0" TO 15'-0"	12x16	12F16-1B	(1) #5	NONE	
15'-0" TO 20'-0"	12x24	12F24-1B	(1) #5	NONE	

3120 SHORING

SHORES ARE TO REMAIN IN PLACE UNTIL THE CONCRETE HAS REACHED 2/3 OF THE 28 DESIGN STRENGTH. SHORING AND RESHORING SHALL BE IN ACCORDANCE WITH ACI 301 AND 347.

1202 SHOP DRAWINGS:

CERTIFIED SHOP DRAWING:

THE ENGINEER OF RECORD SHALL REVIEW AND APPROVE THE DESIGNS OF THE FOLLOW DELEGATED ENGINEERED SYSTEMS IN ACCORDANCE WITH 61G15-30.005 SPECIFIC AUTHORITY 471.033(2), 471.008 FS WHICH SHALL BE DESIGNED AND CERTIFIED BY A REGISTERED SPECIALTY ENGINEER RETAINED BY THE PROVIDER OF THE DELEGATED SYSTEM. SHOP DRAWINGS, INCLUDING CALCULATIONS, SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION OR CONSTRUCTION AND SHALL INCLUDE MEMBER DESIGNATIONS, MATERIALS USED, SECTION PROPERTIES, MEMBER AND CONNECTION DETAILS, ETC. SHOP DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER DESIGNATED AS A DELEGATED SPECIALTY ENGINEER. THE CONFIGURATION OF THE SYSTEM SHALL BE AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL PLANS. THE SYSTEM SHALL BE DESIGNED FOR ALL APPLICABLE LOADS AND INDICATED ON THIS PLAN AND IN THE BUILDING CODE. THE LOADS SHALL BE CLEARLY INDICATED ON ALL SHOP DRAWINGS. SHOP DRAWINGS SHALL SHOW AND SPECIFY ALL CONNECTIONS UTILIZED WITHIN THE LIGHT GAGE METAL SYSTEM AS WELL AS CONNECTIONS TO AND LOAD IMPOSED UPON THE STRUCTURAL SYSTEM SHOWN ON THESE PLANS.

UNCERTIFIED SHOP DRAWINGS:

UNCERTIFIED SHOP DRAWINGS SUCH AS MIX DESIGNS, REBAR AND THE LIKE WILL NOT BE REVIEWED BY SOUTHERN ENGINEERING IN. FOR GENERAL COMPLIANCE WITH THE DESIGN INTENT AS THIS SERVICE IS NOT IN THE CONTRACTUAL SCOPE OF SERVICES FOR THIS RESIDENTIAL PROJECT. THIS IS THE DUTY AND RESPONSIBILITY OF THE CONTRACTOR.

3001 CONCRETE:

CONCRETE SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE'S BUILDING CODE REQUIREMENTS (ACI 318) AND HOT WEATHER CONCRETING REQUIREMENTS (ACI 305)

MATERIALS:
CEMENT: ASTM C150 TYPE 1
AGGREGATE: ASTM C33
WATER: CLEAN, POTABLE WITH NO DELETERIOUS MATERIALS
REINFORCING STEEL: ASTM A615 GRADE 60
WELDED WIRE FABRIC: ASTM A185
STRUCTURAL STEEL PLATES: ASTM A36
ANCHOR BOLTS: ASTM A36 OR A 307

CONCRETE SHALL BE PER AN APPROVED MIX DESIGN PROPORTIONED TO ACHIEVE A STRENGTH AT 28 DAYS LISTED BELOW WITH PLASTIC AND WORKABLE MIX:

3000 PSI - FOOTINGS AND SLABS ON GRADE WITH NO AGGREGATE SMALLER THEN OR EQUAL TO #89

4000 PSI - ALL OTHER STRUCTURAL CONCRETE

CONCRETE MIX DESIGNS SUBMITTALS SHALL INCLUDE TESTED STRENGTH STATISTICAL BACK-UP DATA AS PER CHAPTER 5 OF ACI 318 AND A WRITTEN DESCRIPTION INDICATING WHERE EACH PARTICULAR MIX IS TO BE PLACED WITHIN THE STRUCTURE.

CONCRETE TICKETS SHALL BE TIME STAMPED WHEN CONCRETE IS BATCHED. THE MAXIMUM TIME ALLOWED FROM THE TIME THE MIXING WATER IS ADDED UNTIL THE CONCRETE IS PLACED IN ITS FINAL POSITION SHALL NOT EXCEED ONE AND ONE HALF (1-½) HOURS. IF FOR ANY REASON THERE IS A DELAY AND TIME EXCEEDS THAT STATED ABOVE, THE CONCRETE SHALL BE DISCARDED. IT SHALL BE THE RESPONSIBILITY OF THE TESTING LAB TO NOTIFY THE OWNERS REPRESENTATIVE AND THE CONTRACTOR OF ANY NONCOMPLIANCE WITH THE ABOVE. ADMIXTURES CONTAINING CALCIUM CHLORIDES SHALL NOT BE USED; OTHER ADMIXTURES MAY BE USED WITH APPROVAL OF SOUTHERN ENGINEERING INC.

MAINTAIN COVER DURING CONCRETE PLACEMENT AND CONSOLIDATE BY INTERNAL VIBRATION.

3201 REINFORCING STEEL:

REINFORCING STEEL SHALL BE ASTM 615, GRADE 60 DEFORMED BARS, FREE OF RUST SCALE, DIRT AND OIL AND PLACED IN ACCORDANCE WITH ACI STANDARDS. SUBMIT REINFORCING SHOP DRAWINGS REVIEW AND ACCEPTANCE PRIOR TO FABRICATION. MECHANICAL COUPLERS SHALL MEET ACI 318 FOR TENSION SPLICE REQUIREMENTS.

ALL REINFORCING BARS SHALL BE LAPPED PER ACI 318 INCLUDING TOP BAR FACTOR, BUT SHALL NOT BE LESS THAN 48 BAR DIAMETERS UNLESS NOTED OTHERWISE.

DOWEL ALL WALL AND COLUMNS TO FOOTINGS WITH BAR SIZE AND SPACING TO MATCH VERTICAL REINFORCING UNLESS NOTED OTHERWISE.

REQUIRED CONCRETE COVER FOR REINFORCING STEEL (UNLESS NOTED OTHERWISE):

FOOTINGS: 3 INCHES

BEAMS, TIEBEAMS AND COLUMNS: 1-½ INCHES TO TIES OR STIRRUPS

LONGITUDINAL BARS IN FOOTINGS, WALLS, BEAMS, AND SLABS ARE CONTINUOUS UNLESS NOTED OTHERWISE.

3301 CHEMICAL (ADHESIVE) ANCHORS:

SHALL BE AN EQUAL TWO PART EPOXY POLYMER INJECTION SYSTEM, SUCH AS RAMSET "EPCON', POWERS "POWER-FAST" CARTRIDGE SYSTEM, BRINKER BROWN 20/20 EPOXY, SIMPSON EPOXY-TIE. DUR-O-WAL "DUR-O-PAIR" EPOXY ANCHOR, OR HILTI HSE2411 EPOXY DOWELING SYSTEM, OR ENGINEER APPROVED SUBSTITUTION, INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. INSTALLERS SHALL BE TRAINED BY THE MANUFACTURER'S REPRESENTATIVE. MINIMUM EMBEDMENT SHALL BE SIX (6) TIMES FASTENER DIAMETER UNLESS NOTED OTHERWISE.

3304 CONSTRUCTION JOINTS:

ANY DEVIATION OR ADDITION OF CONSTRUCTION JOINTS (CJ) FROM THAT SHOWN ON THE PLANS MUST BE REVIEWED BY SOUTHERN ENGINEERING INC. NEW LOCATIONS ARE ACCEPTABLE ONLY AS A CHANGE ORDER, WHICH WILL INCLUDE ENGINEERING CHARGES, FOR REDESIGN OF THE STRUCTURE, SHORING, ETC.

4101 MASONRY WALLS:

MASONRY UNITS SHALL MEET ASTM C 90 FOR HOLLOW LOAD BEARING TYPE MASONRY WITH STRENGTH OF 1900 PSI ON THE NET AREA (F'M = 1500 PSI) MORTAR SHALL BE TYPE "M" OR "S" AND MEET ASTM C 270.

GROUT FOR FILL CELLS SHALL MEET ASTM C 476 AND ACHIEVE A 2000 PSI MINIMUM COMPRESSIVE STRENGTH, GROUT DESIGN MIX SHALL BE SUBMITTED FOR REVIEW. USE MORTAR AND SPECIAL MASONRY UNITS AS NECESSARY TO CONFINE GROUT TO REQUIRED FILL CELLS WITHIN WALL. CELLS SHALL BE GROUT FILLED WITH VERTICAL REINFORCING BARS AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS OVER 2 FEET WIDE, AND AS INDICATE ON PLANS. LAP ALL VERTICAL REINFORCING ABOVE WITH EITHER VERTICAL REINFORCING FROM BELOW OR HOOK DOWELS IN FOOTINGS AND OTHER CONCRETE ELEMENTS. PROVIDE 48 BAR DIAMETER LAP SPLICES.

PROVIDE 9 GAGE GALVANIZED HORIZONTAL JOINT REINFORCING (DUR-O-WALL LADDER TYPE OR ENGINEER APPROVED SUBSTITUTION) AT ALTERNATE BLOCK COURSES.

PROVIDE VERTICAL MASONRY CONTROL JOINTS IN ALL MASONRY WALL SUPPORTED ON SLAB ON GRADE, FOOTINGS OR GRADE BEAMS, AT LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS AND AT INTERVALS NOT TO EXCEED WALL LENGTH/HEIGHT RATIO OF 2 TO 1 AND 7'-0" FROM BUILDING CORNERS. SEE MASONRY CONTROL JOINT DETAIL. SEE ARCHITECTURAL DOCUMENTS FOR SEALANT REQUIREMENTS.

1103 IMPACT RESISTANCE:

ALL WINDOWS, DOORS AND OTHER COMPONENTS AND CLADDING AS REQUIRED SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SECTION 1606 OF THE FLORIDA BUILDING CODE FOR DESIGN GENERATED WILD LOADING IN ACCORDANCE WITH THE CRITERIA IN THE WIND LOAD SECTION OF THE STRUCTURAL NOTES. THE BUILDER OR ARCHITECT SHALL PROVIDE NECESSARY COPIES OF DETAILS, CERTIFICATIONS, ETC..... TO THE BUILDING DEPARTMENT TO SHOW COMPLIANCE WITH THIS PARAGRAPH. THE ENGINEER OF RECORD DOES NOT CERTIFY THE STRUCTURAL INTEGRITY OF THESE ELEMENTS. DESIGN WIND PRESSURES ARE BASED ON AN ENCLOSED STRUCTURE CLASSIFICATION THEREFORE, IMPACT RESISTANT GLASS OR COVERING PER FBC 2017 SECTION 1609.1.2 IS REQUIRED. IMPACT RESISTANT GLASS SHALL MEET THE REQUIREMENTS OF THE LARGE AND SMALL MISSILE TEST.

5100 STRUCTURAL STEEL:

STRUCTURAL STEEL SHALL CONFORM TO THE AISC "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION EXCEPT CHAPTER 4.2.1, CODE OF STANDARD PRACTICE. WELDED CONNECTIONS SHALL CONFORM TO THE LATEST CODE OF THE AMERICAN WELDING SOCIETY, AWS D1.1 ALL WELDING SHALL BE PERFORMED USING E70XX, LOW HYDROGEN ELECTRODES U.N.O. ELECTRODES ARE TO PROTECTED FROM MOISTURE. ALL CONNECTIONS TO BE DOUBLED ANGLE FRAMED BEAM CONNECTION PER AISC U.N.O. ALL BOLTS TO BE ¾"Ø U.N.O. SHOP DRAWINGS MAY BE WELDED OR BOLTED, WELDS ARE TO BE EQUAL IN STRENGTH TO BOLTS. ALL FIELD CONNECTIONS ARE TO BE BOLTED WITH ASTM A325N OR A490 BOLTS (BEARING TYPE BOLTS WITH THREADS IN THE SHEAR PLANE) INCLUDE SUITABLE NUTS AND PLAIN HARDENED WASHERS. ALL BOLTS SHALL BE TIGHTENED SNUG TIGHT U.N.O. STEEL COLUMNS SHALL BE fy=46 KSI WITH CAP AND BASE PLATES A-36 & 325 BOLTS. STRUCTURAL STEEL SHAPES SHALL BE A36, ANCHOR BOLTS SHALL BE A307, STRUCTURAL STEEL TUBING SHALL BE ASTM A500 GRADE C, AND STEEL PIPE SHALL BE ASTM A 307. STEEL STAIRS AND LANDINGS SHALL BE DESIGNED FOR 100 PSF LIVE LOAD BY A FLORIDA LICENSED ENGINEER RETAINED BY THE STEEL FABRICATOR. NON-SHRINK GROUT IF SPECIFIED SHALL BE NONMETALLIC SHRINK-RESISTANT GROUT, PREMIXED, AND NON-CORROSIVE COMPLYING WITH CE-CRD-C621.

6100 WOOD:

STRUCTURAL WOOD COMPONENTS SHALL BE NO. 2 VISUALLY GRADED SOUTHERN PINE, DESIGN VALUES IN ACCORDANCE WITH THE 1997 NDS SUPPLEMENT. WOOD IN CONTACT WITH CONCRETE OR MASONRY AND AS SPECIFIED ON THE PLANS SHALL BE PRESSURE TREATED (PT) IN ACCORDANCE WITH AITC 109. MEMBER SIZES ARE STANDARD DRESSED SIZES UNLESS NOTED OTHERWISE.

WOOD TRUSS SYSTEMS SHALL BE TO THE CONFIGURATION SHOWN ON THE PLANS. THE WOOD TRUSS SYSTEM SHALL BE DESIGNED BY THE SUPPLIER FOR THE DESIGN LOADS PLUS ADDITIONAL LOADS SHOWN ON THE PLANS, EXCEPT ROOF DEAD LOAD TO RESIST WIND UPLIFT SHALL NOT EXCEED 15 PSF. LOAD DURATION FACTORS AS SPECIFIED BY NDS 1997 SHALL BE USED EXCEPT THE LOAD COMBINATION DEAD LOAD + WIND LOAD SHALL NOT EXCEED 1.33.

PLYWOOD ROOF, WALL, AND FLOOR SHEATHING ARE DESIGNED AS DIAPHRAGMS AND SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF THE FLORIDA BUILDING CODE. SPAN RATED PANELS SHALL BE ATTACHED TO 2X FRAMING PER PLANS AND SECTIONS.

6150 WOOD FRAMING CONNECTORS:

CONNECTORS SHOWN ON THE PLANS ARE AS MANUFACTURED BY SIMPSON STRONG-TIE CO. OR ENGINEER APPROVED SUBSTITUTION. FASTENERS SHALL BE IN ACCORDANCE WITH THE LATEST SIMPSON CATALOG UNLESS NOTED OTHERWISE.

4300 RAILINGS SYSTEM:

ENGINEERED RAILING SYSTEMS AND ALL CONNECTIONS OF SAME TO THIS STRUCTURE SHALL BE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA. SUBMIT ENGINEER CERTIFIED SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. THE CONFIGURATION OF THE RAILING SYSTEM SHALL BE AS SHOWN ON THE ARCHITECTURAL PLANS. RAILING SYSTEM SHALL BE DESIGNED FOR ALL APPLICABLE LOADS AND INDICATED ON THIS PLAN AND IN THE FLORIDA BUILDING CODE. THE LOADS SHALL BE CLEARLY INDICATED ON ALL SHOP DRAWINGS. SHOP DRAWINGS SHALL SHOW AND SPECIFY ALL CONNECTIONS UTILIZED WITHIN THE RAILING SYSTEM AS WELL AS CONNECTIONS TO AND LOAD IMPOSED UPON THE STRUCTURAL SYSTEM SHOWN ON THESE PLANS.

ABBREVIATIONS

@ = AT
A.B. = ANCHOR BOLT
ALT. = ALTERNATE
APPROX. = APPROXIMATELY
ARCH. = ARCHITECT
ARCHT'L = ARCHITECTURAL
BAL = BALLANCE
B.C. = BOTTOM CHORD
BLDG. = BUILDING
BM. = BEAM
BOTT = BOTTOM
BRG = BEARING
CANT. = CANTILEVERED BEAM
CH. = CHANNEL
C.I.P = CAST IN PLACE
C.J. = CONTRACTION JOINT
CL = CENTER LINE
CLR. = CLEAR
CMU = CONCRETE MASONRY UNIT
COL = COLUMN
CONC. = CONCRETE
CONFIG. = CONFIGURATION
CONT. = CONTINUOUS
CONTR. = CONTRACTOR
CONSTR. = CONSTRUCTION
CTR. = CENTER
DBL = DOUBLE
DLT. = DETAIL
DIA. = DIAMETER
DIM. = DIMENTION
DN. = DOWN
DWG. = DRAWING
EA. = EACH
E.E. = EACH END
E.F. = EACH FACE
E.J. = EXPANTION JOINT
EL./ELEV. = ELEVATION
EQ. = EQUAL
E.S. = EACH SIDE
E.W. = EACH WAY
EXIST. = EXISTING
EXP. = EXPANTION
EXT = EXTERIOR
FIN. = FINISH
FLR. = FLOOR
FDN. = FOUNDATION
F.S. = FAR SIDE
FT. = FOOT
GA. = GAGE
GALV. = GALVANIZED
G.C. = GENERAL CONTRACTOR
HC = HOLLOW CORE
H.D.G. = HOT DIPPED GALVANIZED
HG = HIP GIRDER
HORIZ. = HORIZONTAL
H.P. = HIGH POINT
HSS = HOLLOW STRUCTURAL SECTION
I.J. = ISOLATION JOINT
I.L. = INNER LAYER
INFO. = INFORMATION
INT. = INTERIOR
JT. = JOINT
L = ANGLE
LG. = LONG
L.W. = LONG WAY
MFR. = MANUFACTURER
MAT'L. = MATERIAL
MAX. = MAXIMUM
MIN. = MINIMUM
MISC. = MISCELLANEOUS
M.O. = MASONRY OPENING
N.S. = NEAR SIDE
N.I.C. = NOT IN CONTRACT
N.T.S. = NOT TO SCALE
O.C. = ON CENTER
O.H. = OPPOSITE HAND
OPNG. = OPENING
P.D.F. = POWDER DRIVEN FASTNER
PART. = PARTITION
PART'L = PARTIAL
PL = PLATE
PLF = POUNDS PER LINEAR FOOT
PSF = POUNDS PER SQUARE FOOT
PSI = POUNDS PER SQUARE INCH
P.T. = POST TENTION OR PRESSURE TREATED
REINF. = REINFORCING
REQ'D = REQUIRED
REV. = REVISED / REVISION
R.O. = ROUGH OPENING
SCHED. = SCHEDULE
SECT. = SECTION
SIM = SIMILAR
SQ. = SQUARE
S.M.S. = SHEAT METAL SCREW
STD. = STANDARD
SW = SHEAR WALL
S.W. = SHORT WAY
STL. = STEEL
TB = TIE BEAM
T.C. = TOP CHORD
T/O = THRU OUT
T.O. = TOP OF ...
TS = TUBE STEEL
T = TOP
TEMP. = TEMPERATURE
TYP. = TYPICAL
U.N.O. = UNLESS NOTED OTHERWISE
VERT. = VERTICAL
V.S. = VALLEY SET
W = WIDE FLANGE
W/ = WITH
WD. = WOOD
WP. = WORK POINT
W.W.F. = WELDED WIRE FABRIC

SCALE:1/4"=1'-0"
SCALE:3/16"=1'-0"
SCALE:1/8"=1'-0"
SCALE:3/32"=1'-0"

Revisions	Date

PERMIT SET

TATKO RESIDENCE

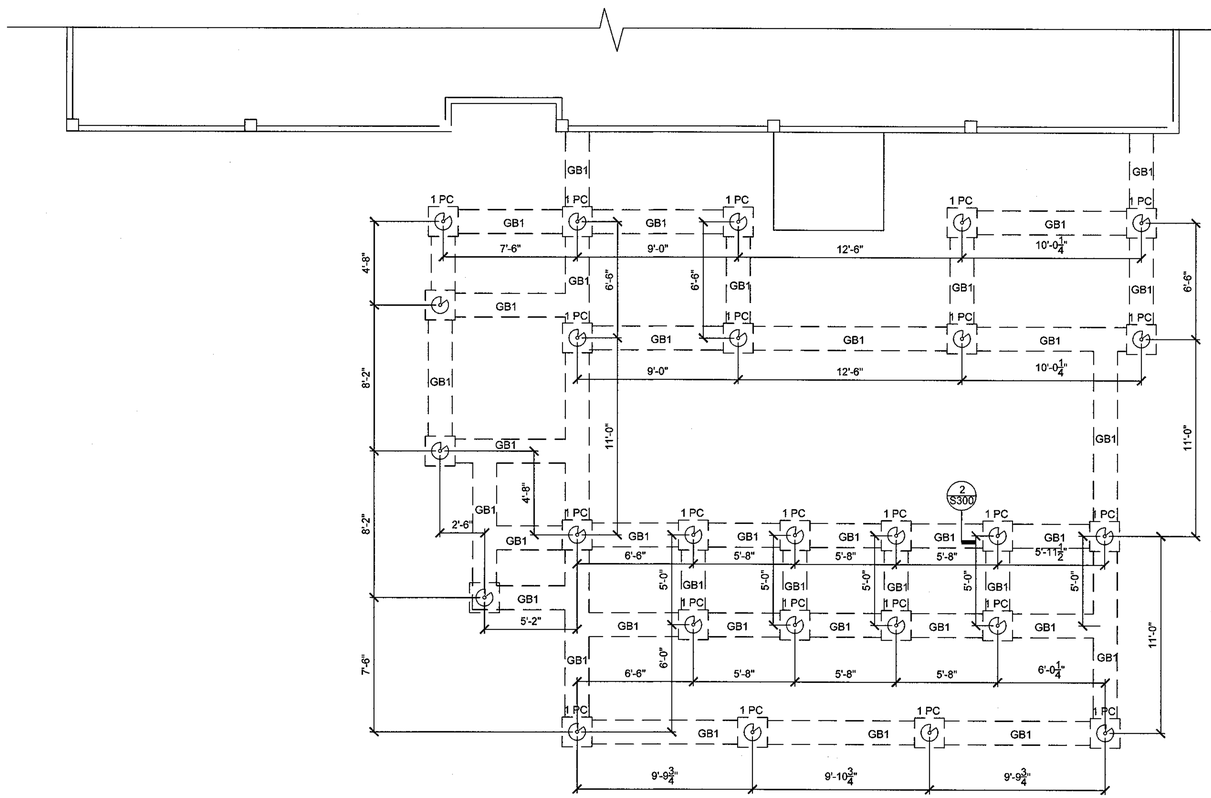
5029 JOEWOOD DRIVE
SANIBEL, FLORIDA

THESE PLANS HAVE BEEN ELECTRONICALLY SEALED BY CHRIS SCOTT MILLER FLORIDA PE 62603 IN ACCORDANCE WITH FAC 61G15-23.005 USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SHA AUTHENTICATION CODE MUST BE VERIFIED.

SOUTHERN ENGINEERING
OF SW FLORIDA CA#26334
PROJECT # 21-155
14091 OAK HAMMOCK LANE
FORT MYERS, FLORIDA 33905
(239) 288-5292

Job No.	21-155
Date:	05.04.21 JAR

S100



SCALE:1/4"=1'-0"

SCALE:3/16"=1'-0"

SCALE:1/8"=1'-0"

SCALE:3/32"=1'-0"

GRADE BEAM SCHEDULE

NOTE: BEAMS CAST OVER 8" MASONRY MAY BE 7 5/8" WIDE.

BEAM	ELEV TOP OF BEAM	SIZE WxD	REINFORCING				STIRRUP SPACING
			BOTT	TOP	'C'	'E'	
GB1	4.00' NAVD	16x16	(3) #6	(3) #6			#3@24"

(1) DENOTES HELICAL PIER (28 TOTAL)

PLAN NOTES

1. SEE DRAWING S100 FOR STRUCTURAL NOTES.
2. VERIFY DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. FOR ADDITIONAL INFORMATION SEE THE ARCHITECTURAL DRAWINGS.
3. MASONRY WALL REINFORCING SHALL BE #5 AT 24" O/C MAX AND IN ACCORDANCE WITH STRUCTURAL NOTES ON SHEET S100.
4. (+X/-X) DENOTED APPLIED WIND PRESSURES ON OPENINGS, NOA DESIGN PRESSURES MUST MEET OR EXCEED THESE VALUES.

FOUNDATION PLAN

SCALE 1/4" = 1'-0"

Revisions	Date

PERMIT SET

TATKO RESIDENCE

5029 JOEWOOD DRIVE
SANIBEL, FLORIDA

THESE PLANS HAVE BEEN ELECTRONICALLY SEALED BY CHRIS SCOTT MILLER FLORIDA PE 62605 IN ACCORDANCE WITH FAC 60G-23.005 USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SHA AUTHENTICATION CODE MUST BE VERIFIED.

SOUTHERN ENGINEERING
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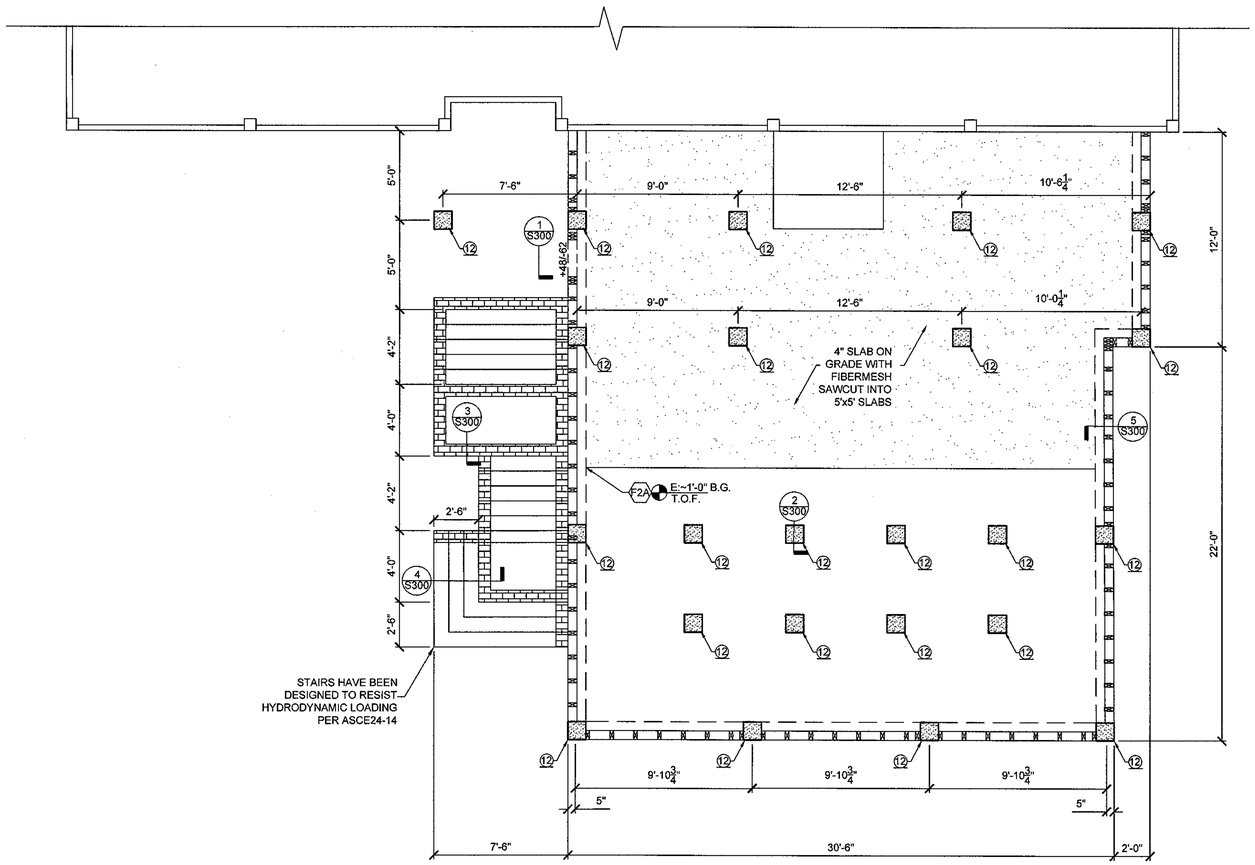
PROJECT # 21-155
14091 OAK HAMMOCK LANE
FORT MYERS, FLORIDA 33905
(239) 288-5292

Job No.	21-155
Date:	05.04.21 JAR

S200



CONCRETE/MASONRY PIER COLUMN SCHEDULE

MARK (X)	SIZE	VERT REINF	COL TIES	REMARKS
12	12"x12"	(8)#6	#3 TIES AT 8" O/C VERTICAL	CONCRETE

BREAK AWAY FOOTING SCHEDULE

MARK ⬡	SIZE WxLxD	REINFORCING
F1A	0'-8"xCONTx0'-8"	NONE

SYMBOL LEGEND

L: DENOTES LENGTH OF BEAM E: DENOTES ELEVATION OF BEAM OR COLUMN	
8MW#5-24BS	DENOTES 8" NOMINAL LOAD BEARING MASONRY WALL WITH #5 AT 24" O/C BELOW SLAB
WW2x4-16	DENOTES WOOD FRAME WALLS BREAK AWAY WALLS WITH 2x4 STUDS PER PLAN AT 16" O/C

FLOOD VENTS ARE SMART VENT MODEL #1540-510 200 SQUARE INCH OPENING. ENCLOSED GROUND FLOOR AREAS AREA 682 SQUARE FEET, 3 VENTS REQUIRED FV

PLAN NOTES

1. SEE DRAWING S100 FOR STRUCTURAL NOTES.
2. VERIFY DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. FOR ADDITIONAL INFORMATION SEE THE ARCHITECTURAL DRAWINGS.
3. MASONRY WALL REINFORCING SHALL BE #5 AT 24" O/C MAX AND IN ACCORDANCE WITH STRUCTURAL NOTES ON SHEET S100.
4. (+X/-X) DENOTED APPLIED WIND PRESSURES ON OPENINGS, NOA DESIGN PRESSURES MUST MEET OR EXCEED THESE VALUES.

GROUND FLOOR PLAN

SCALE 1/4" = 1'-0"

SCALE:1/4"=1'-0"
SCALE:3/16"=1'-0"
SCALE:1/8"=1'-0"
SCALE:3/32"=1'-0"

Revisions	Date

PERMIT SET

TATKO RESIDENCE

5029 JOEWOOD DRIVE
SANIBEL, FLORIDA

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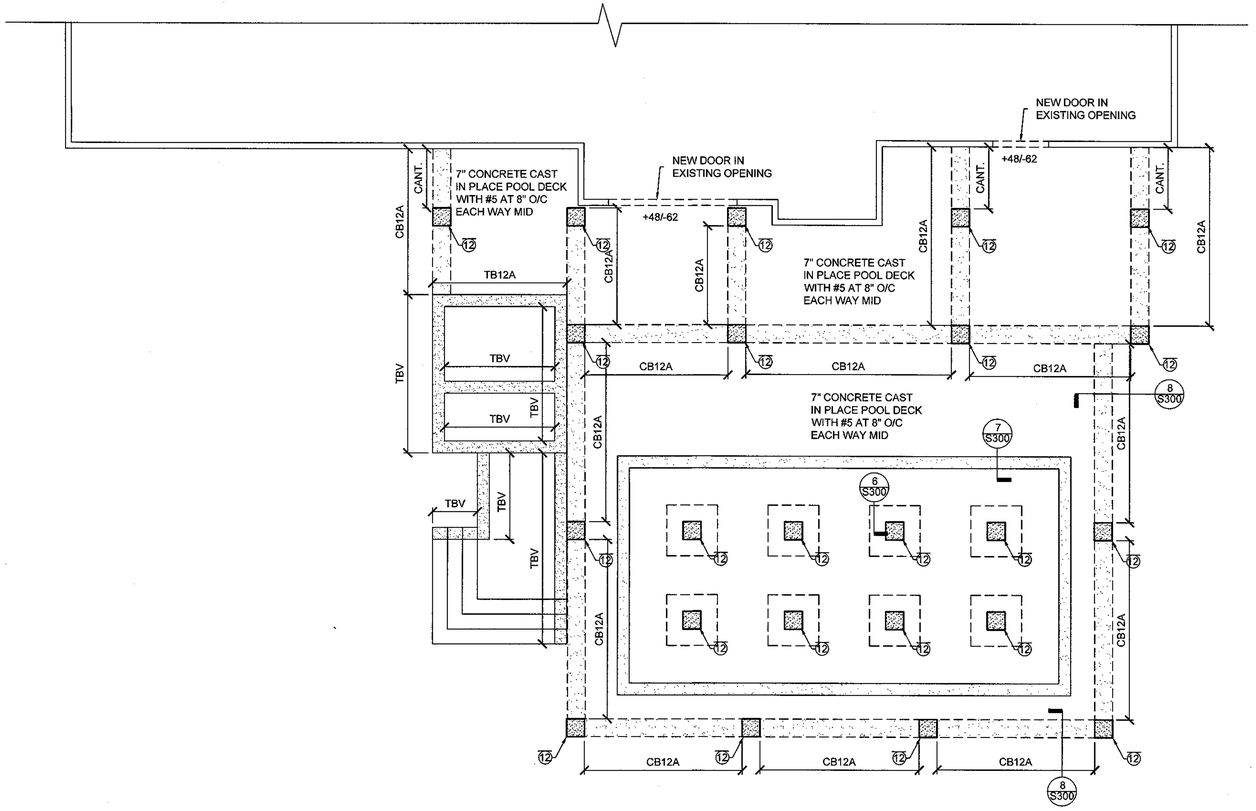
S201



CONCRETE/MASONRY PIER COLUMN SCHEDULE

MARK (X)	SIZE	VERT REINF	COL TIES	REMARKS
12	12"x12"	(8)#6	#3 TIES AT 8" O/C VERTICAL	CONCRETE

CONCRETE BEAM SCHEDULE

NOTE: BEAMS CAST OVER 8" MASONRY MAY BE 7 5/8" WIDE,B EAMS CAST OVER 8" MASONRY MAY BE 7 5/8" WIDE.
NOTE: BEAMS CAST OVER 12" MASONRY MAY BE 11 5/8" WIDE,B EAMS CAST OVER 8" MASONRY MAY BE 7 5/8" WIDE.
TB= CONCRETE TIEBEAM, CB = CONCRETE BEAM, BB = MASONRY BOND BEAM

MARK	ELEV TOP OF BEAM	ELEV BOTT OF BEAM	SIZE WxD (INCH)	REINFORCING			STIRRUP SPACING	REMARKS
				BOTT	MID	TOP		
TBV	VARIES	VARIES	8x12 MIN	(2) #5	NONE	(2) #5	NONE REQUIRED	
TB12A	13.33 NAVD	12.00 NAVD	8x16	(2) #5	NONE	(2) #5	NONE REQUIRED	
CB12A	13.33 NAVD	12.00 NAVD	12x16	(3) #6	NONE	(3) #6	#3 AT 8" O/C	

PLAN NOTES

1. SEE DRAWING S100 FOR STRUCTURAL NOTES.
2. VERIFY DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. FOR ADDITIONAL INFORMATION SEE THE ARCHITECTURAL DRAWINGS.
3. MASONRY WALL REINFORCING SHALL BE #5 AT 24" O/C MAX AND IN ACCORDANCE WITH STRUCTURAL NOTES ON SHEET S100.
4. (+X/-X) DENOTED APPLIED WIND PRESSURES ON OPENINGS, NOA DESIGN PRESSURES MUST MEET OR EXCEED THESE VALUES.

ELEVATED POOL PLAN

SCALE 1/4" = 1'-0"

SCALE:3/4"=1'-0"
SCALE:3/16"=1'-0"
SCALE:1/8"=1'-0"
SCALE:3/32"=1'-0"

Revisions	Date

PERMIT SET

TATKO RESIDENCE

5029 JOEWOOD DRIVE
SANIBEL, FLORIDA

SOUTHERN ENGINEERING
OF SW FLORIDA CA#26334
PROJECT # 21-155
14091 OAK HAMMOCK LANE
FORT MYERS, FLORIDA 33905
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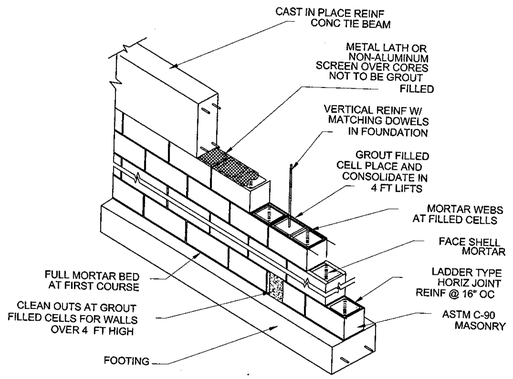
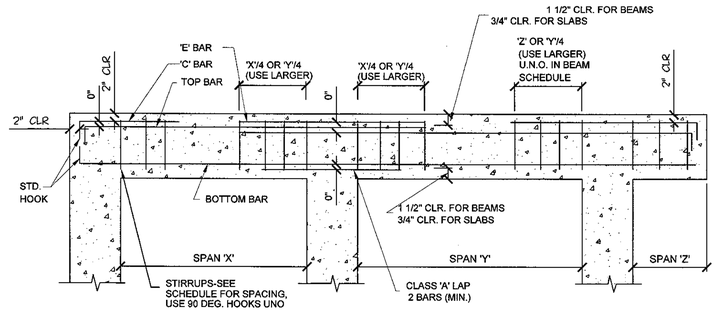
Job No.	21-155
Date:	05.04.21 JAR

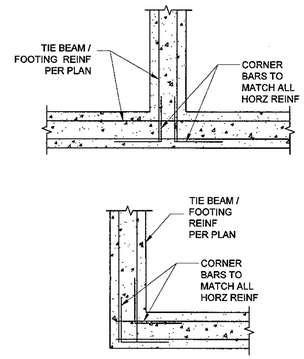
S202



TYPICAL MASONRY CONSTRUCTION A



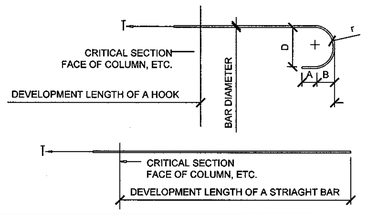
TYPICAL SLAB/ BEAM REINFORCING DETAIL B



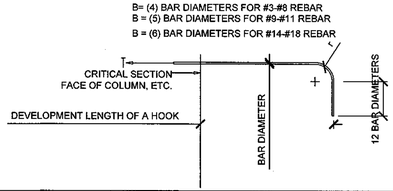
CONCRETE FOOTING/BEAM DETAIL C

CAST-IN-PLACE CONCRETE REINFORCING BAR LAP SPLICE SCHEDULE					REBAR DEVELOPMENT NON-EPOXY COATED TOP & BOTTOM BARS				
BAR SIZE	TENSION BARS			COMPRESSION BARS	BAR SIZE	TENSION BARS			COMPRESSION BARS
Fy=60 ksi	3000 PSI	4000 PSI	5000 PSI	ALL STRENGTHS	Fy=60 ksi	3000 PSI	4000 PSI	5000 PSI	ALL STRENGTHS
#4	29"	25"	22"	15"	#4	23"	20"	18"	9"
#5	36"	31"	28"	19"	#5	29"	25"	22"	11"
#6	43"	37"	33"	23"	#6	35"	30"	27"	13"
#7	63"	54"	49"	27"	#7	63"	54"	49"	15"
#8	72"	62"	55"	30"	#8	72"	62"	55"	17"
#9	81"	70"	63"	34"	#9	81"	71"	63"	19"
#10	91"	79"	70"	39"	#10	89"	79"	70"	21"
#11	101"	87"	78"	43"	#11	98"	85"	76"	23"

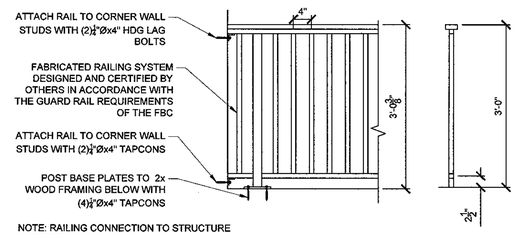
NOTE: FOR BUNDLED BAR DEVELOPMENT LENGTH, MULTIPLY FACTORS ABOVE BY 1.2 FOR (2) & (3) BAR BUNDLES AND 1.33 FOR (4) BAR BUNDLES.



A = (4) BAR DIAMETERS OR 2-1/2"
B= (4) BAR DIAMETERS FOR #3-#8 REBAR
B = (5) BAR DIAMETERS FOR #9-#11 REBAR
B = (6) BAR DIAMETERS FOR #14-#18 REBAR

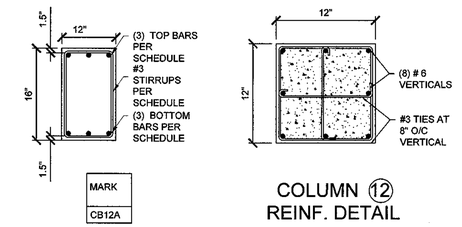


REBAR DEVELOPMENT LENGTHS D



NOTE: RAILING CONNECTION TO STRUCTURE SPECIFIED ABOVE IS FOR DESIGN PURPOSES ONLY. FASTENERS AND CONNECTIONS SHALL BE AS SPECIFIED BY THE RAILING SHOP DRAWINGS CERTIFIED BY THEIR SPECIALTY ENGINEER PER FAC 61G15-300.006

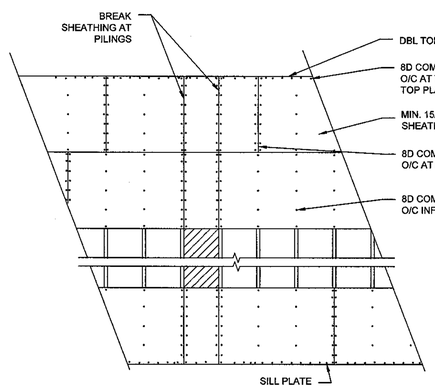
RAILING DETAIL E



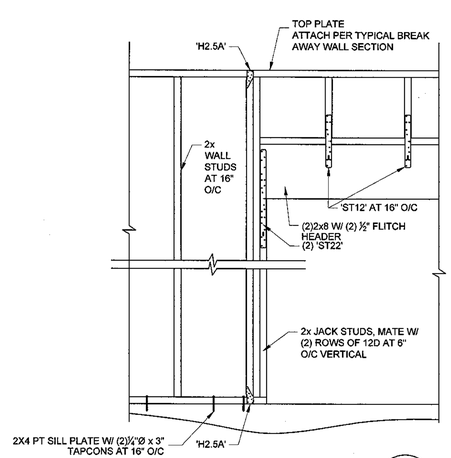
MARK
CB12A

COLUMN (12) REINF. DETAIL

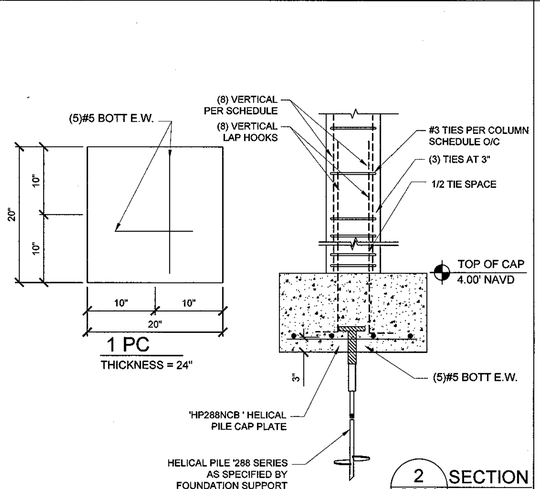
CONCRETE DETAILS F



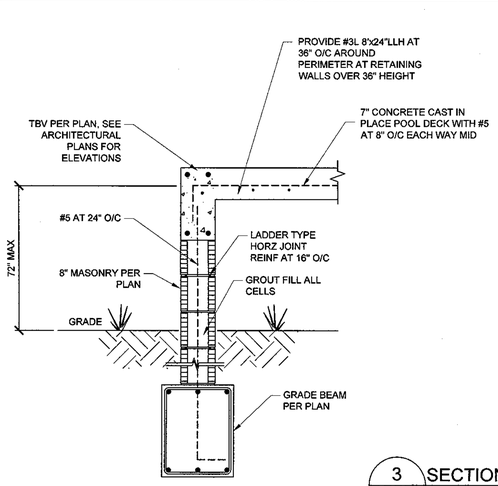
BREAK AWAY SHEATHING DETAIL G



1 S300 SECTION SCALE: N.T.S.



2 S300 SECTION SCALE: N.T.S.



3 S300 SECTION SCALE: N.T.S.

Revisions	Date

PERMIT SET

TATKO RESIDENCE

5029 JOEWOOD DRIVE
SANIBEL, FLORIDA

SOUTHERN ENGINEERING OF SW FLORIDA CA #26334
PROJECT # 21-155
14091 OAK HAMMOCK LANE
FORT MYERS, FLORIDA 33905
(239) 288-5292

Job No.	21-155
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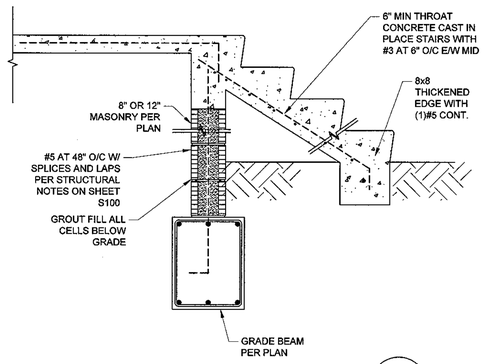
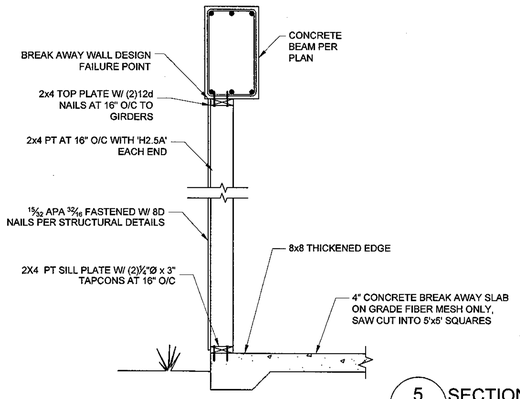
S300



4 SECTION S301 SCALE: N.T.S.



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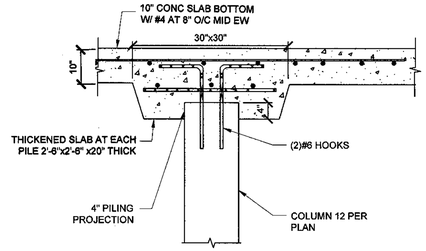
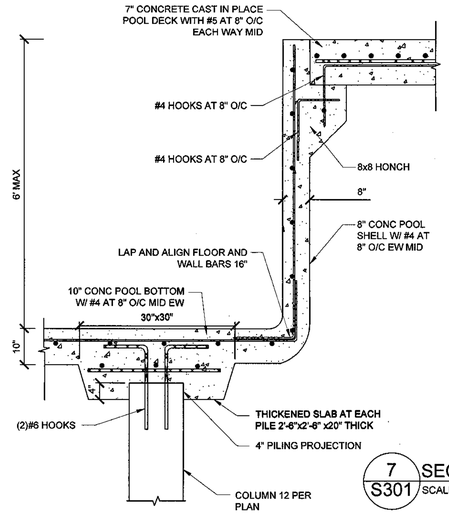


6 SECTION S301 SCALE: N.T.S.



7 SECTION S301 SCALE: N.T.S.

8 SECTION S301 SCALE: N.T.S.

SCALE:1/4"=1'-0"
SCALE:3/16"=1'-0"
SCALE:1/8"=1'-0"
SCALE:3/32"=1'-0"

Revisions	Date

PERMIT SET

TATKO RESIDENCE

5029 JOEWOOD DRIVE
SANIBEL, FLORIDA

THESE PLANS HAVE BEEN ELECTRONICALLY SEALED BY CHRIS SCOTT MILLER FLORIDA PE 68503 IN ACCORDANCE WITH FAC 61G15-23.005 USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SHA AUTHENTICATION CODE MUST BE VERIFIED.

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PROJECT # 21-155
14091 OAK HAMMOCK LANE
FORT MYERS, FLORIDA 33905
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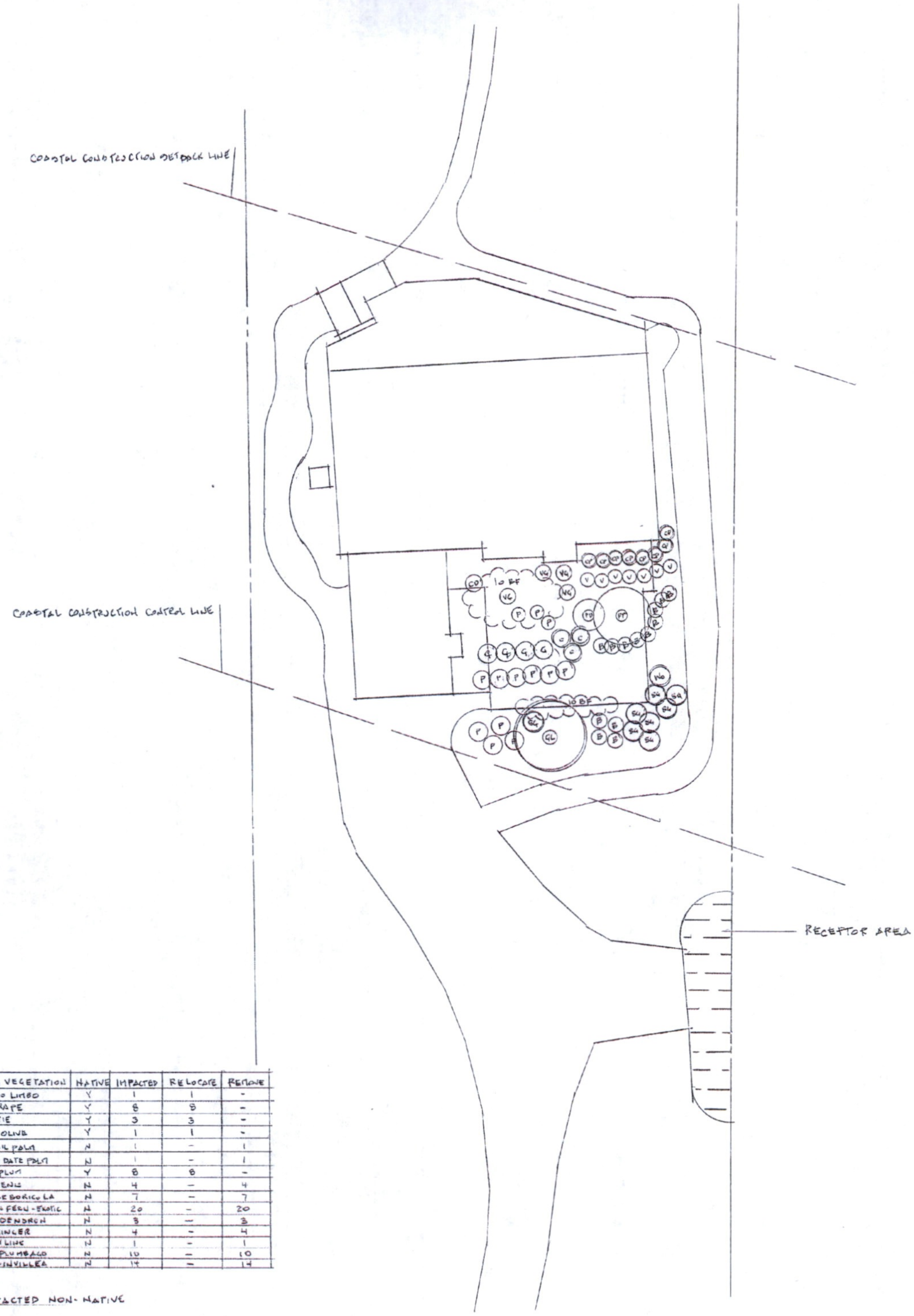
Job No.	21-155
Date:	05.04.21 JAR

S301

Attachment E
Application No. 21-12854DP
Tatko – Elevated Swimming Pool
Vegetation & Landscape Plan



EXISTING VEGETATION	NATIVE	IMPACTED	RELOCATE	REMOVE
GL: GUMBO LIMBO	Y	1	1	-
SG: SEAGRAPE	Y	8	8	-
C: COONTIE	Y	3	3	-
WO: WILD OLIVE	Y	1	1	-
FT: FOXTAIL PALM	N	1	-	1
PD: PYGMY DATE PALM	N	1	-	1
CP: COCO PLUM	Y	8	8	-
G: GARDENIA	N	4	-	4
V: VAR. ARBORICOLA	N	7	-	7
BF: BOSTON FERN - EXOTIC	N	20	-	20
P: PHILODENDRON	N	3	-	3
VG: VAR. GINGER	N	4	-	4
CD: CORDYLINE	N	1	-	1
P: BLUE PLUMBAGO	N	10	-	10
B: BOUGAINVILLEA	N	14	-	14

IMPACTED NON-NATIVE

IMPACTED NATIVE

NOTE: ALL IMPACTED NATIVE VEGETION TO BE RELOCATED TO DESIGNATED RECEPTOR AREA
ALL RELOCATIONS TO BE PROTECTED AND IRRIGATED DURING CONSTRUCTION

L.1

REVISION DATES

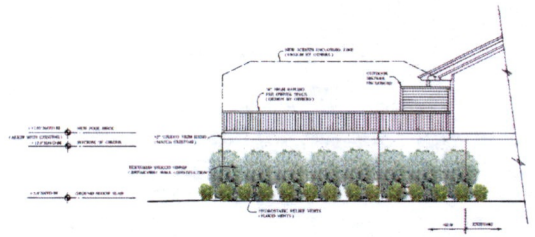
NORTH
DESIGNED BY: JEREMY W
DATE: JUNE 2021
SCALE: 1"=10'

SHEET LEGEND

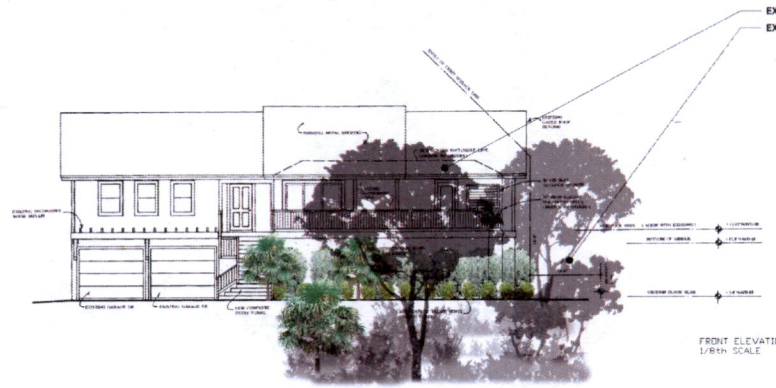
TATKO RESIDENCE
5029 JOEWOOD DRIVE
SANIBEL, FLORIDA

VEGETATION PLAN

RS Walsh
LANDSCAPING + DESIGN
R.S. WALSH LANDSCAPING, INC.



SIDE ELEVATION
1/8th SCALE



FRONT ELEVATION
1/8th SCALE

SITE PLAN NOTES

- REMOVE ALL CITY INVASIVE EXOTICS AS PER CODE.
- ALL NEW PLANTINGS AT LEAST 75% NATIVE AS PER CITY OF SANIBEL REQUIREMENTS by category: tree, shrub & groundcover.
- PLANT MATERIAL USED TO MEET THE REQUIREMENTS OF THIS DIVISION MUST MEET THE STANDARDS FOR FLORIDA NO. 1 OR BETTER, AS SET OUT IN GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II, DEPARTMENT OF AGRICULTURAL, STATE OF FLORIDA. ROOT BALL SIZES ON ALL TRANSPLANTED PLANT MATERIALS MUST ALSO MEET STATE STANDARDS.
- ALL VEGETATION SHALL BE INSTALLED IN A SOUND WORKMANLIKE MANNER AND ACCORDING TO GOOD PLANTING PROCEDURES, WITH THE QUALITY OF PLANT MATERIALS AS DESCRIBED IN THE CITY OF SANIBEL VEGETATION NOTES.
- MULCH REQUIREMENTS: A TWO-INCH MINIMUM LAYER, AFTER WATERING-IN, OF MULCH OR OTHER RECYCLED MATERIALS MUST BE PLACED AND MAINTAINED AROUND ALL NEWLY INSTALLED TREES, SHRUBS, AND GROUND COVER PLANTINGS.
- DRAINAGE: ALL DRAINAGE TO BE DIRECTED TO RETENTION AREAS PLANTED WITH NATIVE VEGETATION AS PER ENGINEER DRAWINGS.

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TATKO RESIDENCE

5029 JOEWOOD DRIVE
SANIBEL, FLORIDA

LANDSCAPE PLAN

SHEET LEGEND

L.1: LANDSCAPE PLAN

DESIGNED BY: RSW
DATE: August 13, 2021
SCALE: 10' SCALE

REVISION DATES

REV 1.	8/13/2021
REV 2.	XX-XX-XX
REV 3.	XX-XX-XX
REV 4.	XX-XX-XX
REV 5.	XX-XX-XX
REV 6.	XX-XX-XX
REV 7.	XX-XX-XX
REV 8.	XX-XX-XX
REV 9.	XX-XX-XX
REV 10.	XX-XX-XX

L.1

Attachment F
Application No. 21-12854DP
Tatko – Elevated Swimming Pool
Natural Resources Memorandum

City of Sanibel
Natural Resources Department

Memorandum

To: Josh Ooyman, City Planner

From: Joel Caouette, Environmental Biologist

Subject: Variance Application No. 21-12854 5029 Joewood Drive

Date: September 8, 2021

On September 3, 2021, the Natural Resources Department performed a site inspection to evaluate the natural resource impacts associated with the proposed development (pool) request to exceed seven feet above the predevelopment grade.

The primary vegetative impacts will be to exotic plants; natives to be impacted include eight (8) cocoplum, eight (8) seagrape, three (3) coontie, one (1) wild olive and one (1) gumbo limbo. The above-mentioned native vegetation will be transplanted onsite. There was no wildlife activity—tortoises and/or burrows—at the time of inspection.

The submitted plan indicates that 100% native vegetation will be used to visually screen the pool-(13) 6-7ft silver buttonwoods and (25) 3-gallon cocoplums. The planting plan indicates that the pool will be screened on the west and north sides with vegetation. Buffering on the south and east side of the pool is not necessary because, the pool will be screened by the existing home on the south and the entry porch on the east.

The post-installation appearance of the vegetation screen must conform with the proposed plans and significantly resemble the conditions depicted in the renderings as submitted. Landscaping plantings installed to screen the appearance, size, and mass of the pool shall be maintained in such a way as to provide adequate screening in perpetuity.

The Natural Resources Department finds that the submitted plan will satisfy Sec. 126-1302 (3) *Landscaping requirements* in that it 1. Reduces the visual impact of the attached swimming pool, 2. compliments the architectural design of the principal structure, and 3. provides continuity with existing vegetation and existing landscape elements of the parcel on which the swimming pool is to be located.